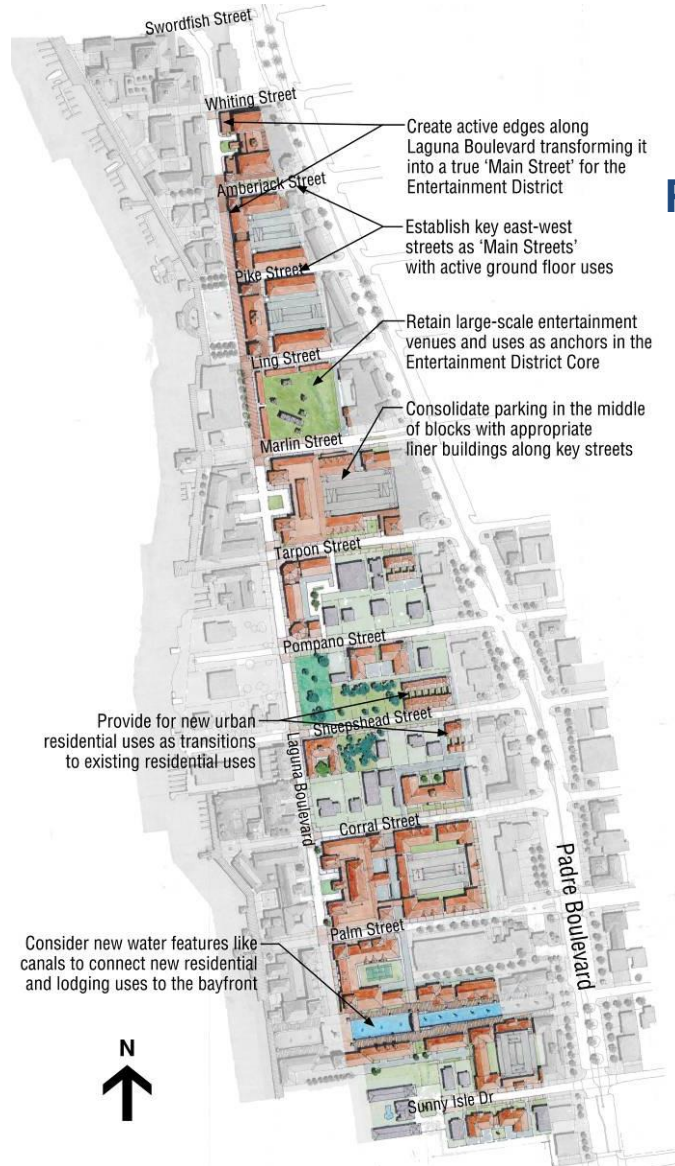


SECTION 20-8.1 APPENDIX "Z" PADRE BOULEVARD AND ENTERTAINMENT DISTRICT CODE



- Create active edges along Laguna Boulevard transforming it into a true 'Main Street' for the Entertainment District
- Establish key east-west streets as 'Main Streets' with active ground floor uses
- Retain large-scale entertainment venues and uses as anchors in the Entertainment District Core
- Consolidate parking in the middle of blocks with appropriate liner buildings along key streets
- Provide for new urban residential uses as transitions to existing residential uses
- Consider new water features like canals to connect new residential and lodging uses to the bayfront

Padre Boulevard and Entertainment District Code

March 26, 2025

Originally Prepared by
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SECTION 1. Introduction

1.1 Authority

This Padre Boulevard and Entertainment District Code (hereinafter, “the PBED Code”) is enacted as one of the instruments for implementing the public purposes and objectives of the adopted City of South Padre Island Comprehensive Plan and the Padre Boulevard and Entertainment District Plan. The Code is declared to be consistent with the Comprehensive Plan, and except as noted herein, supplants the application of all provisions of the City of South Padre Island City Ordinance as it pertains to land within the boundaries of the Padre Boulevard Corridor and Entertainment District (hereinafter, “the Corridor”) prior to the effective date of this PBED Code.

1.1.2 Padre Boulevard and Entertainment District Code

The Padre Boulevard and Entertainment District Code may also be referred to as “The PBED Code”, and as “The Form Based Code”, and shall include and incorporate as part of this PBED Code all provisions of sections 1-10 as outlined in the Table of Contents, including the Character Zones and Schedule of Permitted Uses, the Building Form and Development Standards, the Façade and Landscaping Standards, the Signage Standards, Appendix A, Appendix B, The Development Review Process Flow Chart, The Design Standards and Recommendations, the Zoning District Map, the Definitions, and all future additions, amendments, and revisions thereto enacted by the City Council.

1.1.3 Incorporated as part of Chapter 20 of the City Code (Zoning Ordinance)

The Padre Boulevard and Entertainment District Code, including future amendments or changes thereto, is hereby adopted and incorporated and made part of Chapter 20 of the City Code, including adoption as part of the Zoning District Map. (See Sec 20-5 and 20-18 of Chapter 20 of the City Code) If there exists a conflict or inconsistency between

provisions of Chapter 20 and the Padre Boulevard Entertainment District Code, the provisions of the Padre Boulevard and Entertainment District Code shall control and govern in the areas contained and located in the Padre Boulevard and Entertainment District Code

1.2 Purpose & Intent

The purpose of the PBED Code is to support economic development and reinvestment along this commercial corridor and within the dedicated entertainment district. Along Padre Boulevard, the PBED Code implements specific development nodes with a pedestrian-oriented mix of uses with convenient access between area neighborhoods and beach front, housing and neighborhood retail services. The intent is to revitalize Padre Boulevard to be an attractive, vibrant commercial corridor in the community, and to develop the Entertainment District into a walkable, mixed-use regional destination. Therefore, the goals of the PBED Code are to promote and provide a more functional and attractive community through the use of recognized principles of urban design and allow property owners flexibility in land use, while prescribing a higher level of detail in building design and form.

The followings are the basic concepts for new urbanism and smart growth leading into the purpose and intent of this code:

- 1.2.1 Create walkable neighborhoods (building frontage and parking backyard);
- 1.2.2 Encourage compact building design and mixed use;
- 1.2.3 Establish a strong sense of place;
- 1.2.4 Cluster developments and conserve open space;
- 1.2.5 Provide multi-modal transportation; and
- 1.2.6 Facilitate uses within walkable distance.

1.3 Economic Development

The Corridor and corresponding standards are created to support economic development, sustainable tax base, and

job creation by establishing adjacency predictability of private development that supports and leverages public and private investment in and around Padre Boulevard and the Entertainment District Code.

1.4 Establishment of Specific Development Standards

The PBED Code implements the vision for the Corridor as established in the Zoning Ordinance and Zoning District Map and consistent with the City’s Comprehensive Plan. The PBED Code shall provide general guidance to property owners, developers, and the City on the form, character, and intensity of future development within key locations along the corridor. Creation of different Character Zones within the Corridor enables specific site and locational standards to be enumerated and applied. Clear graphic standards are provided for location, height, and building elements. Such standards promote adjacency predictability, flexibility in land use, walkable mixed-use development, transitions to existing neighborhoods, and transportation choice.

Section 2. Components of the PBED Code

2.1 The Zoning District Map

The Zoning District Map for the Corridor shall be the official zoning map governing the PBED Code. It shall establish the development standards for all lots within the Corridor including:

2.1.1 Character Zones – The Corridor is distinguished into different “Character Zones”. Each Character Zone is intended to create a distinct urban form different from other Character Zone. Each Character Zone shall establish use and building standards including height, bulk, building and parking location, and functional design. The Regulating Plan classifies all lots with the Corridor into one of eight Character Zones.

2.1.2 Special Frontage Standards – Special Frontage Standards establish exceptions and/or special conditions for all buildings along designated streets. Special Frontage Standards shall apply in addition to the underlying Character Zone standards.

2.1.3 Street Designations – The Street Designations on the Regulating Plan include Pedestrian Priority Street, the Boulevard, and General Streets within the Corridor.

2.1.4 Required and Recommended Civic Space - The Required and Recommended Civic Space indicates where Paseos and Plazas are to be established to implement the vision for the Corridor.

2.2 Development Standards

The PBED Code (the text portion of this Code) enumerates the development standards with text and graphics for Character Zones, Schedule of Uses, Special Frontage Standards, building form, landscape, building design, architectural style, sustainability, signage, streetscape and lighting standards within the Corridor.

2.3 Using This Code

The following basic steps should be followed to determine the uses and development standards applicable on property within the Padre Boulevard Corridor zoning district:

2.3.1 Review Table 3.1 to evaluate the applicability of the PBED Code based on scope of the proposed development.

2.3.2 Locate the subject property on Padre Boulevard and Entertainment District Corridor Zoning District Map.

2.3.3 Identify on Zoning District Map:
 (i) the Character Zone in which the property is located;

- (ii) the Street Designation along all its street frontages;
 - (iii) any Special Frontage Standards that may be applicable to the subject property and,
 - (iv) any civic space designations that may be applicable to the subject property.
- 2.3.4 Review the Schedule of Uses by Character Zone as listed in Table 5.1 to determine allowed uses.
- 2.3.5 Examine the corresponding zone standards in the Building Form and Development Standards in Section 6 to determine the applicable development standards and Section 4 for any Special Frontage standards that apply.
- 2.3.6 Refer to Section 8 for Signage Standards and also Padre Boulevard and Entertainment District Design Guidelines for Building Design Standards, Architectural Style Standards, Sustainability Standards that may apply to the development, and Open Space Standards.

determine which sections of the code apply to any proposed development based on the type and scope of the proposed development.

The information organized within the above listed steps explains where the building will sit on the lot, the limits on its three dimensional form, and the range of uses. For more specific dimensions and standards applicable to a particular property, consult with city staff.

Section 3. Administration

3.1 Applicability

- 3.1.1 All uses and buildings on all land within the Padre Boulevard Corridor zoning classification shall conform exclusively to this PBED Code. Table 3.1 shall

Table 3.1 Padre Boulevard and Entertainment District Code Applicability Matrix

Code Section	Land Use Matrix	Building Form - Placement	Building Form - Height	Building Form - Parking & Service	Building Form - Street Screen	Building Form - Encroachments	Building Form - Façade Elements	Building Form - Residential Transition	Building Design Standards	Architectural Style Standards	Sustainability Standards	Streetscape/Landscape Standards	Signage	Civic/Open Space
Type of Development														
Commercial (retail, office, restaurant, lodging), mixed use building, apartment/multi-family building (3 or more units per lot), and live-work buildings														
New Construction	X	X	X	X	X	X	X	X	X	X	X	X	X	X
Change of Use/Expansion of use*	X			X	X									
Expansion of Building Area														
0% - 49% increase in building area • Standards in applicable sections shall apply only to the expansions	X	X	X	X	X	X	X	X	X	X	X	X	X	X
50% or greater increase in building area AND less than \$50,000 or 50% increase in building /improvement value • Standards in applicable sections shall apply only to the expansions	X	X	X	X	X	X	X	X	X	X	X	X	X	X
Any increase of building area AND \$50,000 or greater than 50% increase in building /improvement value • Standards in applicable sections shall apply the entire building including retrofitting of the existing building if non-conforming	X	X	X	X	X	X	X	X	X	X	X	X	X	X
Expansion of parking area only (not in conjunction with a building or use expansion)														
Up to 10 spaces				X	X									
11 or more additional spaces				X	X						X	X		
Façade changes to existing buildings (regardless of value of improvement)														
Pedestrian Priority Street and Boulevard Street façades						X	X		X	X			X	
All other street facades						X							X	
Signage														
Refacing or changing a panel on an existing sign														
Modification of an existing sign where cost of the modification is valued at <u>less than</u> fifty (50) % of the replacement value of the existing sign														
Modification of an existing sign where cost of the modification is valued at <u>more than</u> fifty (50) % of the replacement value of the existing sign													X	
New sign or complete replacement of an existing sign													X	
Residential Buildings (single family attached and detached buildings)														
New construction	X	X	X	X	X	X	X		X	X	X	X	X	X
Change of Use*	X			X	X									
Expansion of use/structure (any building addition, deck, porch, etc.)	X	X	X			X	X	X	X	X				
Expansion of use/structure (new accessory building/structure on the lot or pool)	X	X	X			X		X	X	X				
Façade changes														
Pedestrian Priority Street and Boulevard Street façades						X	X		X	X				
All other street facades						X								

* with no expansion of building

- 3.1.2 Provisions of this PBED Code are activated by “shall” when required; “should” when recommended; and “may” when optional.
- 3.1.3 The provisions of this PBED Code apply only to land, structures, buildings, and areas located within the boundaries of the Padre Boulevard and Entertainment District Code. The provisions of the PBED Code shall apply and control and take precedence over all other City of South Padre Island codes, ordinances, regulations and standards as amended except for rules, requirements, and regulations necessary to consider the structure or building eligible for windstorm and hail insurance coverage, for compliance with fire codes and for compliance with FEMA and flood regulations, or as noted herein. **All other City of South Padre Island Code of Ordinances shall apply when applicable and not in conflict.**
- 3.1.4 The development standards under Chapter 20 of the City of South Padre Island Code of Ordinances, as amended, shall not apply to the Padre Boulevard Corridor except as specifically referenced herein. Development standards not addressed in this ordinance shall be governed by Chapter 20 of the City of South Padre Island Code of Ordinances to the extent they are not in conflict with the intent or standards of the PBED Code.
- 3.1.5 Sign Standards under Chapter 15, of the City Code, except as otherwise specifically provided in the PBED Code, and below in section 3.1.6, shall not apply to the PBED Code except as specifically referenced herein. **All other City of South Padre Island Code of Ordinances shall apply when applicable and not in conflict.**

- 3.1.6 The definitions, rules, procedures and regulations governing “Art”, “Commercial Art”, “Public Art” and “Art in Public Spaces” or related art requirements under Chapter 15 of the City Codes shall apply to all areas contained and located within the boundaries of the PBED Code, UNLESS otherwise specifically stated in this PBED Code. If property is located within the boundaries of the PBED Code, and there exists a conflict or inconsistency between the provisions of Chapter 15 and this PBED Code regarding Art, Art in Public Spaces, Commercial Art or any related Art requirement or rule, the provisions of the PBED Code shall govern. (See Sections 15-1, 15-2.1 and 15-2.2)
- 3.1.7 Terms used throughout this Code are defined in *Section 10. Definitions* of this Code. For those terms not defined in *Section 10. Definitions*, Section 20-3 of the City of South Padre Island Code of Ordinances, or other definitions contained in the City’s Code of Ordinances shall apply. For terms not defined in either section, they shall be accorded commonly accepted meanings. In the event of conflict, the definitions of this Code shall take precedence.

3.2 Development Review Process

- 3.2.1 Development within the Corridor that complies with the provisions of this Code shall be approved by the City Manager or designee. Section 9 provides an overview of the development review process. In addition to complying with other applicable City regulations that are not in conflict with this Code, the applicant shall provide the information to adequately show compliance with this Code as required in Section 3.2.6. The City Manager or designee shall be responsible for the following:

- (i) Reviewing all development applications for compliance with the requirements of PBED Code.
- (ii) Approving development applications that are in compliance with the requirements of the PBED Code.
- (iii) Making determinations on the applications and interpretations of standards in this Code.
- (iv) Approving revisions to previously approved site plans that comply with this Code and all applicable city ordinances.
- (v) Approving any minor modifications to the approved Regulating Plan (Zoning District Map) and Code per Section 3.2.2.
- (vi) Forwarding any appeals to the decision of the City Manager and/or Design Exceptions to the Planning and Zoning Commission.

the appropriate justification for the modification identified.

3.2.2 Minor Modifications to the PBED Code: The City Manager, Public Works Director, Building Official, and/or other City designee shall have the authority to approve a request for minor modifications to PBED Code that:

- (i) Does not increase the building area and height permitted under this Code;
- (ii) Does not change the relationship between the buildings and the street unless needed to address base flood elevation requirements and/or to accommodate required access/parking;
- (iii) Does not allow the reduction of any parking requirement established in this Code; or

The City Manager, Public Works Director, Building Official, and/or other City designee shall also have the authority to approve minor modifications outlined in Table 3.2. All minor modifications approved by the City Manager or designee shall be documented with

Table 3.2 Minor Modifications Allowed

Standard	Minor Modification Allowed	Criteria
Area/boundary of Character Zones (including any Required Civic/Open Spaces and any Special Frontage areas)	No more than a 15% change (increase or decrease) in the area.	<ul style="list-style-type: none"> • Shall not eliminate any Character Zone, required Public Civic Space, or Special Frontage designation. • Shall not change the overall boundary of the Regulating Plan • 15% measurement shall be based on the total area of that specific Character Zone or Special Frontage designation within the entire Corridor
Main Street Special Frontage	Allow the ground floor elevation of a building to be greater than 36” but less than 48” above the finished elevation of the sidewalk along that street frontage and also allow developments adjusting the ground floor elevation to address base flood elevation requirements.	<p>Proposed development shall meet one or more of the following conditions:</p> <ul style="list-style-type: none"> • The sidewalk along the subject building frontage shall be constructed at the same elevation of any adjacent sidewalks along the same street front, or • There are two parallel sidewalks constructed along the subject building frontage, one at the street elevation level and the second at the ground floor elevation level of the building, or • An alternative plan is proposed for sidewalk and building frontage design along multiple properties along the same block that provides continuous sidewalks and active storefronts with appropriate transitions between buildings and/or lots.
Building Form and Development Standards		
<ul style="list-style-type: none"> • Build to zones/setbacks 	Reasonable change in the maximum or minimum BTZ and setback.	<ul style="list-style-type: none"> • Changes to the build to zones and setbacks may only be due to any changes to the street cross sections, changes in the width of a sidewalk, changes due to the needs of access and parking, or to meet the base flood elevation requirements. • In no case shall the sidewalk be less than 6 feet in width
<ul style="list-style-type: none"> • Building Frontage 	Reasonable reduction in the required building frontage along each block of a Pedestrian Priority Street.	<ul style="list-style-type: none"> • Changes to accommodate required access and parking. Traffic circulation pattern that would best serve the site shall be selected. Sidewalk shall be constructed immediately after the building façade.
<ul style="list-style-type: none"> • Street screen 	Waiver of street screen requirement along The Boulevard Street.	<ul style="list-style-type: none"> • Requirement for a street screen may only be waived along a The Boulevard Street along the frontage of any interim surface parking lot (off-street) that is intended to be in-filled with a parking structure.
Streetscape standards	Street tree planting, street lighting, and other streetscape standards may be adjusted based on the development context.	<ul style="list-style-type: none"> • Any changes to the streetscape standards shall be based on specific development context such as vegetation, natural features, drainage, and fire access and is subject to approval by the City.
Color Palette	Usage of colors that are not in the City’s Color Palette.	<ul style="list-style-type: none"> • Approval should only be issued when the proposed building form/style/design provides positive impacts through combination with the proposed color(s). Usage of one color, which is not normally accepted by the City’s color palette, throughout the entire building surface shall not be allowed.

3.2.3 Appeals: Any appeals, of the decision of the City Manager, Public Works Director, Building Official or any other City staff member on development applications, or minor modifications shall be heard by the Planning and Zoning Commission after a written Notice of Appeal is filed with the City Planning Department specifying the decision being appealed and the reasons for the appeal. The Notice of Appeal must also include a \$250 (Two Hundred Fifty Dollar) filing fee. The Planning and Zoning Commission shall consider any such appeal no later than 45 days after the filing of the Notice of Appeal. The decision of the Planning and Zoning Commission may be appealed, by either side, to the City Council by filing A Notice of Appeal with the Planning Department within 10 days of the decision by the Planning and Zoning Commission. The Notice of Appeal must also include a \$250 (Two Hundred Fifty Dollar) filing fee. The City Council shall hear the appeal within 45 days after the Notice of Appeal is filed. For good reason, the City Council may postpone the appeal hearing date for no more than 30 days. If denied by the City Council, the appeal shall be taken to the Cameron County District Court within thirty (30) days after the action or decisions of the City Council. All decisions which have not been appealed within thirty (30) days shall become final. After the appeal is timely taken to the District Court, the procedure shall be governed by the rules of civil procedure and any other applicable law.

3.2.4 Special Development Plans: A request for modification to any of the standards of this Code, including a change to the boundaries or regulations other than Minor Modifications, signage issues or Design Exceptions shall be reviewed and processed as Special Development Plans. Applications for Special Development Plans shall follow the process for a

zoning change in Chapter 20-18 of the City of South Padre Island Code of Ordinances.

Special Development Plans (SDPs) are intended to allow applicants development flexibility to address specific market opportunities and/or contexts. An application for a Special Development Plan may only be considered by the City Council (CC) after the Planning and Zoning Commission (P&Z) has made a recommendation. The City Manager or designee shall review, make recommendations on any SDPs, and shall forward all SDP applications to the Planning and Zoning Commission and the City Council. In evaluating and considering an SDP, the Planning and Zoning Commission and the City Council may consider the extent to which the SDP meets any of the following:

- (i) the goals, intent, and vision for Padre Boulevard and Entertainment District
- (ii) provides an alternative “Master Plan” approach by consolidating multiple properties to create a predictable, market responsive development for the area
- (iii) fits the adjoining context by providing appropriate transitions
- (iv) provides public benefits such as usable civic and open spaces, livable streets, structured and shared parking, and linkages to transit
- (v) does not hinder future opportunities for higher intensity development

3.2.5 Information Required for Development Review. The full list of required materials is included in the Padre Boulevard Corridor development application available from the Planning Department. In general, the following information is required, as applicable:

- (i) Site Plan

- (ii) Building Plans and Elevations
 - (iii) Landscape Plan
 - (iv) Material Specifications
 - (v) Plans and Specifications for Proposed Signs
 - (vi) Description of Proposed Scope of Work
 - (vii) Photographs of Site and Existing Conditions
 - (viii) Art Plans
- 3.2.6 Plat Approval: Plat approval in the PBED shall follow the City’s Subdivision Ordinance as established in Chapter 23 of the City of South Padre Island Code of Ordinances.
- 3.2.7 Variances: Variances to any requirements, rules or standards in this code will be heard and decided by the Planning and Zoning Commission. A person or entity requesting a variance to any requirement, rule or standard in this code shall file an application with the Planning Department along with a \$250 (Two-Hundred Fifty Dollar) application filing fee. The Planning and Zoning Commission shall consider any such application for a variance within 45 days of the filing of the application and filing fee. The decision of the Planning and Zoning Commission may be appealed, by either side, to the City Council by filing a Notice of Appeal within 10 days of the decision by the Planning and Zoning Commission along with a \$250 (Two-Hundred Fifty Dollar) application filing fee. The City Council shall hear the appeal within 45 days of the filing of the Notice of Appeal. For good reason, the City Council may postpone the appeal hearing date for no more than 30 days. If denied by the City Council, the appeal shall be taken to the Cameron County District Court within thirty (30) days of the actions or decisions of the City Council. All decisions or actions which have not been appealed within thirty (30) days shall become final. After the appeal is timely taken to the District Court, the procedure shall be

governed by the rules of Civil Procedure and any other applicable law.

3.2.8 Vacations of public rights-of-way. Street vacations shall follow the standards for a Record Plat in Chapter 23-12 of the City of South Padre Island Code of Ordinances.

3.3 Non-Conforming Uses, Buildings, and Signs:

3.3.1 Regardless of transfer of ownership, existing Non-Conforming Buildings with a Non-Conforming Use that do not conform to the provisions of this Code may continue as long as the impacts of the non-conformity toward the zoning district is not increased.

3.3.2 Regardless of transfer of ownership, existing non-conforming buildings that do not conform to the provisions of this Code may change use within the same building, provided the new use is permitted in Table 5.1.

3.3.3 Regardless of transfer of ownership, existing Non-Conforming Signs that do not conform to the provisions of this Code may continue as they are until the sign is reconstructed or substantially modified such that the modifications are valued at more than fifty (50) % of the replacement value of the sign.

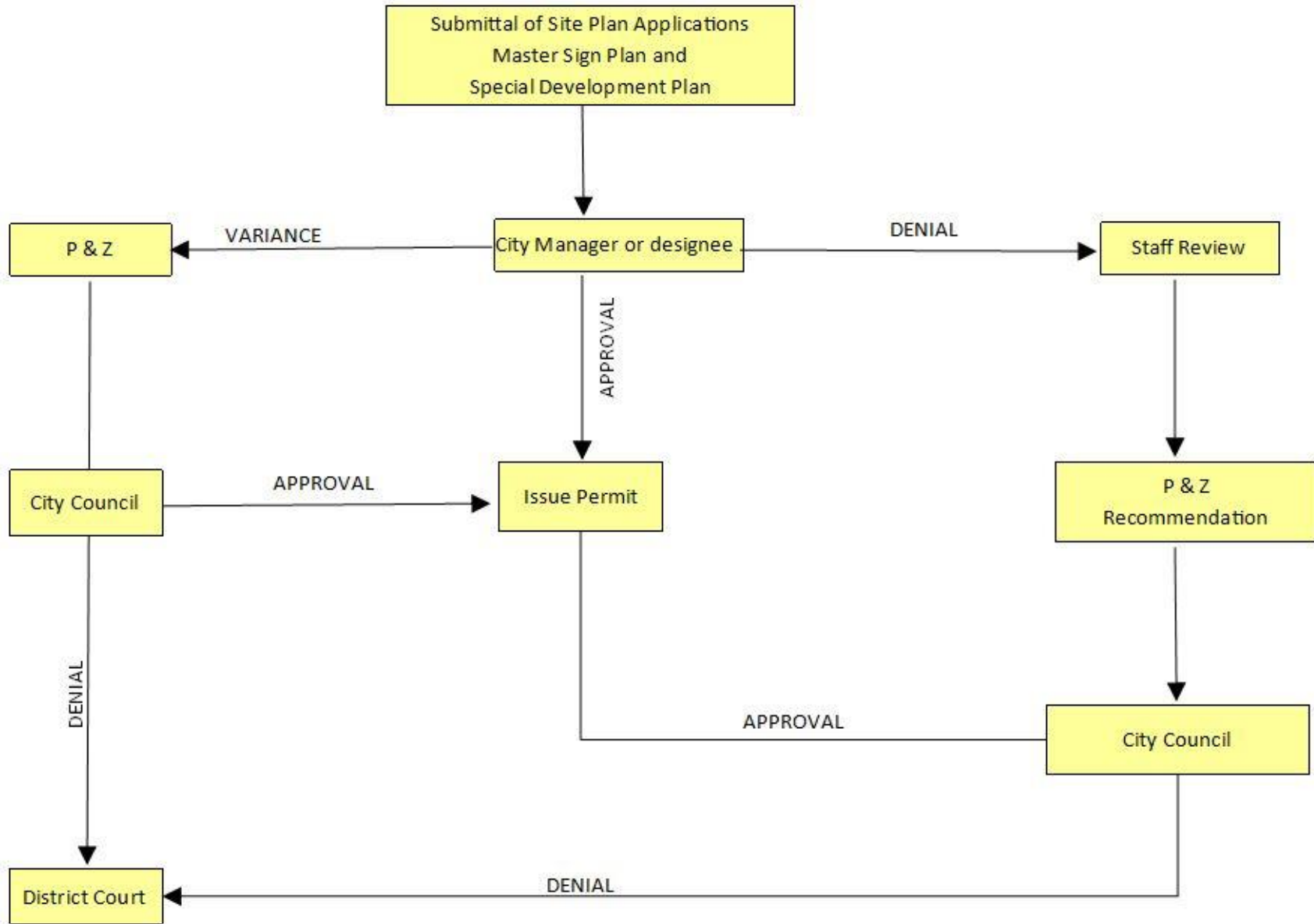
3.3.4 Any reconstruction or modification of or change to a Pedestrian Priority Street or Boulevard façade of a non-conforming building shall meet the provisions the Padre Boulevard and Entertainment District Code that affect the façade design of a building unless a Design Exception is granted by the City Manager or his Designee, Public Works Director, Building Official, and/or the City Council. In granting or denying Design

Exception, the reviewer shall evaluate the extent to which the proposed modifications result in greater or lesser conformance with the specifications of this Code and the extent to which the modifications meet the vision and intent of the PBED Code.

3.4 Amendments to the Padre Boulevard and Entertainment District Code or the Zoning Map shall be considered by the Planning and Zoning Commission. The Planning and Zoning Commission shall make a recommendation to the City Council, who shall consider any requested amendments and changes in accordance with the procedure set out in Chapter 20, including Section 20-18, and the other applicable sections of Chapter 20. of the City of South Padre Island Code of Ordinances

3.5 The Development Review Flow Chart

Sec. 3.5 The Development Review Process and Flow Chart



Section 4. Establishment of Character Zones

The following Character Zones are established. The designation of the specific Character Zone shall be established in the Regulating Plan.

Bayfront – The Bayfront Zone is intended to encourage the development of higher intensity mixed-use to support pedestrian activities by maximizing bayfront access and views. Development standards will emphasize the development of a safe public corridor and a sustainable activity center. Development within the Bayfront Zone shall meet the Building Form and Development Standards in Section 6.2 of this PBED Code.

Entertainment District Core – The Entertainment District Core Zone is intended to encourage the development of the area consistent with the vision for the Entertainment District that connects to the Bayfront to Padre Boulevard. The Entertainment District is intended to have the highest intensity of retail, restaurant, residential, and destination entertainment uses. Development standards will emphasize a pedestrian orientation along Laguna Blvd and key east-west streets such as Amberjacks, Ling and Marlin Streets. Development within the Entertainment District Core Zone shall meet the Building Form and Development Standards in Section 6.3 of this PBED Code.

Neighborhood Crossing – The Neighborhood Crossing Zone is intended to encourage the development of activity nodes with a range of commercial and residential uses at key locations along Padre Boulevard that provide bay to beach connectivity. The Neighborhood Crossing Zone shall meet the Building Form and Development Standards in Section 6.4 of this PBED Code.

Town Center Crossing – The Town Center Crossing Zone is intended to create a development node centered on major civic and public uses. Development standards will emphasize the creation and preservation of a strong public/civic identity at this crossing. Development within the Town Center Crossing Zone shall meet the

Building Form and Development Standards in Section 6.4 of this PBED Code.

Padre Boulevard North – The Padre Boulevard North Zone is intended to provide for more flexible, market based development vision that balances pedestrian orientation with auto-oriented development. Development standards will focus on establishing specific criteria under which developers could propose alternative/unique standards to implement a more market responsive project. Development within the Padre Boulevard North Zone shall meet the Building Form and Development Standards in Section 6.5 of this PBED Code.

Padre Boulevard Central – The Padre Boulevard Central Zone is intended to establish consistent site development standards along Padre Boulevard that creates a more continuous pedestrian realm. Development within the Padre Boulevard Central Zone shall meet the Building Form and Development Standards in Section 6.6 of this PBED Code.

Padre Blvd South – The Padre Blvd South Zone is intended to encourage the redevelopment of the southern portion of Padre Boulevard as a true gateway to the Island. It is also intended to ensure that development along the Boulevard connects the Entertainment District to the beach. Development within the Padre Boulevard South Zone shall meet the Building Form and Development Standards in Section 6.6 of this PBED Code.

Neighborhood Transition – The Neighborhood Transition Zone is intended to provide for a range of smaller scale commercial (retail, office, and live-work) and residential transitions between Padre Boulevard and the neighborhoods to the east and west of the boulevard. Development standards will emphasize keeping a smaller building scale to be compatible with adjoining neighborhoods. Development within the Neighborhood Transition Zone shall meet the Building Form and Development Standards in Section 6.7 of this PBED Code.

Northern Resort District – The Northern Resort District Character Zone building form and development standards are intended to provide for the implementation of a flexible, multi-use, market-based concept which establishes the relationship and character of both Gulf beachfront properties on the east of SPH 100 (Padre Boulevard extension) and the properties on the west of SPH 100 (Padre Boulevard extension) fronting on to the Laguna Madre. The standards are intended to allow individual developers to establish unique and site specific criteria for their individual properties in a way which contributes to and enhances the general seaside resort character of the district. The Northern Resort District Character Zone as a whole may accommodate a wide range of the land uses in response to appropriate market demand. The uses would include but not be limited to commercial, residential, entertainment, recreation, hospitality and other tourism related activities.

4.1 Special Frontage Standards – Special Frontage Standards establish exceptions and special conditions for all buildings along designated street edges. Special Frontage Standards shall apply in addition to the underlying Character Zone standards. The following Special Frontage Standards as established in the PBED Code shall apply:

4.1.1 Main Street Frontage:

- (i) Ground floors of all buildings designated as Main Street Frontage in the PBED Code shall not be occupied by residential units and/or lodging rooms in hotels to a minimum depth of 30 feet as measured from the front building facade line.

4.2. Street Designations – The following Street Designations shall be established for all streets within the Island:

4.2.1 Pedestrian Priority Streets Established – Pedestrian Priority Streets are intended to provide the most pedestrian friendly development context. Buildings along these streets shall be held to the highest standard of pedestrian-oriented design. The Pedestrian Priority Streets are mainly the street

sections that are critical neighborhood connectors as identified in the Regulating Plan.

4.2.2 Boulevard Established – The Boulevard designation is intended to balance pedestrian orientation with automobile accommodation. Typically, the Boulevard shall be a hybrid street that has a more pedestrian friendly development context at street intersections and accommodates auto-related functions and surface parking in the middle of the block. Surface parking shall be screened from the roadway with a fence or living fence. Padre Boulevard shall be the designated Boulevard within the Corridor.

4.2.3 General Streets Established – General Streets are intended to accommodate a more auto-oriented uses, surface parking, and service functions on a site with automobile orientation. The General Streets are as identified in the Regulating Plan.

4.3 Open Space – The Padre Boulevard and Entertainment District Code requires and recommends Open Spaces including Paseos and Plazas. The specific standards for Public and Private Open Space are established in Section 9.5 of this PBED Code.

Section 5. Schedule of Permitted Uses

5.1 Permitted Uses. Due to the emphasis on urban form over land uses in the District, general use categories have been identified by Character Zone. Uses not listed in the following schedule (Table 5.1), but are substantially similar, may be permitted upon approval of the City Manager, Public Works Director, and/or Building Official subject to City Council appeal.

Table 5.1 – Schedule of Uses (Land Use)

Character Zone	Bayfront	Entertainment District Core	Neighborhood Crossing	Town Center Crossing	Padre Boulevard North/Central	Padre Boulevard South	Neighborhood Transition
Commercial Uses (Office, Retail, Restaurant, Sales and Service Uses)							
Retail Sales with no drive through facility_(includes alcohol sales; bicycle, vehicle, and water sport sales & rental; general merchandise; pharmacy; cigarette & cigar sales; hardware stores, etc.) Excluded from this category are retail sales and service establishments geared towards the automobile.	P	P	P	P	P	P	NP
Head Shop (a retail outlet with the sale of paraphernalia related to the consumption of cannabis, other recreational drugs and/or new age herbs. Products typically include but are not limited to, water pipes, bongs, roach clips, pipes, rolling papers, rolling machines, and whipped cream chargers containing nitrous oxide.)	NP	NP	NP	NP	NP	SE	NP
Auto-related Sales or Service establishments (includes gasoline sales)	NP	NP	P/C	P/C	P/C	P/C	NP
Marine repairs	NP	NP	NP	NP	NP	NP	NP
Finance, Insurance, and Real Estate establishments (with no drive through facility)	P	P	P	P	P	P	NP
Offices for business, professional, administrative, and technical services	P	P	P	P	P	P	P
Research laboratory headquarters, laboratories and associated facilities	NP	NP	NP	NP	P	P	NP
Food Service Uses such (includes seating on a sidewalk areas with no pedestrian obstruction; includes alcohol sales; with no drive through facility)	P	P	P	P	P	P	NP
Bar or drinking place	P	P	P	P	P	P	NP
Personal Services such as laundry, dry cleaners, hair care, etc.	P	P	P	P	P	P	NP
Tattoo and body piercing (with a state license)	NP	NP	NP	NP	NP	P	NP
Permanent Makeup Application (with a state license)	NP	NP	NP	NP	NP	P	NP
Retail bait stands	P	P	NP	NP	P	NP	NP
Pet and animal sales or service	P	P	P	P	P	P	NP
Any permitted use with a drive through facility	NP	NP	P/C	NP	P/C	P/C	NP
Arts, Entertainment, and Recreation Uses							
Indoor amusement or theme park establishment including bowling alleys, bingo parlor, games arcades, skating, etc.	P	P	P	P	P	P	NP
Outdoor amusement or theme park establishment including miniature golf, go-cart tracks, etc.	P/SUP	P/SUP	NP	NP	P/SUP	P/SUP	NP
Art galleries	P	P	P	P	P	P	P
Art, antique, apparel, appliance, furniture or electronics studio (includes retail, repair or fabrication uses)	P	P	P	P	P	P	NP
Fitness, recreational sports, gym, or athletic club	P	P	P	P	P	P	NP
Private clubs, fraternities, sororities and lodges that operate solely for the benefit of their members only	P	P	P	P	P	P	NP
Art, dance & music schools	P	P	P	P	P	P	NP
Marina or yachting club facility	P/SUP	NP	NP	NP	P/SUP	P/SUP	NP
Boat docks	P	NP	P	NP	P	P	NP
Museums and other special purpose recreational institutions	P	P	NP	P	P	P	NP
Parks, greens, plazas, squares, and playgrounds	P	P	P	P	P	P	P
Performing arts, theater, cinema, dance or music establishment	P	P	P	P	P	P	NP
Educational, Public Administration, Health Care and Other Institutional Uses							
Business associations and professional membership organizations	P	P	P	P	P	P	NP
Child day care and preschools	P	P	P	P	P	P	P

Character Zone	Bayfront	Entertainment District Core	Neighborhood Crossing	Town Center Crossing	Padre Boulevard North/Central	Padre Boulevard South	Neighborhood Transition
Schools, libraries, and community halls	P	P	P	P	P	P	NP
Universities and Colleges	P	P	P	P	P	P	NP
Technical, trade, and specialty schools	P	P	P	P	P	P	NP
Hospitals (General and Special), primary care office, urgent care centers, and dental clinics	NP	NP	P	P	P	P	NP
Nursing, supervision, and other rehabilitation services (including Substance Abuse Clinics)	NP	NP	P/SUP	P/SUP	P/SUP	P/SUP	NP
Civic uses	P	P	P	P	P	P	NP
Social and fraternal organizations	P	P	P	P	P	P	NP
Social services and philanthropic organizations	P	P	P	P	P	P	NP
Public administration uses (including government uses, public safety, health and human services)	P	P	P	P	P	P	NP
Religious Institutions	P	P	P	P	P	P	P
Funeral homes	P	P	P	P	P	P	NP
Residential Uses							
Home Occupations such as a dressmaker, physician/surgeon/dentist offices, a musician/artist studio etc.	P/A	P/A	P/A	P/A	P/A	P/A	P/A
Single family	SE	SE	SE	SE	SE	SE	SE
Multi-family residential (including apartment and condominiums)							
Ground floor	P/C	P/C	P/C	P/C	P/C	P/C	P
Upper floors	P	P	P	P	P	P	P
Residential Lofts	P	P	P	P	P	P	P
Weekend cottages	NP	NP	NP	NP	NP	NP	NP
Single-family residential attached dwelling unit (Townhomes)	SE	SE	P	P	P	P	P
Accessory residential unit (accessory building not exceed 50% of the floor area of the principal structure)	SE	SE	P/A	P/A	P/A	P/A	P/A
Residential accessory uses in a vacant lot that is contiguous with a residential single family lot having a principal building under common ownership	NA	NA	NA	NA	NA	NA	NA
Short-term (less than 30 days) rentals	P	P	P	P	P	P	P
Mixed use structure (with uses allowed in the district)	P	P	P	P	P	P	P
Trailer parks (travel trailers)	NP	NP	NP	NP	NP	NP	NP
Live-work unit	P	P	P	P	P	P	P
Other Uses							
Accessory uses (the sum of all accessory uses shall not constitute a total area larger than twenty (20) percent of the total building area of the principal use)	NP	NP	NP	NP	NP	NP	NP
Publishing (newspaper, books, periodicals, software)	P/C	P/C	P	P	P	P	NP
Motion picture and sound recording	P/C	P/C	P	P	P	P	NP
Telecommunications and broadcasting	P/C	P/C	P	P	P	P	NP
Information services and data processing	P/C	P/C	P	P	P	P	NP
Model homes or field offices for sales and promotion (until all the homes are sold; building permit is required and shall be valid for a one (1) year period; renewable if sales are still active)	P	P	P	P	P	P	P
Bed and Breakfast Establishments	NP	NP	NP	NP	P	P	P
Hotels and motels	P	P	P	P	P	P	NP
Hotels, motels and condominiums with more than twelve (12) units may include within the premises such businesses as bars, food establishments, barber shops, beauty parlors and other similar businesses	P	P	P	P	P	P	NP
Commercial parking	P/C	P/C	P/C	P/C	P/C	P/C	NP
Temporary commercial parking*	P	P	P	P	P	P	NP
Parking, surface (primary use of property)	P/C	P/C	P/C	P/C	P/C	P/C	P/C
Parking, surface (accessory use of property)	P	P	P	P	P	P	P

Character Zone	Bayfront	Entertainment District Core	Neighborhood Crossing	Town Center Crossing	Padre Boulevard North/Central	Padre Boulevard South	Neighborhood Transition
Parking, structured	P	P	P	P	P	P	NP
Private attached garage	P/A	P/A	NP	NP	NP	NP	P/A
Private detached garage	P/A	P/A	NP	NP	NP	NP	P/A
Impound lot	NP	NP	NP	NP	NP	NP	NP
Outdoor storage	NP	NP	NP	NP	NP	NP	NP
Heliport landing/take-off pads	NP	NP	NP	NP	NP	NP	NP
Community garden	P/C	P/C	P/C	P/C	P/C	P/C	P/C
Antennas including cell, accessory, and mounted on top of buildings.	P/A/C	P/A/C	P/A/C	P/A/C	P/A/C	P/A/C	P/A/C
Utility equipment (includes electrical transformers, gas meters, etc.)	P/A/C	P/A/C	P/A/C	P/A/C	P/A/C	P/A/C	P/A/C
Wind energy equipment	P/A	P/A	P/A	P/A	P/A	P/A	P/A
Rain harvesting equipment	P/A/C	P/A/C	P/A/C	P/A/C	P/A/C	P/A/C	P/A/C
Solar energy equipment	P/A	P/A	P/A	P/A	P/A	P/A	P/A
Special Event	P/SUP	P/SUP	P/SUP	P/SUP	P/SUP	P/SUP	NP
Temporary buildings for construction (shall be removed upon completion or abandonment of construction work)	P	P	P	P	P	P	P

P: Permitted by right

P/C: Permitted with design criteria per Table 5.2

P/A: Permitted accessory use

P/A/C: Permitted as an accessory use with design criteria per Table 5.2

P/SUP: Permitted with a Specific Use Permit

SUP shall meet standards in Chapter 20-24 of the City Code of Ordinances

A: Accessory use to not exceed 25% of the primary use building square footage

SE: Special Exception

NA: Not applicable

NP: Not permitted

*All parking and maneuvering areas on a non-residential lot shall have dustproof paving or vegetative coverage. Usage of Caliche or similar materials that may cause clogs in drainage system or create dust in the area are not allowed.

5.2 Use Criteria: All uses listed as P/C in Table 5.1 shall also meet the following standards in Table 5.2

Table 5.2 – Use Criteria	
<i>Use</i>	<i>Location & Design Criteria</i>
Non-Residential Uses	
Auto-related Sales and Service	<ul style="list-style-type: none"> • The building design shall conform to the requirements of the Padre Boulevard and Entertainment District Code. • Accessory structures, including canopies, kiosks, and car wash buildings, shall conform to or compliment the project architectural theme. This includes similar roof styles, column types, materials, textures, and colors. • Service bays and car wash tunnel openings shall be oriented away from street view and screened from adjacent sites. If service bays and car wash openings toward street view are necessary, dense landscaping and/or architectural treatments shall be provided to screen and/or mitigate unattractive views and features from the street. • Cross access connection shall be required for a mechanic shop to achieve a better screening. • Building colors should emphasize earth tones. The use of highly reflective or glossy materials should be limited and will not be appropriate in all contexts. • Such uses shall be designed so as to mitigate any negative impact on residential uses, including orientation and buffers. • Where adjacent to residential zoning or residential uses, self-service or automatic car washes shall have sound attenuation devices, such as doors or screen walls, located at the entrances and/or exits of the car wash. • All equipment within car wash tunnels shall be contained within the building. • All vehicles under repair and equipment within repair bays shall be contained within the building and shall not be visible from outside. • Canopy lighting shall be recessed and flush with its underside (ceiling). • Full-service car washes shall provide shaded plazas and/or indoor waiting areas for customers. • Gas pumps, canopies, and/or service bays shall not be located along any Pedestrian Priority Street frontage. • Any buildings associated with the use shall also have a pedestrian entrance at a Pedestrian Priority Street and/or the Boulevard. • No outdoor storage of vehicles or other products sold shall be permitted. All auto-related sales display shall be inside storefronts.
Any permitted use with a drive through facility	<ul style="list-style-type: none"> • All drive through access (driveways) shall be from a street with a higher hierarchy. • Drive through lanes and/or canopies shall not have frontage along any Pedestrian Priority Streets.
Residential Uses	
Multi-family residential Ground Floor	<ul style="list-style-type: none"> • All ground floors along all Pedestrian Priority and Boulevard Frontages shall be built to Commercial (ceiling height) Ready standards. Ground floors may be occupied by residential uses.
Other Uses	
Publishing (newspaper, books, periodicals, software)	<ul style="list-style-type: none"> • Shall only be permitted on the upper floors of buildings
Motion Picture and sound recording	
Telecommunications and broadcasting (radio, TV, cable, wireless communications, telephone, etc)	
Information services and data processing	
Parking, surface (primary use of property)	<ul style="list-style-type: none"> • Shall be permitted as an interim use of property (3 year increments) • New surface parking shall be set back a minimum of 30' from the edge of the right-of-way of Pedestrian Priority Streets. • New surface parking shall not be located at a street intersection for minimum of 30' along each street.
Sales from Kiosks	<ul style="list-style-type: none"> • Kiosks shall only be permitted on civic/open spaces. • Kiosks shall be no larger than 150 sq. ft. in area and no taller than 18' in height. • Kiosk locations shall not impede pedestrian pathways or entrances to buildings • Kiosks from which merchandise or food is sold shall be attended when open for business. • Kiosks shall be constructed of similar materials or given a similar finish as adjacent buildings. • All sides of a kiosk shall have a finished look with no externally visible utility equipment.
Community Garden	<ul style="list-style-type: none"> • Shall be no larger than 0.5 acres • Gardens shall be enclosed by a fence on all open sides. • Fences should be installed straight and plumb, with vertical supports at a minimum of 8' on center. Chicken wire, if used, should be continuously supported along all edges.

Table 5.2 – Use Criteria	
<i>Use</i>	<i>Location & Design Criteria</i>
	<ul style="list-style-type: none"> • Fencing Materials: <ul style="list-style-type: none"> ○ <u>Permitted</u>: pressure treated wood (must be painted or stained medium to dark color), chicken wire, wrought iron, painted galvanized steel ○ <u>Not permitted</u>: chain link, bobbed wire, vinyl, un-painted/stained pressure treated wood, plywood
Antennas including cell, accessory and mounted (Excluded from this category are freestanding and commercial antennas and equipment buildings)	<ul style="list-style-type: none"> • Antennas shall be permitted on rooftops. • Antennas shall be screened entirely with a screen of same color as the principal building. • Antennas shall not be visible from adjacent Pedestrian Priority Street.
Rain water harvesting equipment	<ul style="list-style-type: none"> • Rain water harvesting equipment may not be installed along Pedestrian Priority Streets. • On all other frontages, they shall be screened with a Street Screen at least as high as the equipment being screened.
Utility equipment (includes electrical transformers, gas meters, etc)	<ul style="list-style-type: none"> • Utility equipment shall not be installed with frontage on Pedestrian Priority Streets. • On all other frontages, they shall be screened with a Street Screen at least as high as the equipment being screened.
Commercial Parking	<ul style="list-style-type: none"> • New surface parking shall be set back a minimum of 30' from the edge of the right-of-way of Pedestrian Priority Streets. • New surface parking shall not be located at a street intersection for minimum of 30' along each street. • Commercial parking shall not be allowed along any pedestrian priority street frontage.

SECTION 6. BUILDING FORM AND DEVELOPMENT STANDARDS

6.1 AREA REGULATIONS

6.1.1 Minimum Lot Size

- (i) Area of Lot: 2,500 square feet
- (ii) Width of Lot: 25 feet
- (iii) Depth of Lot: 100 feet

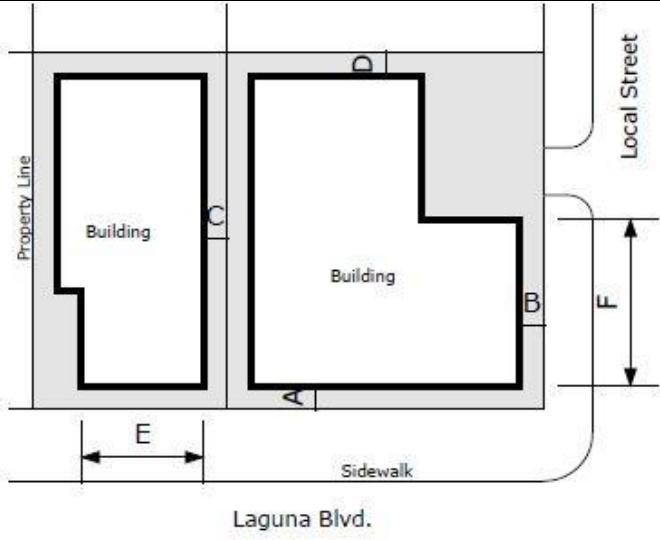
6.1.2 Single Retail Store Maximum Floor Area

No single retail store whether located in a single building, a combination of buildings, single tenant space, and/or combination of tenant spaces shall exceed twenty thousand (20,000) gross square feet of floor area in the aggregate. This size restriction shall apply to both new retail stores and expansion of existing retail stores.



6.2 BAYFRONT CHARACTER ZONE

-6.2.1 Building Placement

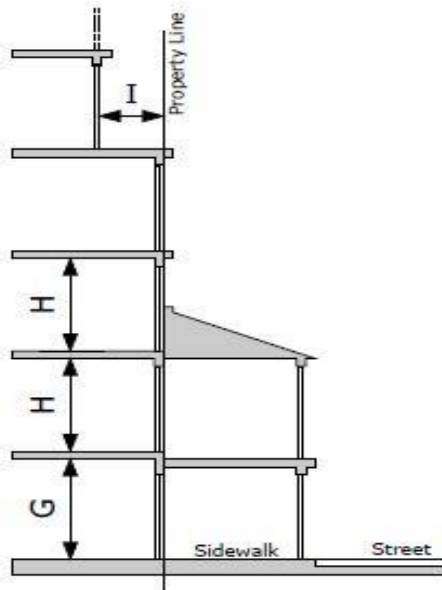


(i) Build-to Zone (from property line)		
Laguna Blvd	0' min.	A
Local Street	0' min.	B
Pedestrian Paseo	0'	B
*Arcades and colonnades are allowed within the BTZ with a minimum of 6' in depth and 12' interior clearance height.		
(ii) Setback		
Side	5' min.	C
Rear	5' min.	D
Rear toward a Single Family residential lot	10' min.	D
(iii) Building Frontage		
Laguna Blvd.	0' min.	E
Local Street	0' min.	F
Pedestrian Paseo	50% min.	F

6.2.3 Parking

- (i) Location Priority (recommended)
1. Shared parking lot or parking building shall be:
 - Within 200 feet from the lot with the principal building;
 - The approval by the City Manager or designee required;
 - Shared parking agreement is required and must comply with Sec. 20-14 (A) (6) (d);
 2. Front parking;
 3. Next to a building;
 4. Ground (1st) floor parking; and
 5. All single-family homes and townhouses must comply with the parking requirements of Sec. 20-14 (B) (18).
- (ii) Design Criteria Shall be:
1. Min. 3 feet behind the property line.
 2. No side/rear setback for parking;
 3. Non-residential uses
 - Min. 1 space/300 SF (gross)
 4. Residential uses
 - Min. 1.5 space/unit
 5. Lodging uses
 - 0.75 spaces/lodging room
 6. Floor to floor heights shall not apply to parking floors.
 7. All parking/service areas shall be defined from the street by a 4' high screen (either the same building material with the principal structure or masonry or a vegetation) within the property line.
- (iii) Parking Measures:
- All development shall meet the requirement for the number of parking.
- (iv) Entrances & Exits:
1. Service access should not be located on a Pedestrian Paseo.
 2. Porte cocheres may be permitted.
 3. Shared driveway and cross access easements may be required between lots to minimize curb cuts.

6.2.2 Building Height



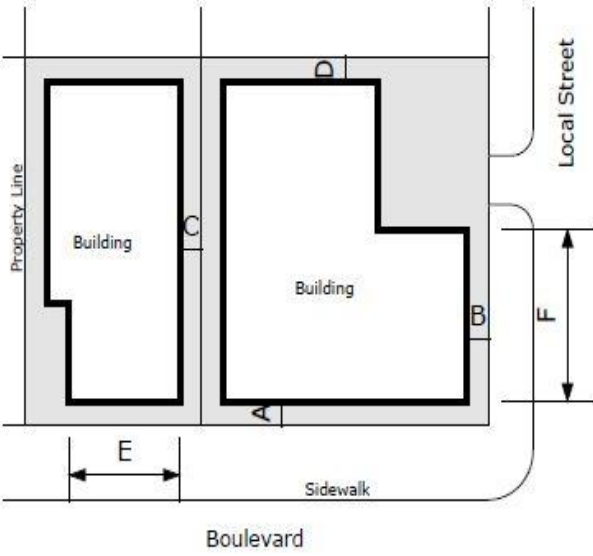
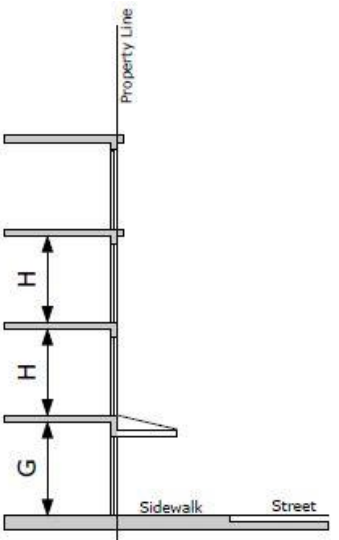
(i) Max. Building Height	0'	
(ii) 1 st Floor Ceiling Height	12' min. (recommended)	G
(iii) Upper Floor(s) Ceiling Height	8' min.	H
(iv) Step Back Distance (between 4 th and 6 th stories)	10' min.	I
(v) Sidewalk canopy and the second-floor balcony may be allowed if the vertical clearance meets a min. of 8 feet.		
(vi) Recessed entrances may be permitted if the upper floors meet the built-to-zone standards.		
(vii) Attics and mezzanines less than 7 feet (avg.) height shall not be counted as a story.		
(viii) Ground floors of all building fronting on Pedestrian Paseo and Laguna Blvd. shall be built to Commercial Ready standards.		

Except for New Single Family Home

6.3 ENTERTAINMENT CHARACTER ZONE

<p>6.3.1 Building Placement</p>	<p>(i) Build-to Zone (from property line)</p> <table border="0"> <tr> <td>Laguna Blvd</td> <td>0'</td> <td>A</td> </tr> <tr> <td>Local Street</td> <td>0'</td> <td>B</td> </tr> <tr> <td>Pedestrian Priority St.</td> <td>0'</td> <td>(recommended) B</td> </tr> </table> <p>*Arcades and colonnades are allowed within the BTZ with a minimum of 6' in depth and 12' interior clearance height.</p> <p>(ii) Setback</p> <table border="0"> <tr> <td>Side</td> <td>5' min.</td> <td>C</td> </tr> <tr> <td>Rear</td> <td>5' min.</td> <td>D</td> </tr> <tr> <td>Rear toward a Single Family residential lot</td> <td>10' min.</td> <td>D</td> </tr> </table> <p>(iii) Building Frontage</p> <table border="0"> <tr> <td>Laguna Blvd.</td> <td>70% min.</td> <td>E</td> </tr> <tr> <td>Local Street</td> <td>0'</td> <td>F</td> </tr> <tr> <td>Pedestrian Priority St.</td> <td>50% min.</td> <td>(recommended) F</td> </tr> </table>	Laguna Blvd	0'	A	Local Street	0'	B	Pedestrian Priority St.	0'	(recommended) B	Side	5' min.	C	Rear	5' min.	D	Rear toward a Single Family residential lot	10' min.	D	Laguna Blvd.	70% min.	E	Local Street	0'	F	Pedestrian Priority St.	50% min.	(recommended) F	<p>6.3.3 Parking</p> <p>(i) Location Priority (recommended)</p> <ol style="list-style-type: none"> Shared parking lot or parking building shall be: <ul style="list-style-type: none"> - Within 200 feet from the lot with the principal building; - The approval by the City Manager or designee required; - Shared parking agreement is required and must comply with Sec. 20-14 (A) (6) (d); Behind a building; Next to a building; Ground (1st) floor parking; Front parking – approval by the City Manager or designee required; and All single-family homes and townhouses must comply with the parking requirements of Sec. 20-14 (B) (18). <p>(ii) Design Criteria Shall be:</p> <ol style="list-style-type: none"> Min. 3 feet behind the property line. No side/rear setback for parking; Non-residential uses Min. 1 space/300 SF (gross) Residential uses Min. 1.5 space/unit Lodging uses 0.75 spaces/lodging room Floor to floor heights shall not apply to parking floors. All parking/service areas shall be defined from the street by a 4' high screen (either the same building material with the principal structure or masonry or a vegetation) within the property line. <p>(iii) Parking Measures: All development shall meet the requirement for the number of parking.</p> <p>(iv) Entrances & Exits:</p> <ol style="list-style-type: none"> Service access should not be located on a Pedestrian Priority Street or on Laguna Blvd. Porte cocheres may be permitted. Shared driveway and cross access easements may be required between lots to minimize curb cuts.
Laguna Blvd	0'	A																											
Local Street	0'	B																											
Pedestrian Priority St.	0'	(recommended) B																											
Side	5' min.	C																											
Rear	5' min.	D																											
Rear toward a Single Family residential lot	10' min.	D																											
Laguna Blvd.	70% min.	E																											
Local Street	0'	F																											
Pedestrian Priority St.	50% min.	(recommended) F																											
<p>6.3.2 Building Height</p>	<p>(i) Max. Building Height 0'</p> <p>(ii) 1st Floor Ceiling Height 12' min. (recommended) G</p> <p>(iii) Upper Floor(s) Ceiling Height 8' min. H</p> <p>(iv) Step Back Distance (between 4th and 6th stories) 10' min. I</p> <p>(v) Sidewalk canopy and the second-floor balcony may be allowed if the vertical clearance meets a min. of 8 feet.</p> <p>(vi) Recessed entrances may be permitted if the upper floors meet the built-to-zone standards.</p> <p>(vii) Attics and mezzanines less than 7 feet (avg.) height shall not be counted as a story.</p> <p>(viii) Ground floors of all building fronting on Pedestrian Priority Street and Laguna Blvd. shall be built to Commercial Ready standards.</p> <p style="text-align: center;">Except for New Single Family Home</p>																												

6.4-TOWN CENTER & NEIGHBORHOOD CROSSING CHARACTER ZONE

<p>6.4.1 Building Placement</p> 	<p>(i) Build-to Zone (from property line)</p> <table border="0"> <tr> <td>Boulevard</td> <td>10'-25'</td> <td>A</td> </tr> <tr> <td>Local Street</td> <td>5' min.</td> <td>B</td> </tr> <tr> <td>Pedestrian Priority St.</td> <td>5'-25'</td> <td>B</td> </tr> </table> <p>*Arcades and colonnades are allowed within the BTZ with a minimum of 6' in depth and 12' interior clearance height.</p> <p>(ii) Setback</p> <table border="0"> <tr> <td>Side</td> <td>5' min.</td> <td>C</td> </tr> <tr> <td>Rear</td> <td>5' min.</td> <td>D</td> </tr> </table> <p>Rear toward a single Family residential lot 10' min. D</p> <p>*A fence (masonry or opaque vegetative) of a 6' height shall be required when abutting a single family residential lot.</p> <p>(iii) Building Frontage</p> <table border="0"> <tr> <td>Boulevard</td> <td>50% min.</td> <td>E</td> </tr> <tr> <td>Local Street</td> <td>0'</td> <td>F</td> </tr> <tr> <td>Pedestrian Priority St.</td> <td>50% min.</td> <td>F</td> </tr> </table>	Boulevard	10'-25'	A	Local Street	5' min.	B	Pedestrian Priority St.	5'-25'	B	Side	5' min.	C	Rear	5' min.	D	Boulevard	50% min.	E	Local Street	0'	F	Pedestrian Priority St.	50% min.	F	<p>6.4.3 Parking</p> <p>(i) Location Priority (recommended)</p> <ol style="list-style-type: none"> Shared parking lot or parking building shall be: <ul style="list-style-type: none"> - Within 200 feet from the lot with the principal building; - The approval by the City Manager or designee required; - Shared parking agreement is required and must comply with Sec. 20-14 (A) (6) (d); Behind a building; Next to a building; and All single-family homes and townhouses must comply with the parking requirements of Sec. 20-14 (B) (18). <p>(ii) Design Criteria Shall be:</p> <ol style="list-style-type: none"> Min. 3 feet behind the property line. No side/rear setback for parking; Non-residential uses Min. 1 space/500 SF (gross) Residential uses Min. 1.5 space/unit Lodging uses 0.75 spaces/lodging room Floor to floor heights shall not apply to parking floors. All parking/service areas shall be defined from the street by a 4' high screen (either the same building material with the principal structure or masonry or a vegetation) within the property line. <p>(iii) Parking Measures: All development shall meet the requirement for the number of parking.</p> <p>(iv) Entrances & Exits:</p> <ol style="list-style-type: none"> Service access should not be located on a Pedestrian Priority Street or on Padre Blvd. Porte cocheres may be permitted. Shared driveway and cross access easements shall be required between lots to minimize curb cuts.
Boulevard	10'-25'	A																								
Local Street	5' min.	B																								
Pedestrian Priority St.	5'-25'	B																								
Side	5' min.	C																								
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<p>6.4.2 Building Height</p> 	<p>(i) Max. Building Height</p> <table border="0"> <tr> <td>Town Center</td> <td>6 stories</td> </tr> <tr> <td>Neighborhood Crossing</td> <td>4 stories</td> </tr> </table> <p>(ii) 1st Floor Ceiling Height 12' min. (recommended) G</p> <p>(iii) Upper Floor(s) Ceiling Height 10' min. (recommended) H</p> <p>(iv) Canopies, signs, awnings, balconies and similar overhang may be allowed over any required setbacks or the sidewalk if the vertical clearance meets a min. of 8 feet.</p> <p>(v) Recessed entrances may be permitted if the upper floors meet the built-to-zone standards.</p> <p>(vi) Attics and mezzanines less than 7 feet (avg.) height shall not be counted as a story.</p> <p>(vii) Ground floors of all building fronting on Pedestrian Priority Street and Boulevard shall be built to Commercial Ready standards.</p> <p>Except for New Single Family Home</p>	Town Center	6 stories	Neighborhood Crossing	4 stories																					
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**PADRE BOULEVARD AND ENTERTAINMENT DISTRICT CODE
6.5-PADRE BOULEVARD NORTH CHARACTER ZONE**

<p>6.5.1 Building Placement</p>	<p>(i) Build-to-Zone (from the property line)</p> <table border="0"> <tr> <td>Boulevard</td> <td>10' min.</td> <td>A</td> </tr> <tr> <td>Local Street</td> <td>0'</td> <td>B</td> </tr> <tr> <td>Pedestrian Priority St.</td> <td>5'-25'</td> <td>B</td> </tr> </table> <p>*Arcades and colonnades are allowed within the BTZ with a minimum of 6' in depth and 12' interior clearance height.</p> <p>(ii) Setback</p> <table border="0"> <tr> <td>Side</td> <td>5' min.</td> <td>C</td> </tr> <tr> <td>Rear</td> <td>5' min.</td> <td>D</td> </tr> <tr> <td>Rear toward a Single Family residential lot</td> <td>10' min.</td> <td>D</td> </tr> </table> <p>*A fence (masonry or opaque vegetative) of a 6' min. / 8' max height shall be required when abutting a single family residential lot.</p> <p>(iii) Building Frontage</p> <table border="0"> <tr> <td>Boulevard</td> <td>0'</td> <td>E</td> </tr> <tr> <td>Local Street</td> <td>0'</td> <td>F</td> </tr> <tr> <td>Pedestrian Priority St.</td> <td>40% min.</td> <td>F</td> </tr> </table>	Boulevard	10' min.	A	Local Street	0'	B	Pedestrian Priority St.	5'-25'	B	Side	5' min.	C	Rear	5' min.	D	Rear toward a Single Family residential lot	10' min.	D	Boulevard	0'	E	Local Street	0'	F	Pedestrian Priority St.	40% min.	F	<p>6.5.3 Parking</p> <p>(i) Location Priority (recommended)</p> <ol style="list-style-type: none"> Shared parking lot or parking building shall be: <ul style="list-style-type: none"> - Within 200 feet from the lot with the principal building; - The approval by the City Manager or designee required; - Shared parking agreement is required and must comply with Sec. 20-14 (A) (6) (d); Front parking; Next to a building; Behind a building; and All single-family homes and townhouses must comply with the parking requirements of Sec. 20-14 (B) (18). <p>(ii) Design Criteria Shall be:</p> <ol style="list-style-type: none"> Min. 3 feet behind the property line. No side/rear setback for parking; Non-residential uses Min. 1 space/300 SF (gross) Residential uses Min. 1.5 space/unit Lodging uses 0.75 spaces/lodging room Floor to floor heights shall not apply to parking floors. All parking/service areas shall be defined from the street by a 4' high screen (either the same building material with the principal structure or masonry or a vegetation) within the property line. <p>(iii) Parking Measures: All development shall meet the requirement for the number of parking.</p> <p>(iv) Entrances & Exits:</p> <ol style="list-style-type: none"> Service access should not be located on a Pedestrian Priority Street or on Padre Blvd. Porte cocheres may be permitted. Shared driveway and cross access easements shall be required between lots to minimize curb cuts.
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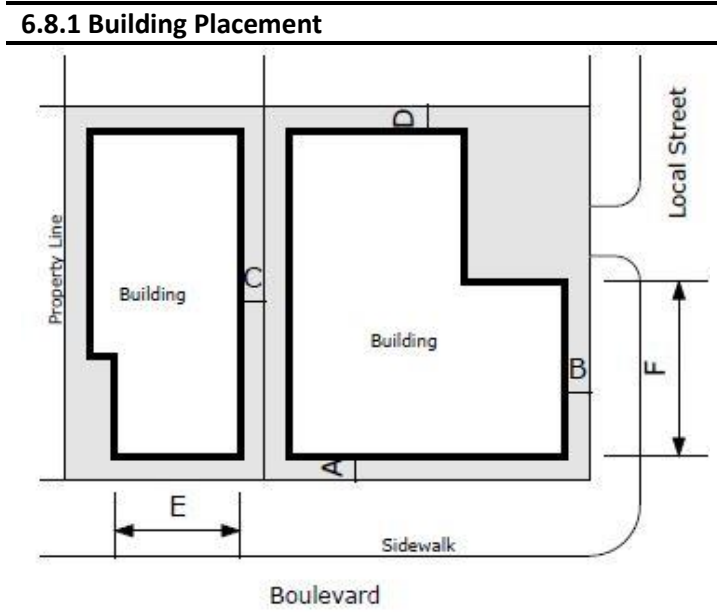
6.6-PADRE BOULEVARD SOUTH & CENTRAL CHARACTER ZONE

<p>6.6.1 Building Placement</p>	<p>(i) Build-To-Zone (from the property line)</p> <table border="0"> <tr> <td>Boulevard</td> <td>10' – 75'</td> <td>A</td> </tr> <tr> <td>Local Street</td> <td>5' min.</td> <td>B</td> </tr> <tr> <td>Pedestrian Priority St.</td> <td>5' – 25'</td> <td>B</td> </tr> </table> <p>*Arcades and colonnades are allowed within the BTZ with a minimum of 6' in depth and 12' interior clearance height.</p> <p>(ii) Setback</p> <table border="0"> <tr> <td>Side</td> <td>5' min.</td> <td>C</td> </tr> <tr> <td>Rear</td> <td>5' min.</td> <td>D</td> </tr> </table> <p>Rear toward a Single Family residential lot</p> <table border="0"> <tr> <td></td> <td>10' min.</td> <td>D</td> </tr> </table> <p>*A fence (masonry or opaque vegetative) of a 6' min. / 8' max height shall be required when abutting a single family residential lot.</p> <p>(iii) Building Frontage</p> <table border="0"> <tr> <td>Boulevard</td> <td>25% min.</td> <td>E</td> </tr> <tr> <td>Local Street</td> <td>0'</td> <td>F</td> </tr> <tr> <td>Pedestrian Priority St.</td> <td>50% min</td> <td>F</td> </tr> </table>	Boulevard	10' – 75'	A	Local Street	5' min.	B	Pedestrian Priority St.	5' – 25'	B	Side	5' min.	C	Rear	5' min.	D		10' min.	D	Boulevard	25% min.	E	Local Street	0'	F	Pedestrian Priority St.	50% min	F	<p>6.6.3 Parking</p> <p>(i) Location Priority (recommended)</p> <ol style="list-style-type: none"> Shared parking lot or parking building shall be: <ul style="list-style-type: none"> - Within 200 feet from the lot with the principal building; - The approval by the City Manager or designee required; - Shared parking agreement is required and must comply with Sec. 20-14 (A) (6) (d); Behind a building; Next to a building; and All single-family homes and townhouses must comply with the parking requirements of Sec. 20-14 (B) (18). <p>(ii) Design Criteria Shall be:</p> <ol style="list-style-type: none"> Min. 3 feet behind the property line. No side/rear setback for parking; Non-residential uses Min. 1 space/300 SF (gross) Residential uses Min. 1.5 space/unit Lodging uses 0.75 spaces/lodging room Floor to floor heights shall not apply to parking floors. All parking/service areas shall be defined from the street by a 4' high screen (either the same building material with the principal structure or masonry or a vegetation) within the property line. <p>(iii) Parking Measures: All development shall meet the requirement for the number of parking.</p> <p>(iv) Entrances & Exits:</p> <ol style="list-style-type: none"> Service access should not be located on a Pedestrian Priority Street or on Padre Blvd. Porte cocheres may be permitted. Shared driveway and cross access easements shall be required between lots to minimize curb cuts.
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<p>6.6.2 Building Height</p>	<p>(i) Max. Building Height 0' (Max. 4 stories within 300' of Padre Blvd.)</p> <p>(ii) 1st Floor Ceiling Height 12' min. (recommended) G</p> <p>(iii) Upper Floor(s) Ceiling Height 10' min. (recommended) H</p> <p>(iv) Canopies, signs, awnings, balconies and similar overhang may be allowed over any required setbacks or the sidewalk if the vertical clearance meets a min. of 8 ft.</p> <p>(v) Recessed entrances may be permitted if the upper floors meet the built-to-zone standards.</p> <p>(vi) Attics and mezzanines less than 7 feet (avg.) height shall not be counted as a story.</p> <p>(vii) Ground floors of all building fronting on Pedestrian Priority Street and Boulevard shall be built to Commercial Ready standards.</p> <p>Except for New Single Family Home</p>																												

**PADRE BOULEVARD AND ENTERTAINMENT DISTRICT CODE
6.7 NEIGHBORHOOD TRANSITION CHARACTER ZONE**

<p>6.7.1 Building Placement</p>	<p>(i) Build-To-Zone (from the property line)</p> <table border="0"> <tr> <td>Boulevard</td> <td>10' – 75'</td> <td>A</td> </tr> <tr> <td>Local Street</td> <td>0'</td> <td>B</td> </tr> <tr> <td>Pedestrian Priority St.</td> <td>5' – 20'</td> <td>B</td> </tr> </table> <p>*Arcades and colonnades are allowed within the BTZ with a minimum of 6' in depth and 12' interior clearance height.</p> <p>(ii) Setback</p> <table border="0"> <tr> <td>Side</td> <td>5' min.</td> <td>C</td> </tr> <tr> <td>Rear</td> <td>5' min.</td> <td>D</td> </tr> <tr> <td>Rear toward a Single Family residential lot</td> <td>10' min.</td> <td>D</td> </tr> </table> <p>*A fence (masonry or opaque vegetative) of a 6' height shall be required when abutting a single family residential lot.</p> <p>(iii) Building Frontage</p> <table border="0"> <tr> <td>Boulevard</td> <td>50% min.</td> <td>E</td> </tr> <tr> <td>Local Street</td> <td>0'</td> <td>F</td> </tr> <tr> <td>Pedestrian Priority St.</td> <td>50% min</td> <td>F</td> </tr> </table>	Boulevard	10' – 75'	A	Local Street	0'	B	Pedestrian Priority St.	5' – 20'	B	Side	5' min.	C	Rear	5' min.	D	Rear toward a Single Family residential lot	10' min.	D	Boulevard	50% min.	E	Local Street	0'	F	Pedestrian Priority St.	50% min	F	<p>6.7.3 Parking</p> <p>(i) Location Priority (recommended)</p> <ol style="list-style-type: none"> Shared parking lot or parking building shall be: <ul style="list-style-type: none"> - Within 200 feet from the lot with the principal building; - The approval by the City Manager or designee required; - Shared parking agreement is required and must comply with Sec. 20-14 (A) (6) (d); Behind a building; Next to a building; Front parking; and All single-family homes and townhouses must comply with the parking requirements of Sec. 20-14 (B) (18). <p>(ii) Design Criteria Shall be:</p> <ol style="list-style-type: none"> Min. 3 feet behind the property line. No side/rear setback for parking; Non-residential uses Min. 1 space/500 SF (gross) Residential uses Min. 1.5 space/unit Lodging uses 0.75 spaces/lodging room Floor to floor heights shall not apply to parking floors. All parking/service areas shall be defined from the street by a 4' high screen (either the same building material with the principal structure or masonry or a vegetation) within the property line.
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<p>6.7.2 Building Height</p>	<p>(i) Max. Building Height 3-Stories</p> <p>(ii) 1st Floor Ceiling Height 12' min. (recommended) G</p> <p>(iii) Upper Floor(s) Ceiling Height 8' min. (recommended) H</p> <p>(iv) Canopies, signs, awnings, balconies and similar overhang may be allowed over any required setbacks or the sidewalk if the vertical clearance meets a min. of 8 ft.</p> <p>(v) Recessed entrances may be permitted if the upper floors meet the built-to-zone standards.</p> <p>(vi) Attics and mezzanines less than 7 feet (avg.) height shall not be counted as a story.</p> <p>(vii) Ground floors of all building fronting on Pedestrian Priority Street and Boulevard shall be built to Commercial Ready standards.</p> <p align="center">Except for New Single Family Home</p>	<p>(iii) Parking Measures: All development shall meet the requirement for the number of parking.</p> <p>(iv) Entrances & Exits:</p> <ol style="list-style-type: none"> Service access should not be located on a Pedestrian Priority Street or on Padre Blvd. Porte cocheres may be permitted. Shared driveway and cross access easements shall be required between lots to minimize curb cuts. 																											

**PADRE BOULEVARD AND ENTERTAINMENT DISTRICT CODE
6.8-NORTHERN RESORT DISTRICT CHARACTER ZONE**



(i) Build-To-Zone (from the property line)

Boulevard	10' – 75'	A
Local Street	5' min	B
Pedestrian Priority Street	5' – 25'	B

*Arcades and colonnades are allowed within the BTZ with a minimum of 6' in depth and 12' interior clearance height.

(ii) Setback

Side	5' min.	C
Rear	5' min.	D
Rear toward a Single Family residential lot	10' min.	D

*A fence (masonry or opaque vegetative) of a 6' height shall be required when abutting a single family residential lot.

(iii) Building Frontage
No less than 40% building frontage to be located in applicable BTZ E and F

(iv) Block Standards: 250' min – 1200' max for the west of the Blvd; none for the east

6.8.3 Parking

(i) Location Priority (recommended)

- Shared parking lot or parking building shall be:
 - Within 200 feet from the lot with the principal building;
 - The approval by the City Manager or designee required;
 - Shared parking agreement is required and must comply with Sec. 20-14 (A) (6) (d);
- Behind a building;
- Next to a building;
- Front parking; and
- All single-family homes and townhouses must comply with the parking requirements of Sec. 20-14 (B) (18).

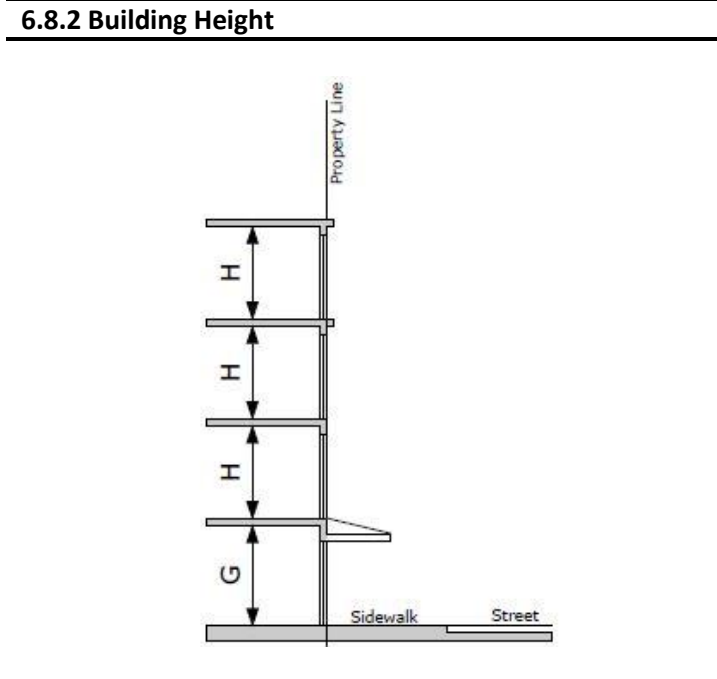
(ii) Design Criteria Shall be:

- Min. 10 feet behind the property line along Boulevard/Pedestrian Priority/Civic Space; Min 3 feet behind the property line along general street.
- No side/rear setback for parking;
- Non-residential uses
Min. 1 space/300 SF (gross)
- Residential uses
Min. 1.5 space/unit
- Lodging uses
0.75 spaces/lodging room
- Floor to floor heights shall not apply to parking floors.
- All parking/service areas shall be defined from the street by a 4' high screen (either the same building material with the principal structure or masonry or a vegetation) within the property line.

(iii) Parking Measures:
All development shall meet the requirement for the number of parking.

(iv) Entrances & Exits:

- Service access should not be located on a Pedestrian Priority Street or on Padre Blvd.
- Porte cocheres may be permitted.
- Shared driveway and cross access easements shall be required between lots to minimize curb cuts.



(i) Max. Building Height
(4 stories within 30' from Padre Blvd; 40 stories otherwise)

(ii) 1st Floor Ceiling Height

12' min. for Commercial (recommended)	G
10' min for Residential (recommended)	G

(iii) Upper Floor(s) Ceiling Height 10' min. (recommended) H

(iv) Canopies, signs, awnings, balconies and similar overhang may be allowed over any required setbacks or the sidewalk if the vertical clearance meets a min. of 8 ft.

(v) Corner buildings up to 4 stories located on the boulevard frontage may exceed the max. building height by 25% for 20% of the building frontage along each corresponding street façade..

(vi) Attics and mezzanines less than 7 feet (avg.) height shall not be counted as a story.

(vii) Ground floors of all building fronting on Pedestrian Priority Street and Boulevard shall be built to Commercial Ready standards.

Except for New Single Family Home

(iii) Parking Measures:
All development shall meet the requirement for the number of parking.

(iv) Entrances & Exits:

- Service access should not be located on a Pedestrian Priority Street or on Padre Blvd.
- Porte cocheres may be permitted.
- Shared driveway and cross access easements shall be required between lots to minimize curb cuts.

6.8-NORTHERN RESORT DISTRICT CHARACTER ZONE (Continued)

<p>6.8.4 Façade Elements (Site Specific)</p>	<p>(i) This subsection replaces 7.1.</p> <p>(ii) Doors and Windows;</p> <ol style="list-style-type: none"> 1. For all buildings of up to 4 floors with facades facing on to the Boulevard or Pedestrian Priority Streets there should be no blank walls greater than 40ft in width on the ground floor façade of any building. 2. Doors and windows on the ground floor of any building should comprise a minimum of 20% of the façade. 3. Primary entrance doors of all buildings should be facing civic spaces, the Boulevard or Pedestrian Priority Streets. 4. Windows and doors on facades directly facing towards a lot line shared with any single family residential lot and less than 10 ft. from the lot line should have sills higher than 6 ft. from the ground unless a privacy fence (masonry or vegetative) or wall of at least 6 ft. in height is constructed to obscure any direct views into adjacent properties. 5. For all buildings over 4 floors located more than 50ft from the property line facing the Boulevard or Pedestrian Priority Streets, window and doors should be designed in accordance with this code.
<p>6.8.5 Additional Landscaping</p>	<p>(i) This is in addition to the requirements of 7.2 Landscape Standards</p> <p>(ii) For buildings fronting on to the Boulevard and Pedestrian Priority Streets the area between the property line and the building should include a 6ft wide (min) landscaping strip with street trees or shrubs planted at 40ft centers (average) except at street intersections, where paving is optional up to 25ft along the building façade along each street frontage. Species of appropriate street trees or shrubs should be selected from the Planting List in this code.</p>
<p>6.8.6-Driveways and Streets</p>	<p>(i) Driveways on lots having more than 250' Boulevard frontage may be located on the Boulevard in accordance with TXDOT standards.</p> <p>(ii) Pedestrian Priority Streets and General Streets do not yet exist in the Zone, and are to be designated by the developer as they are developed.</p>

SECTION 7 FAÇADE AND LANDSCAPE STANDARDS

Façade Elements**7.1 Façade along Pedestrian Priority Street, Paseo and Boulevard (See also Sec. 9.2.3 – 9.2.8 and other parks of Sec. 9 for additional recommended Façade Components)**

- (i) There should be no blank walls greater than 25 feet in widths.
- (ii) Primary entrance door shall be provided on the façade. In the case of a corner lot, there shall be a primary entrance door on the side where the building is addressed.
- (iii) Doors and windows on ground floor of all buildings should be between 40% and 90% of the ground floor façade area.
- (iv) Windows on the upper floors should be a minimum of 20% of each upper floor façade area, which should be located between 3 ft. and 9 ft. above each finished floor.

7.1.1 Commercial Ready

Commercial ready means space constructed at a minimum ground floor height as established in each character zone which may be used for noncommercial uses and can be converted into retail/commercial use. Prior to the issuance of a certificate of occupancy for a retail/commercial use in a Commercial Ready space is to provide the flexibility of occupying a space in accordance with market demand and allowing the use in such space to change to retail/commercial uses accordingly.

7.2 Landscape Standards and Requirements

When not in conflict or inconsistent with the landscaping rules and requirements below, or any other place in this Code, the provisions of Chapter 20-21 of the City Code entitled "Required Landscaping", shall govern the landscaping requirements within the boundaries of the PBED Code. If there is a conflict or inconsistency between the PBED Code and Sec. 20-21 of the City Code, the PBED Code shall control and govern the landscaping requirements for the areas located within its boundaries. (See Appendix A Planting List for recommended trees, shrubs, ornamentals, and plantings).

7.2.1 Minimum Requirements

- (i) Single-Family Use: No less than 30% of the minimum front yard setback area.
- (ii) Townhouse: no less than 15% of the minimum front yard setback area.
- (iii) Commercial / Multifamily (Hotel Motel, Condominium, Duplex, etc.): No less than 20% of the front-of-building area.
- (iv) Corner Lots: An additional 10% of the side-of-building area.
- (v) Developed Properties with No Building: No less than 10% of the entire lot.

7.2.4 Landscape Plan

- (i) Landscape plan shall be submitted with any application materials for a building permit.
- (ii) Approved landscape plan shall be valid as long as the building permit for the project is valid.
- (iii). The Building Inspector may at his/her discretion issue a temporary Certification of Occupancy, not to exceed 60 days, in the event of inclement weather, natural disasters, or for other good cause shown.

7.2.5 Maintenance

All landscaping required shall be maintained in a neat and healthy condition. Such Maintenance shall be an ongoing obligation of the owner of the property and prompt replacement shall be made of diseased, damaged or dead plant materials.

7.2.6 Penalty for Violation

Should any person fail to comply with the requirements of this chapter, such failure shall constitute a violation and punishable as set forth in Section 20-17 of the City Ordinance. As stated therein, any violation of this Code or Chapter 20 of the City Code shall be punishable by a fine up to Two thousand dollars (\$2,000) per day the violation exists.

7.2.7 The City has the right to trim and remove trees, plants, and shrubs within all right-of-ways and streets, and other public grounds as may be necessary for construction and maintenance of public improvements, including utilities, and for public safety.

7.2.8 The City has the right to remove, or order the removal of any tree, shrub, or any other planting or vegetation which creates an unsafe condition, is injurious to or threatens to injure sewers, electric power lines, gas lines, water lines, or other possible improvements, or infected with fungus, insect, or other pest.

7.2.9 Except for City planting operations, tree planting, or the planting of any shrubs or other plantings is prohibited within city rights-of-way and public easements.

7.2.10 Invasive Species are prohibited. Invasive plants, trees, shrubs or other plantings, as defined in Sec 20-21 (F) (3) are prohibited.

8.3 Recommended Tree Planting and Landscaping for City Streets and Easements

- (a) Street trees should be required on all PBED streets except on General streets and alleys,

(vi) Other materials such as planters, bark mulch, brick, stone, natural forms, water forms, and aggregate (but not concrete or asphalt) may be used with the 80% coverage of live plant materials.

7.2.2 Tree Requirements

- (i) Min. one tree / 300 square feet
- (ii) No less than one tree shall be planted on each lot

7.2.3 Line of Sight

All landscape installations must provide unobstructed views in accordance with sight triangle requirements as denoted within Article 2.22 of the Standards and Specifications for the Acceptance of Public Improvements. All landscaping and planting must be done to provide unobstructed views of a street, driveway, or intersection for a driver or pedestrian.

- (b) Street trees should be planted approximately 3 feet behind the curb,
- (c) Spacing should be an average of 40 feet on the center along all streets measured per block face,
- (d) The minimum caliper size for each tree should be 3 inches and should be a minimum of 12 feet in height at planting. Each tree shall be planted in an area of no less than 24 square feet,
- (e) Species should be selected from the Planting List in Appendix A,
- (f) The planting of trees in a manner to not interfere or grow into electrical or other utility lines should be avoided.

City of South Padre Island	PADRE BOULEVARD AND ENTERTAINMENT DISTRICT CODE
SECTION 8 SIGNAGE STANDARDS	

8.1 Applicability. For new substantially modified signs, the standards in Table 8.1 shall apply and sign permits shall be approved administratively by the City of South Padre Island Building Official unless specifically noted in this section, or this code.

8.1.1 Except as specifically noted in this section, or this Code, all other standards, rules, and regulations for Signs shall comply with Chapter 15 of the City Code, as amended. If a type of sign is not specified in table 8.1 the provisions of Chapter 15 of the City Code (The Sign Ordinance) shall be referred to and governs and controls.

8.1.2 Unless specifically defined in this Code, the definitions of Chapter 15 of the City Code regulations for signs shall apply.

8.2 Master Sign Plans. An applicant has the option to establish unique sign standards including size, color, type, design, and location. Such applications shall be reviewed as “Master Sign Plans” by the City of South Padre Island Building Official and are subject to approval of the Planning and Zoning Commission. In evaluating a Master Sign Plan, the Planning and Zoning Commission shall consider the extent to which the application meets the proposed Master Sign Plan and consider the Master Sign Plan:

- (a) Promotes consistency among signs within a development thus creating visual harmony between signs, buildings, and other components of the property;
- (b) Enhances the compatibility of signs with the architectural and site design features within a development;
- (c) Encourages signage that is in character with planned and existing uses thus creating a unique sense of place; and
- (d) Encourages multi-tenant commercial uses to develop a unique set of sign regulations in conjunction with development standards.

8.2.1 The decision of the Planning and Zoning Commission may be appealed to the City Council in accordance with the procedures provided for in Sec. 3.2.3 of this Code.

Table 8.1

Character Zone	Bayfront	Entertainment District Core	Neighborhood Crossing	Town Center Crossing	Padre Boulevard South	Padre Boulevard Central	Padre Boulevard North	Neighborhood Transition	Standards
Sign Type									
Wall Signs	P	P	P	P	P	P	P	P (comm. Uses only)	<ul style="list-style-type: none"> For all ground floor commercial uses (retail, office, and restaurant): One sign per tenant space per each street frontage, not to exceed more than 2 signs; area to be calculated at 1.5 sq. ft. per linear foot of public street frontage for the tenant space with a maximum of 100 sq. ft. per tenant. Second and upper floor commercial uses may also be permitted one second floor wall sign per tenant space per public street frontage; area to be calculated at 1.5 sq. ft. per linear foot of second or upper floor frontage along that public street with a maximum of 125sq. ft. Institutional uses (non-profits and churches): One sign per tenant space; area to be calculated at 1.5 sq. ft. per linear foot of public street frontage with a maximum of 100 sq. ft. Live-Work and Home occupation: One sign limited to an area of 20 sq. ft. max. Building sign may encroach a maximum of 12” on to a sidewalk while maintaining a vertical clearance of 8 ft. from the finished sidewalk. Building signs may be internally or externally lit. Marquee signs as only permitted as specified below.
Monument Signs	P	P	P	P	P	P	P	NP	<ul style="list-style-type: none"> One monument sign per lot per lot street frontage (no more than 2 per lot separated by at least 100 ft.) limited to a maximum of 50 sq. ft. per sign face and 6 ft. in height.
Window Signs	P	P	P	P	P	P	P	P (comm. Uses only)	<ul style="list-style-type: none"> Limited to 10% of the window area. In the Neighborhood Transition Zone, window signs are only permitted for commercial uses (including the “work” component of live-work uses). <p>The following shall be exempt from this limitation:</p> <ul style="list-style-type: none"> Addresses, closed/open signs, hours of operation, credit card logos, real estate signs, and now hiring signs. Mannequins and storefront displays of merchandise sold.

									<ul style="list-style-type: none"> • Interior directory signage identifying shopping aisles and merchandise display areas.
Building Blade Signs	P	P	P	P	P	P	P	P	<ul style="list-style-type: none"> • One per building (commercial and mixed use buildings only). • Area = 30 sq. ft. maximum per sign face. • May encroach a maximum of 2 ft. over a sidewalk, but shall not encroach over any parking or travel lane. • Building blade signs may be attached to the building at the corners of building or along any street facing façade above the first floor façade.
Character Zone	Bayfront	Entertainment District Core	Neighborhood Crossing	Town Center Crossing	Padre Boulevard South	Padre Boulevard Central	Padre Boulevard North	Neighborhood Transition	Standards
Sign Type									
Tenant Blade Signs	P	P	P	P	P	P	P	P	<ul style="list-style-type: none"> • One per commercial tenant space (retail, office, or restaurant use) • Area = 16 sq. ft. maximum per sign face. • May encroach a maximum of 2 ft. over a public sidewalk, but shall not encroach over any parking or travel lane. • Tenant blade signs shall be oriented perpendicular to the building façade and hung under the soffit of an arcade or under a canopy/awning or attached to the building façade immediately over the ground floor tenant space while maintaining a vertical clearance of 8 ft. from the finished sidewalk.
Marquee Signs	P	P	P	P	P	P	P	NP	<ul style="list-style-type: none"> • Permitted for theatres, auditoriums, and other public gathering venues of 100 persons or more. • Marquee signs shall be attached to the building or located above or below a canopy only. • Area = 100 sq. ft. maximum. • Message board may be changeable copy (electronic and non-electronic). Electronic message boards shall be non-flashing.
For sale/for lease Signs	P	P	P	P	P	P	P	P	<ul style="list-style-type: none"> • Size is limited to 32 sq. ft. per sign face. • All other standards are the same as City of South Padre Island Sign Regulations.
Address signs	P	P	P	P	P	P	P	P	<ul style="list-style-type: none"> • Same as City of South Padre Island Sign Regulations.
Temporary Construction signs	P	P	P	P	P	P	P	P	<ul style="list-style-type: none"> • 1 free standing sign per lot during construction only; limited to 32 sq. ft. • Regulations same as City of South Padre Island Temporary Signage regulations, Sec. 15-6 (G).
Banners	P	P	P	P	P	P	P	P	<ul style="list-style-type: none"> • Same as City of South Padre Island Sign Regulations.
Sandwich board Signs	P	P	P	P	P	P	P	P	<ul style="list-style-type: none"> • Permitted for retail, service, or restaurant uses. • Limited to 12 sq. ft. per sign face per store front. • Sign may not exceed 5 ft. in height. • A minimum of 6 ft. of sidewalk shall remain clear. • Chalkboards may be used for daily changing of messages. Reader boards (electronic and not-electronic) shall be prohibited. • Sign shall be removed every day after the business is closed.
Light Pole Banners	P	P	P	P	P	P	P	P	<ul style="list-style-type: none"> • Permitted only with approval of the City Council. • Max. 10 sq. ft. per sign face. • Limited to one per light pole. • All light pole banners shall be approved by the appropriate utility company prior to consideration by the City Council. • Light pole banners shall be limited to publicize community-wide events, holiday celebrations, public art, and other City sponsored events.
Directory signs	P	P	P	P	P	P	P	P	<ul style="list-style-type: none"> • Shall be allowed for all multi-tenant commercial and mixed use buildings only. • One directory sign per multi-tenant building limited to 12 sq. ft. in area. • Design of the sign shall be integral to the façade on which the sign is to be affixed.

P= Permitted; NP = Not Permitted

Section 9. Design Standards and Recommendations

9.1. Recommended Standards for Streets

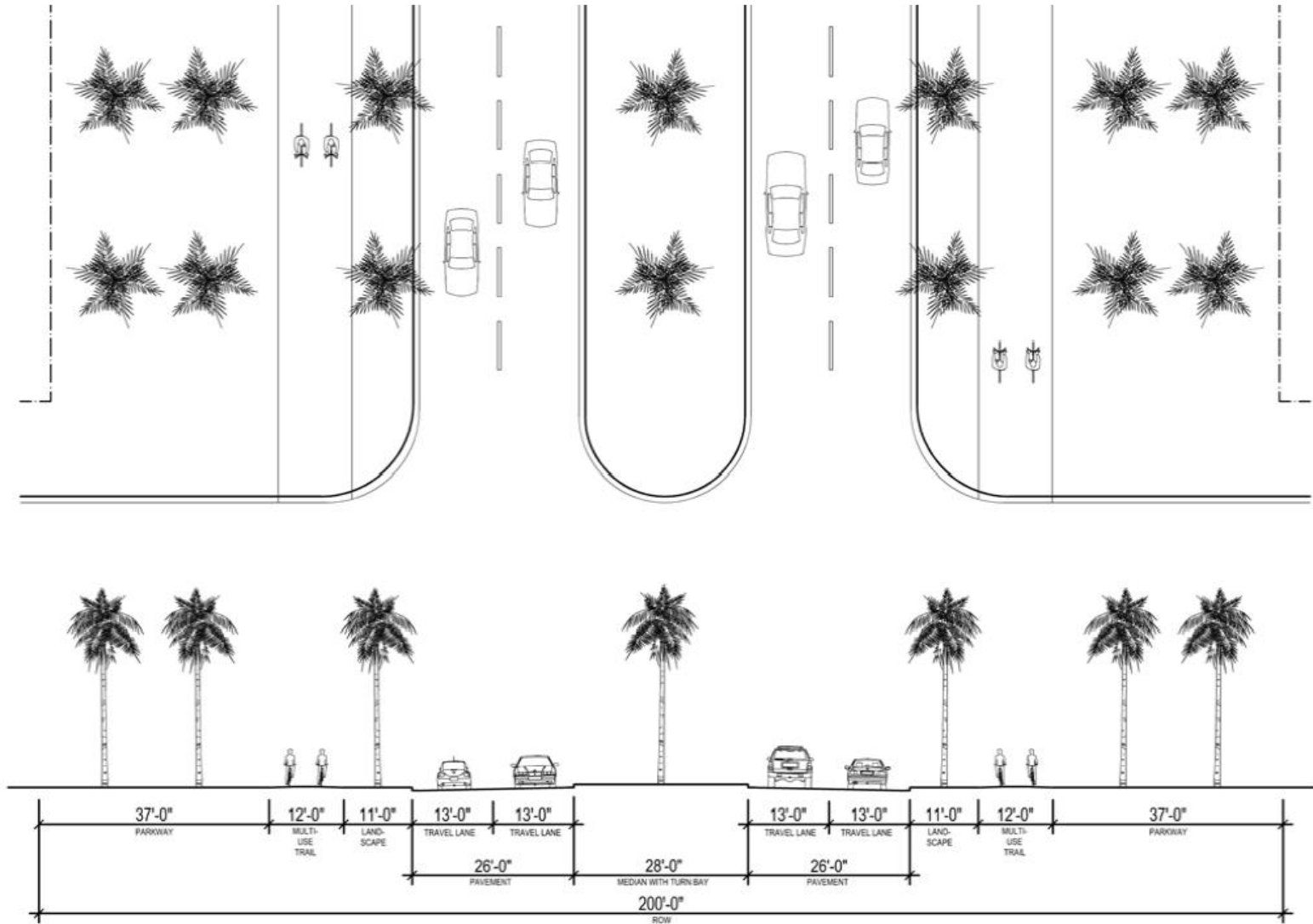
- 9.1.1 Generally: Streets in the Corridor need to support the overall intent for the corridor. They should balance all forms of mobility while maximizing convenience for residents and visitors.
- 9.1.2 This PBED Code designates the recommended street types of the street network within the Corridor. The character of streets in the Corridor will vary based on the location.
- 9.1.3 Street Design Standards. Table 9.1 Recommends the cross sections for each street type.

- 9.1.4 The cross sections in Section 9.1 may be adjusted to fit existing contexts with the approval of the City Engineer and TxDOT. In addition, the proposed cross sections may be adjusted to meet the needs of the Uniform Fire Code as adopted by the City.
- 9.1.5 Applicability: The following cross sections should apply to new and substantially reconstructed streets within the PBED only. The following cross sections ~~shall~~ should also apply when properties are developed or redeveloped under the PBED Code.
 - (a) Neighborhood and General Streets: If a subject lot along a Neighborhood or General Street is adjacent to a lot that has been redeveloped under this code, then the subject lot ~~shall~~ should match the cross section established by the adjoining lot/development.

Table 9.1

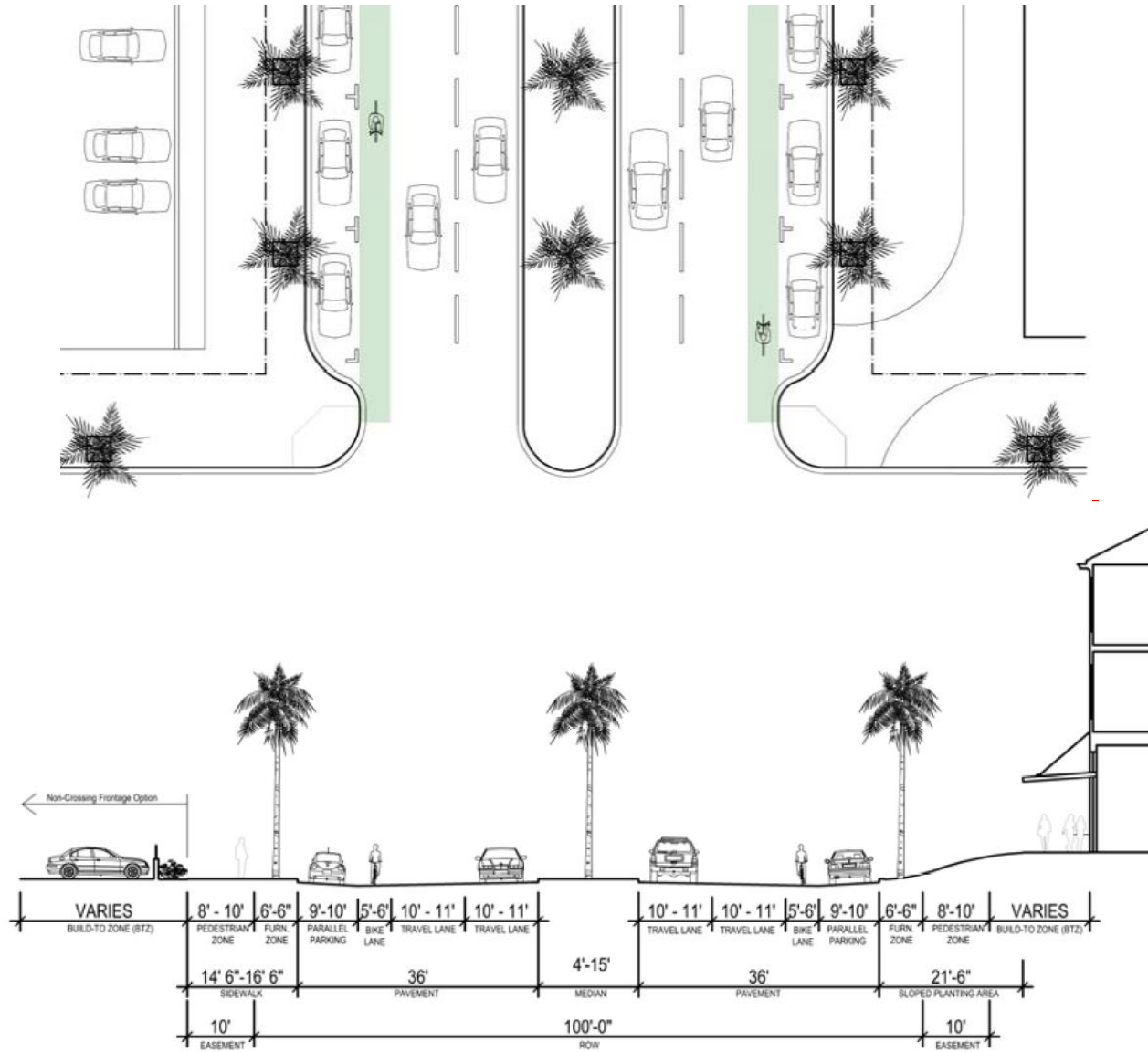
Elements Street	Street Width (Recommended minimum)		Number of Vehicular Lanes	Vehicular Lane Widths (max.)	Bike Lanes	On-Street Parking	Pedestrian Sidewalk Width (min. on each side) (includes any easement)	Parkway/ Tree Well (min.)
	R.O.W	Easement (on each side)						
Padre Boulevard (north)	200 feet		4	13 feet	Multi-use trail	None	12 feet (multi-use trail)	11 feet (parkway)
Laguna Boulevard	50 feet		2	11 feet	Shared lane	Yes, one side, parallel	10 feet	Tree Well, 5 X 5 feet min.
Padre Boulevard (north, south and central)	100 feet	10 feet	4 + Turn Lane	11 feet	Yes	Yes, both sides, reverse angled or parallel	8 feet	Tree Well 5X5 min. or parkway, feet
Neighborhood Street (Pedestrian Priority Street)	50 feet	10 to 12 feet	2	11 feet	No	Yes, one/two sides, perpendicular or parallel	6 feet	Tree Well, 5X5 feet min.
General Street	50 feet	0 to 11 feet	2	11 feet	No	Yes, both sides, parallel	5 feet	Varies
Commercial Alley	20 feet	None	N/A	N/A	No	None	None	None

9.1.6 Boulevard North (200' R.O.W) Recommendations



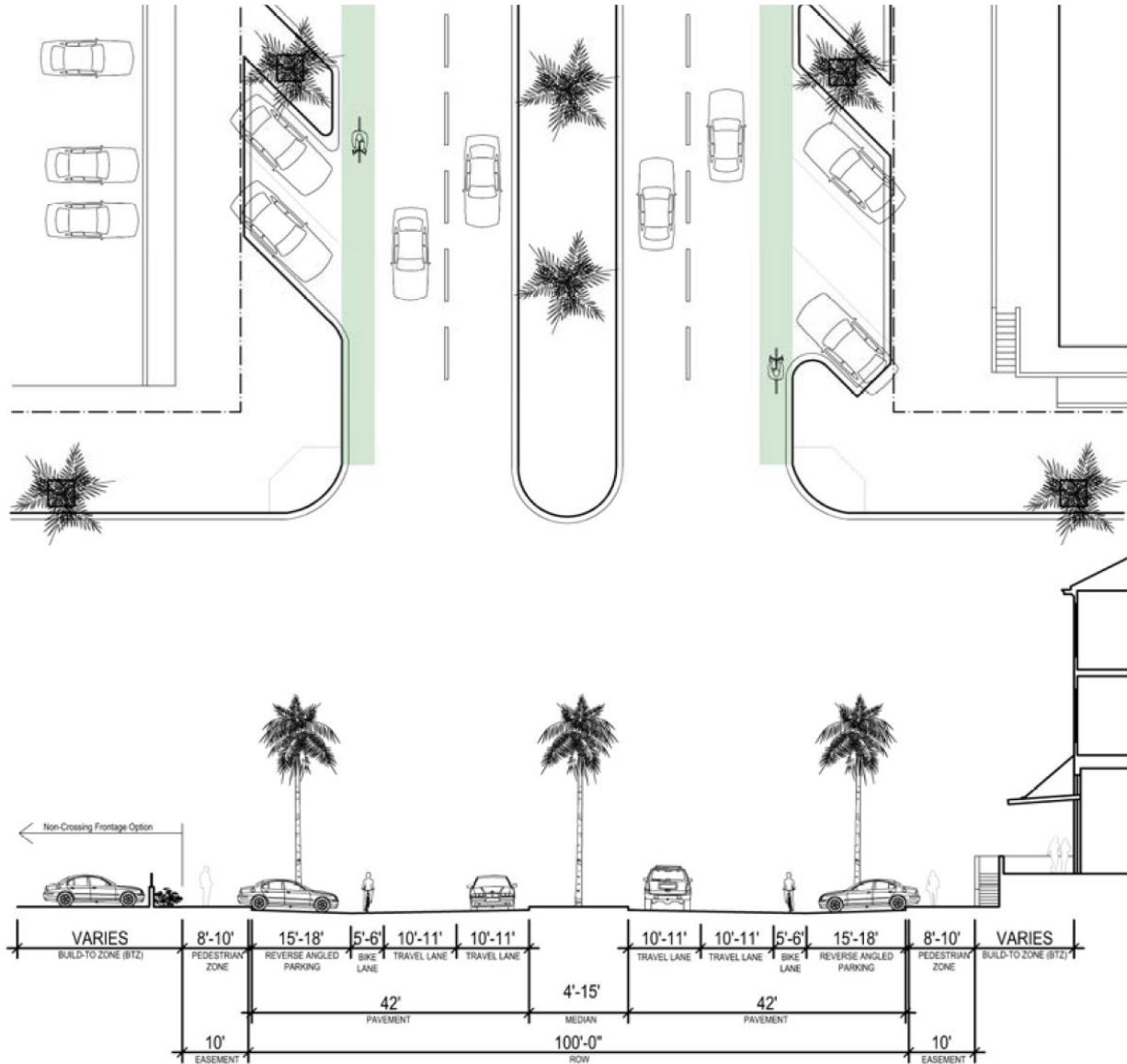
**PADRE BOULEVARD AND ENTERTAINMENT DISTRICT
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9.1.7 Padre Boulevard North, South, and Central (Parallel Parking) (100' R.O.W) Recommendations

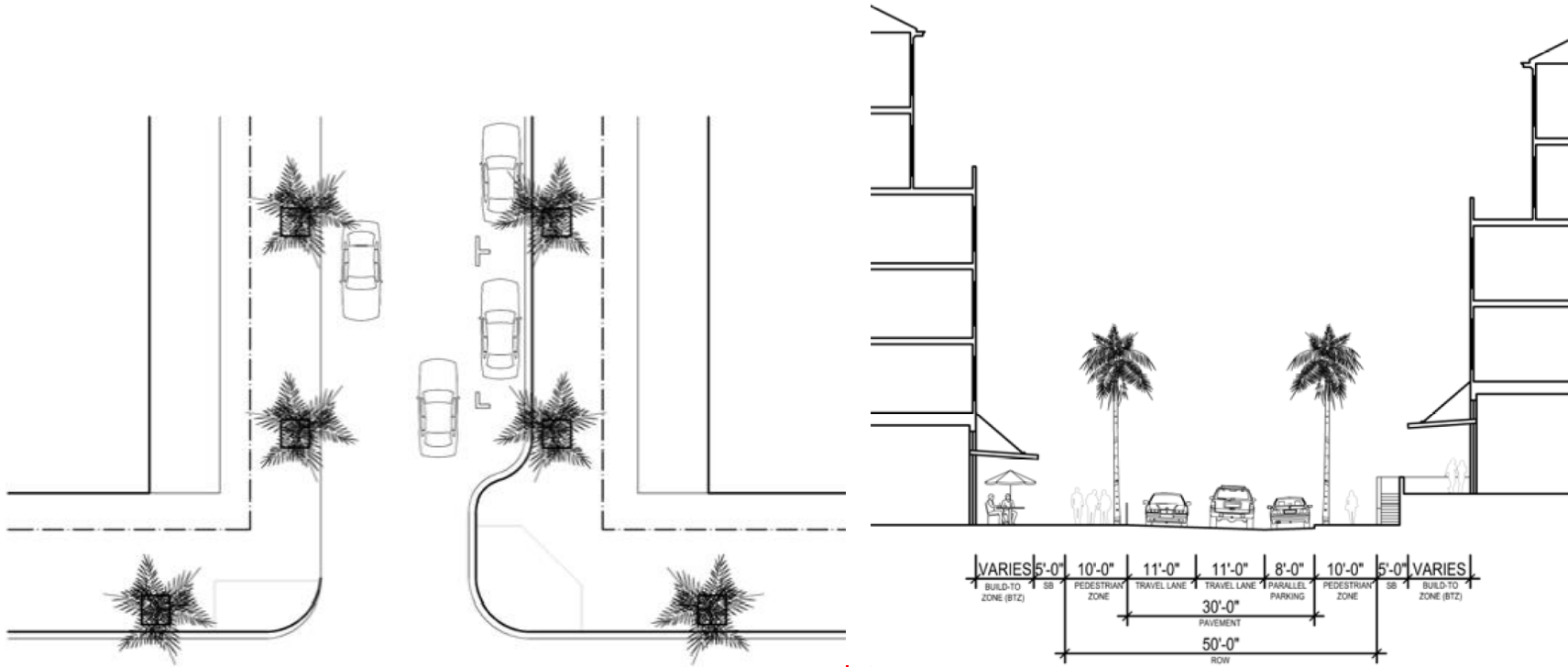


**PADRE BOULEVARD AND ENTERTAINMENT DISTRICT
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9.1.8 Padre Boulevard North, South, and Central (Reverse Angled Parking) (100' R.O.W.) Recommendations

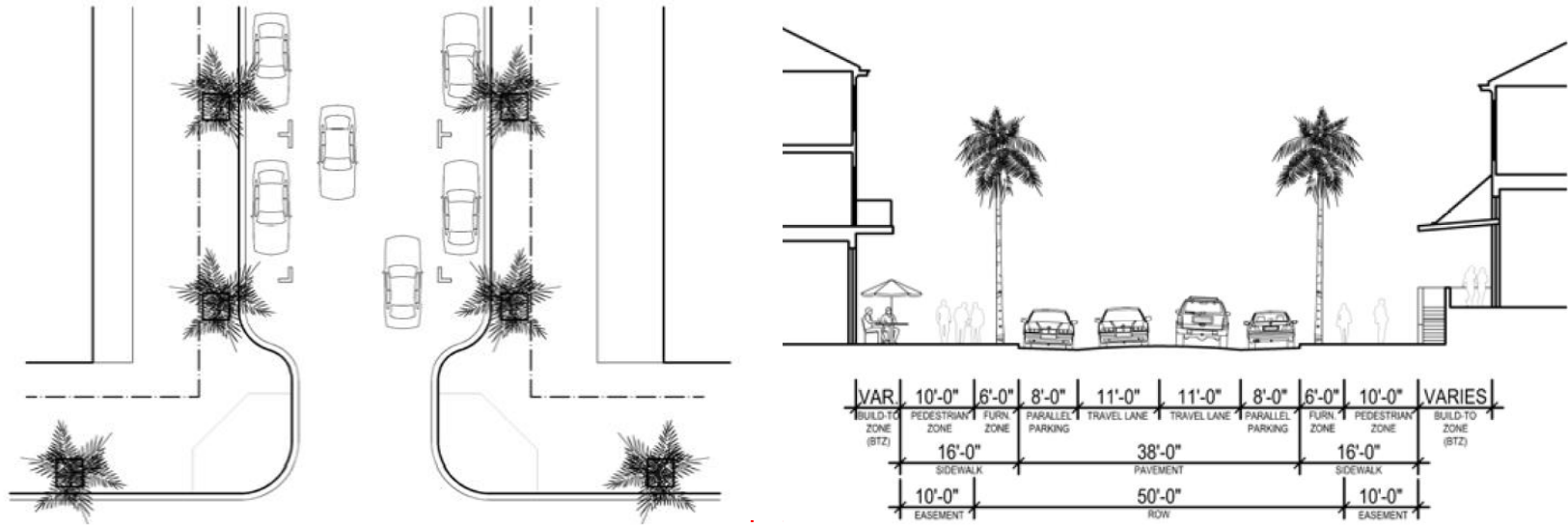


9.1.9 Laguna Boulevard Recommendations

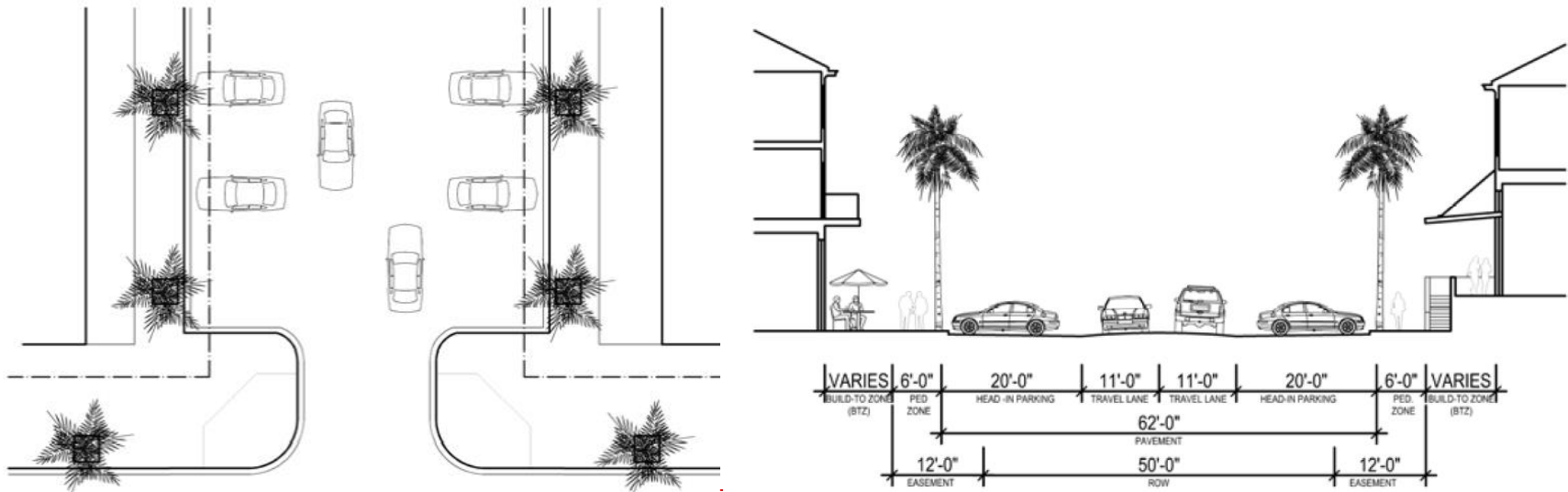


**PADRE BOULEVARD AND ENTERTAINMENT DISTRICT
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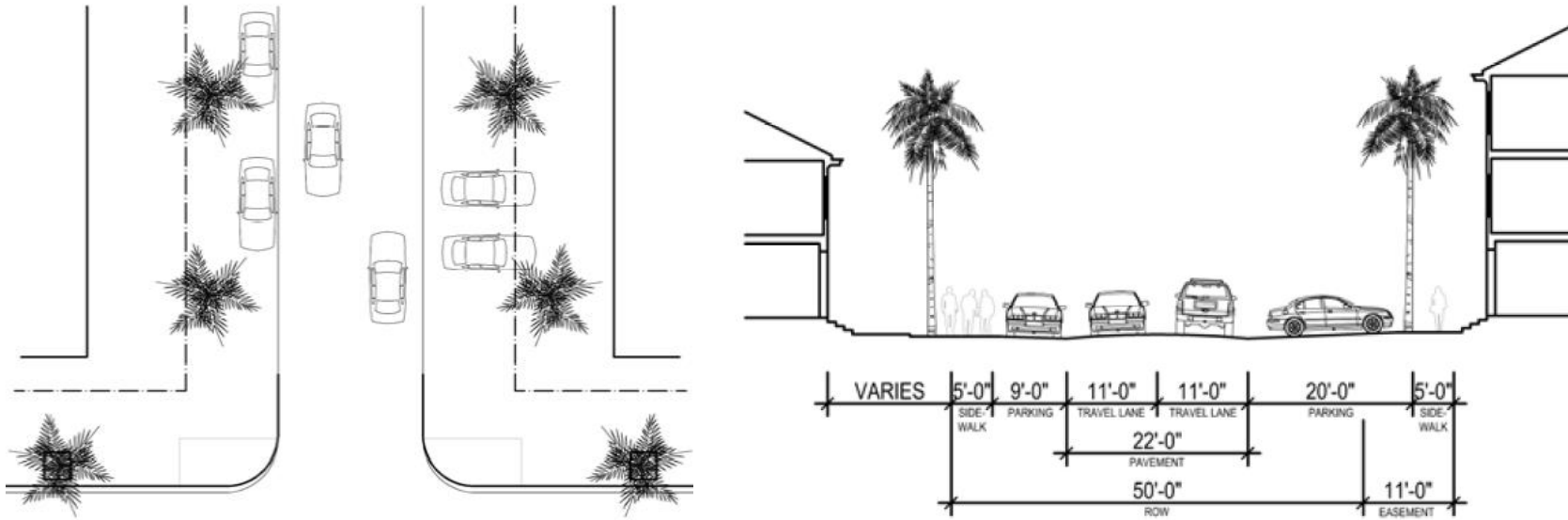
9.1.10 Neighborhood Street (Pedestrian Priority Street) with Parallel Parking



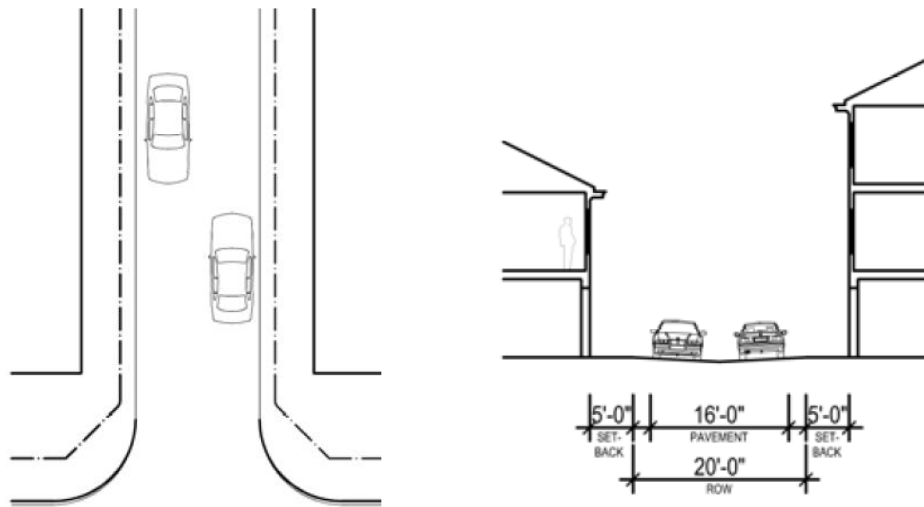
9.1.11 Neighborhood Street (Pedestrian Priority Street) with Head-in Parking Recommendations



9.1.12 General Street Recommendations



9.1.13 Commercial Alley Recommendations



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9.1.14 Recommendations for the Planting of Street Trees

- (a) Street trees shall be required on all PBED streets (except on General Streets and alleys).
- (b) Street trees shall be planted approximately 3 feet behind the curb line.
- (c) Spacing shall be an average of 40 feet on center (measured per block face) along all streets.
- (d) The minimum caliper size for each tree shall be 3 in. and should be a minimum of 12 feet in height at planting. Each tree shall be planted in a planting area no less than 24 sq. feet.
- (e) Species shall be selected from the Planting List in Appendix A of this ordinance. Native and drought-proof landscaping is highly recommended.

9.1.15 Street Screen required: Any frontage along all Pedestrian Priority Streets and the Boulevard not defined by a building or civic space within the BTZ shall be defined by a 4-foot high Street Screen. Furthermore, along all streets (except alleys) service areas shall be defined by a Street Screen that is at least as high as the service equipment being screened. Required Street Screens shall be of either the same building material as the principal structure on the lot or masonry or a living screen composed of shrubs planted to be opaque at maturity. The required Street Screen shall be located at the minimum setback line along the corresponding frontage. This requirement of street screens can be waived by staff for all existing structures if it's determined by staff that the establishment of a street screen would result in the reduction or loss of parking spaces.

9.1.16 Street Furniture, Sidewalks, Lighting, and Materials

Pedestrian scale lighting should be required along all Pedestrian Priority streets and the Boulevard in the PBED. The following standards should apply for pedestrian scale lighting: Permit value.

- (a) They should be no taller than 20 feet.
- (b) Street lights should be placed at an average of 75 feet on center, approximately 3 feet behind the curb line.
- (c) The light standard selected should be compatible with the design of the street and buildings. Streetlights shall direct light downward or properly shielded to prevent glare and light pollution.
- (d) Lighting on private development shall meet the standards of the City's Lighting Ordinance as amended.

9.1.17 Trash receptacles and bike racks are encouraged along the Boulevard and Pedestrian Priority Streets. A minimum of one each per block face is recommended. Each bike rack should accommodate a minimum of 2 bike parking spaces.

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- 9.1.18 Street furniture and pedestrian amenities such as benches are recommended along all Pedestrian Priority Streets.
- 9.1.19 All street furniture shall be located in such a manner as to allow a clear sidewalk passageway of a minimum of 6 feet. Placement of street furniture and fixtures shall be coordinated with organization of sidewalks, landscaping, street trees, building entries, curb cuts, signage, and other street fixtures.
- 9.1.20 Materials selected for street furniture shall be of durable quality and require minimal maintenance.
- 9.1.21 Sidewalk Standards:
 - (i) The standards in the PBED Code shall take precedence over the City’s Sidewalk Ordinance.
 - (ii) All new development and redevelopment shall provide sidewalks per the street cross sections stated in this Code.
- 9.1.22 Public Art Standards

Public Art standards shall apply to all new development in the Bayfront and Entertainment District Core Character Zones.
- 9.1.23 A requirement for a public art component to new development shall apply to all commercial, mixed use, and residential projects over \$250,000 in building.
- 9.1.24 A minimum of 1% of the project’s value shall be dedicated to installation of public art that is visible

from the public right-of-way or located within a civic space. Public Art installed per this section of the code shall not be obscene nor be used for commercial purposes and shall comply with Chapter 15 Signs, including Sec. 15-2.1 and 15-2.2. (Also See Section 3.1.6 of this PBED Code)

9.2 Building Design Standards Recommendations

The Building Design Standards and the provisions of this PBED Code should establish a coherent urban character and encourage enduring and attractive development. Development plans shall be reviewed by the City Manager or designee for compliance with the recommended standards below.

The key design principles establish essential goals for Padre Boulevard and the Entertainment District Code to ensure the preservation, sustainability, and visual quality of this unique environment. Buildings should be located and designed so that they provide visual interest and create enjoyable, human-scaled spaces. The key design principles are:

- a. New buildings should utilize building elements and details to achieve a pedestrian-oriented public realm within the Bayfront and Entertainment District Core Zones, within Neighborhood Crossings and Town Center Crossing, and at intersections of Padre Boulevard.
- b. Compatibility is not meant to be achieved through uniformity, but through the use of variations in building elements to achieve individual building identity.

- c. Building facades should include appropriate architectural details and ornament to create variety and interest. Style oriented elements can be identified in Chapter 11.3 Architectural Style Standards.
- d. Civic/Open space(s) shall be incorporated to provide usable public areas integral to the urban environment.

- (iv) Garages, carports, or new surface parking for Residential Buildings shall be located and accessed from General Streets or alleys at the rear of residential buildings.
- (v) Corner buildings may exceed the maximum building height by 25% for 20% of the building's frontage along each corresponding street façade.

General to all Character Zones

9.2.1 Building Orientation

- (i) Buildings shall be oriented towards Pedestrian Priority Streets, where the lot has frontage along Pedestrian Priority Streets. All other buildings shall be oriented towards the Boulevard or Civic Spaces. If the lot does not front either street then it may front a General Street.
- (ii) Primary entrances to buildings shall be located on the street along which the building is oriented. At intersections, corner buildings may have their primary entrances oriented at an angle to the intersection.
- (iii) All primary entrances shall be oriented to the public sidewalk for ease of pedestrian access. Secondary and service entrances may be located from internal parking areas or alleys.

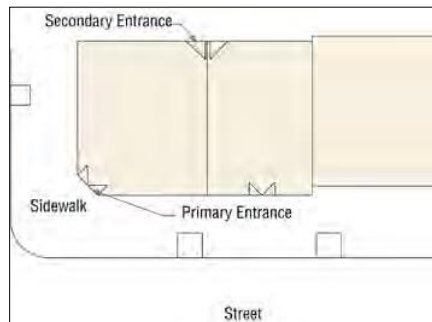
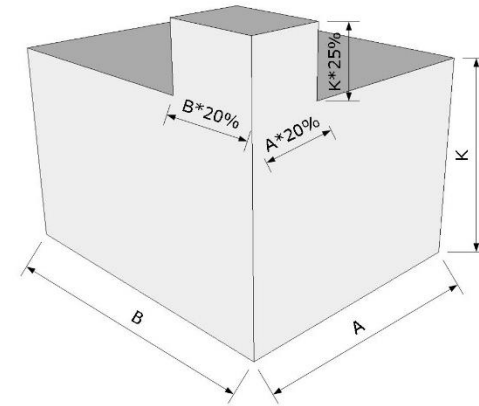


Figure showing required building orientation and location of primary entrances

- (vi) Featured corner or vista terminating tower elements, tower time clocks and varied height parapet walls at the building façade are permitted and shall be exempt from the height limit so long as they are no taller than 25% of the height of the building.

9.2.2 Building Massing and Scale

- (vii) Commercial and Mixed-Use buildings should be simple, rectilinear forms with flat parapets. Roof pitches for sloped roofs shall be a minimum of 5:12.
- (viii) Residential Buildings should have relatively flat fronts and simple roofs with most building wing articulations set at the rear of the structure. Window projections, stoops, porches, balconies, and similar extensions are exempt from this standard.

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- (ix) Gable roofs, if provided for residential buildings, should have a minimum pitch of 5:12. When hipped roofs are used, the minimum pitch shall be 5:12. Other roof types shall be appropriate to the architectural style of the building. Porch roofs may be a minimum pitch of 3:12.
- (x) The following standards should apply for all buildings with mansard roofs in Padre Boulevard and Entertainment District Code:
 - o Mansard roofs should only be used on buildings that are three stories or higher.
 - o The mansard roof should project no more than 18" forward of the building façade line.
 - o The lower slope of the roof should be inclined at no greater than 75 degrees to the horizontal.

Façade Composition Recommended Standards

- 9.2.3 Buildings should maintain a prevalent façade rhythm of 20' to 30' bays or multiples thereof along all Pedestrian Priority Streets and the Boulevard with Main Street Frontage.
- 9.2.4 This rhythm may be expressed by changing materials, or color, or by using design elements such as columns and pilasters, or by varying the setback of portions of the building façade.
- 9.2.5 Commercial and Mixed-Use building facades should be designed with a distinct base, middle and top and should maintain the alignment of horizontal elements along the block.



Image of Tri-Partite Architecture



Example of tripartite architecture for a 1-story building

- 9.2.6 For retail storefronts, a transom, display window area, and bulkhead at the base should be utilized.
- 9.2.7 Awnings, blade signs, arcades, galleries, café seating and balconies should be used along commercial storefronts fronting a Pedestrian Priority Street and the Boulevard to add pedestrian interest.
- 9.2.8 Porches, stoops, eaves, and balconies should be added along residential facades to add pedestrian interest along the street.

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9.2.9 Design of Parking Structures

- (a) All frontages of parking structures located on Pedestrian Priority Streets shall not have parking uses on the ground floor to a minimum depth of 30 feet from the building façade line.
- (b) The amount of Pedestrian Priority Street frontage devoted to a parking structure shall be minimized by placing the shortest dimension(s) along that Street edge(s).
- (c) Parking structure facades on all Pedestrian Priority Streets shall be designed with both vertical (façade rhythm of 20 feet to 30 feet) and horizontal (aligning with horizontal elements along the block) articulation.
- (d) Where above ground structured parking is located at the perimeter of a building with frontage along a Pedestrian Priority Street or the Boulevard; it shall be screened in such a way that cars on all parking levels are completely screened from view from all adjacent public streets. Parking garage ramps should not be visible from any public street. Ideally, ramps should not be located along the perimeter of the parking structure. Architectural screens shall be used to articulate the façade, hide parked vehicles, and shield lighting. In addition, the ground floor façade treatment (building materials, windows, and architectural detailing) shall be continued to the second floor of a parking structure along all Pedestrian Priority Streets.
- (e) When parking structures are located at corners, corner architectural elements shall be incorporated such as corner entrance, signage and glazing.
- (f) Parking structures and adjacent sidewalks shall be designed so pedestrians are clearly visible to entering and exiting automobiles.
- (g) Exposed facades of parking structures along Pedestrian Priority Streets and the Boulevard

shall be compatible in color, form, and quality with architectural details of the building and specific detailing elements (such as location and proportion of openings) shall meet the Architectural Style Standards in Section IX of this Code.

- (h) Fenestration on the ground level of parking structures (which are not lined with habitable space) shall be a minimum of five (5) feet above the average adjacent sidewalk grade. When possible, openings shall be covered with visually attractive screening to minimize the view of parked autos and interior lighting seen from the street.
- (i) Signage and light sources internal to parking structures shall not be visible from outside the structure.
- (j) Lighting, particularly on parking decks, shall not illuminate or produce glare to adjacent properties. Lamps shall be able to be dimmed or controlled by motion-sensor after 11pm.



Images showing appropriate design of Parking Structures

9.2.10 Design of Automobile Related Building Site Elements

- (a) Drive-through lanes for commercial uses shall not be located along any Pedestrian Priority Street or along any frontage with Main Street Frontage designation. Drive-through lanes shall be hidden behind a Street Screen along the Boulevard frontage.

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- (b) All off-street loading, unloading, and trash pick-up areas shall be located along General Streets or alleys unless permitted in the specific building form and development standards in Section VI of PBED Code. Any off-street loading, unloading, or trash pick-up areas shall be screened using a Street Screen that is at least as tall as the trash containers and/or service equipment it is screening at the BTZ. The Street Screen shall be made up of (i) the same material as the principal building or (ii) a living screen or (iii) a combination of the two.
- (c) Any frontage along all Pedestrian Priority Streets and the Boulevard not defined by a building or civic space within the BTZ shall be defined by a 4-foot high Street Screen. Furthermore, along all streets (except alleys) service areas shall be defined by a Street Screen that is at least as high as the service equipment being screened. Required Street Screens shall be of either the same building material as the principal structure on the lot or masonry or a living screen composed of shrubs planted to be opaque at maturity. Species shall be selected from the Planting List in Appendix A of this Code. The required Street Screen shall be located at the minimum setback line along the corresponding frontage.

9.2.11 Roof Form Recommendations

- (a) Buildings should have simple, flat fronts with minimal articulations with flat or low pitched roofs with parapets. Corner hip roof elements and gable accents at the parapet may be permitted. Projecting mansard roofs should not be permitted.

9.2.12 Base Flood Elevation. Within the PBED, the following options are available to address the base flood elevation required for new construction.

- (a) Dry Flood Proofing: All buildings along frontages designated as Main Street Frontage on the Regulating Plan should meet the standards set out in this code. Dry Flood Proofing may be used to protect the space inside the building below the Base Floor Elevation if the ground floor entrance is not above the base flood elevation. Stairs and ramps may be incorporated inside the building envelop to transition to a higher level. In the case that dry flood proofing is not feasible, exterior stairs and ramps or other approaches shall only be permitted within these zones if it meets the standards set out in this code. Exterior ramps and stairs when used shall be positioned to minimize the impact and accessibility of the commercial storefront.

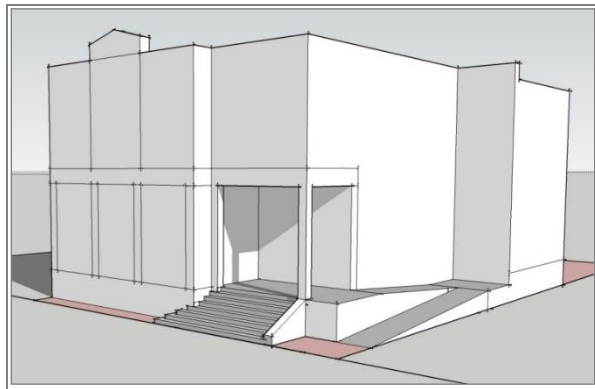


Example of Dry Flood Proofing removable panels utilized in a Bank Building in Naples Fl. – Appropriate in the Bayfront, Entertainment District Core, Neighborhood Crossing, and Town Center Crossing Zones

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- (b) Exterior Ramps and Stairs: If an exterior ramp is required in order to accommodate access to a raised Base Flood Elevation, the ramp shall be oriented perpendicular to the primary facade in order to minimize the visual impact and pedestrian accessibility of the primary facade. Exterior ramps and stairs may be used in all other overlay districts. Other approaches may be used in all other overlay districts only with the approval of City Council.

If an exterior stair is required to accommodate access to a raised Base Floor Elevation, the steps shall be located towards the primary entrance along the primary facade.



Example of a wider parcel (50' wide or greater) and building showing a "switch back" ramp and stair. (Railings and other architectural details not shown)

Recommendations Specific to Bayfront Zone, Entertainment District Core, Neighborhood Crossing, Town Center Crossing, and Neighborhood Transition Zones

9.2.13 Commercial, Mixed-Use and Industrial Building Materials

At least 80% of each building's façade (excluding doors and windows) along any Pedestrian Priority Street and the Boulevard should be finished in one of the following materials:

- (a) Masonry (brick, stone, stucco utilizing a three-step process, cast stone, glass, or glass block)
- (b) Cementitious-fiber clapboard (not sheet) with at least a 50-year warranty
- (c) EIFS may be permitted on the first floor if used with a reinforced nylon mesh
- (d) Other materials will be considered as primary building materials on a case-by-case basis and may only be approved by the Planning and Zoning Commission which shall base their decision on the durability, quality, and appearance of the alternative materials proposed.
- (e) No more than 20% of each façade along any Pedestrian Priority Street should use accent materials such as wood, architectural metal panel, split-face concrete block, tile, or pre-cast concrete panels.
- (f) All facades along all other streets or alleys should be of a similar finished quality and color that blend with the front of the building. Building materials for these facades may be any of the primary and accent façade materials listed above.
- (g) Roofing materials visible from any public right-of-way should be of barrel clay tile, concrete shingles, factory finished standing seam metal, slate, synthetic slate, or similar materials.

9.2.14 Residential Building Materials Recommended

- (a) The following should be permitted finishes for at least 80% of all street fronting facades (except alleys) of residential buildings. It is recommended that no more than three different materials shall be used on any single façade:

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- Cementitious-fiber clapboard (not sheet) with at least a 50-year warranty;
 - Lap sided wood;
 - Masonry (brick; stone; man-made stone; glass; or stucco utilizing a three-step process);
 - EIFS may be permitted on the first floor if used with a reinforced nylon mesh. EIFS may be permitted on upper floors;
 - Vinyl siding is not permitted in any character zone.
- (b) The following, unless otherwise approved by the Planning and Zoning Commission, should only be allowed up to 20% as an accent material:
- Exterior Insulating Finishing System (EIFS) or similar material over a cementitious base, rock, glass block and tile.
 - Architectural Metal Panels.
- (c) Side and rear facades should be of finished quality and of the same color and materials that blend with the front of the building.
- (d) Roofing materials visible from any public right-of-way should be of barrel clay tile, concrete shingles, factory finished standing seam metal, slate, synthetic slate, or similar materials.
- (e) An enclosed garage or carport should be designed and constructed of the same material as the primary building.

9.2.15 Recommendations Specific to Padre Boulevard South, Central and North Zones

Commercial and Mixed-Use Building Materials

- (a) At least 75% of each building's façade (excluding doors and windows) along any Pedestrian Priority Street of the Boulevard should be finished in one of the following materials:

- Masonry (brick, stone, stucco utilizing a three-step process, glass, or glass block)
- Cementitious-fiber clapboard (not sheet) with at least a 50-year warranty
- EIFS may be permitted on the first floor if used with a reinforced nylon mesh. EIFS may be permitted on upper floors.

Other materials will be considered as primary building materials on a case-by-case basis and may only be approved by the Planning and Zoning Commission who shall base their decision on the durability, quality, and appearance of the alternative materials proposed.

- (b) Unless otherwise approved by the Planning and Zoning Commission, no more than 25% of each building's façade along any Pedestrian Priority Street or the Boulevard should use accent materials such as wood, board and batten, architectural metal panel, split-face concrete block, tile, or pre-cast concrete panels.
- (c) A building's General Street or alley facade should be of a similar finished quality and color that blend with the front of the building. Building materials for these facades may be any of the primary and accent façade materials listed above.
- (d) Roofing materials visible from any public right-of-way should be of barrel clay tile, concrete shingles, factory finished standing seam metal, slate, synthetic slate, or similar materials.

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Images showing appropriate building materials within the Padre Boulevard South, Central and North Zones.

Residential Building Materials

9.2.16 Recommended Residential Building Materials. The following should be permitted finishes for all street fronting facades (except alleys) of residential buildings. No more than three different materials should be used on any single façade:

- (a) Cementitious-fiber clapboard (not sheet) with at least a 50-year warranty;

- (b) Lap sided wood;
- (c) Masonry (brick; stone; man-made stone; glass; or stucco utilizing a three-step process);
- (d) Exterior Insulating Finishing System (EIFS) or similar material over a cementitious base, rock, glass block and tile.
- (e) Unless otherwise approved by the Planning and Zoning Commission, the following should only be allowed up to 40% as an accent material:
 - Architectural Metal Panels.
 - Other materials will be considered as primary building materials on a case-by-case basis and may only be approved by the Planning and Zoning Commission who should base their decision on the durability, quality, and appearance of the alternative materials proposed.
- (f) Side and rear facades should be of finished quality and of the same color and materials that blend with the front of the building.
- (g) Roofing materials visible from any public right-of-way should be of barrel clay tile, concrete shingles, factory finished standing seam metal, slate, synthetic slate, or similar materials.

Recommended Architectural Style Standards

9.3 Applicability

The architectural style standards should apply to all substantial modifications, reconstructions, and new constructions of buildings within all character zones of the PBED Code. This section should also apply to all modified facades along Pedestrian Priority Streets and the Boulevard. This section should guide the design of buildings by establishing general standards regarding architectural styles appropriate for the Island. Some of the styles are already represented on the Island and some are not, but are recognized as an appropriate style.

Many elements contribute to defining a particular style. In some cases the use of just a handful of elements can be successful in defining a style and creating an authentic architectural composition. In other cases, it is a compilation and reuse of diverse elements over time that gradually gains coherence and becomes a style. In the recommended styles the Code includes examples of both.

The two primary styles are South Texas Spanish and Coastal. In addition, the "beach theme" interpretation can be realized by accentuating elements within both styles through overall design intent, and by application of specific colors and materials. A more detailed description of the "beach theme" style can be found in this section.

Within the recommended styles, buildings should be designed in accordance with the Building Design Standards of the PBED Design Standards and in a way that promotes the sense of place.

Each style covers its main characteristics of massing, composition, roof types and materials, eaves and overhangs, doors and windows, wall materials, and other elements such as awnings, porches, arcades, colonnades and ornamentation. Images provided in this part of the Design Standard should be used to visualize the

intent, not as examples of places or buildings that need to be copied.

Not all possible arrangements and details have been provided. The principal intent is to create a stylistic foundation as a basis for more creative individual expression. This foundation complements the master plan and the building design standards in Section II.



South Texas Spanish Style



Coastal Style



"Beach Theme" expression

9.3.1 The Beach Theme

Both Spanish and Coastal styles are appropriate for the "beach theme" composite style. The beach theme is expressed or accentuated by overall design intent, colors and materials.

9.3.1 (a) Overall design parameters (in addition to the ones listed in the Building Design Standards):

- (i) Simple rectilinear windows, balconies with simple and see-through railings
- (ii) Deep shadows - wide overhangs and deep (min 8 ft) porches
- (iii) Appropriate building tops, flat roofs or pitched roofs with dormers
- (iv) Use of rooftop terraces, balconies, galleries, pergolas and trellises
- (v) Brackets under balconies, eaves and overhangs
- (vi) Dry flood proofing (first floor at street level)
- (vii) Towers (rectangular proportion with short edges having an east-west orientation; this orientation may rotate a maximum of 10 degrees).

9.3.2 Colors

- (i) See 9.3.16

9.3.3 Recommended Materials

- (i) Stucco and siding (wood or Hardie plank) for walls.
- (ii) Wood and metal for stair and balcony rails.
- (iii) Light colored metal or tile for roofs. Metal roof natural or painted in color from an approved palette.
- (iv) Masonry along base of the building.
- (v) Wood window shutters – operable, fixed louvers, and canvas awnings

9.3.4 Details and other elements

- (i) Bay windows, most commonly rectangular
- (ii) Signs, awnings, and light fixtures

(iii) Fountains (attached or self-standing)

(iv) Under-window flower pots

(v) Sidewalk cafes



Tower elements Arcades and awnings for shade



Roof top terraces

Towers & Balconies



Appropriate Materials & Colors

Civic Spaces

9.3.5 Coastal Style

- 9.3.5 (a) Massing.
- (i) Massing is simple and composed of rectangular forms with added balconies, galleries covering part or the entire facade, one or multi-story porches, and arcades on the ground level.
 - (ii) Towers are common and appear in different parts of the composition.
- 9.3.5 (b) Façade Composition.
- (i) Regular pattern of openings working with column bay rhythm. Column spacing always less or equal the column height; mostly square columns.
 - (ii) Tall ground floor commonly with arcade or colonnade.
 - (iii) Buildings are capped with wide eaves and grounded by a continuous and heavier base.
 - (iii) Mostly rectangular bay windows and projections. Main wall materials are stucco and wood or cement fiber board siding.



Building massing showing simple rectangular forms with balconies and galleries



Storefronts with awnings, arcades, and sidewalk cafes add interest along the street

- 9.3.6 Roof Form
- (i) Pitched roofs with shallow pitches (3:12 to 6:12).
 - (ii) Eaves are wide with expressed bracketing. Roof pitch can change over the porch or eave.
 - (iii) Flat roofs possible on taller or commercial buildings with simple parapet walls.
 - (iv) Elaborate cornice designs are also appropriate.
 - (v) Window or vent dormers on pitched roofs.



Examples of appropriate tower elements in the Coastal Style

9.3.7 Recommended Windows

- (i) Vertically proportioned, with a minimum window height equal to at least twice the window width. Windows should be separated by a minimum of an 8" wide wall between windows. Windows can sometimes be exaggerated with much longer vertical dimensions. Windows may have multiple panes or divided lights, and simple trim profiles, or stucco borders. Windows can be located with operable or fixed louver shutters. Windows can be grouped together on upper floors or on towers.

9.3.8 Recommended Storefronts

- (i) With recessed entry, mostly under a colonnade.

9.3.9 Recommended Details and other elements

- (i) Rectangular towers for observation, clocks, stairs, or air chimneys.
- (ii) Stair and balcony rails in wood or metal, with elaborate bracketing.
- (iii) Canvas awnings over windows and along non-recessed store fronts.
- (iv) Rectangular projections, bays with brackets and window flower boxes.

9.3.10 Colors

- (i) See 9.3.16.

**PADRE BOULEVARD AND ENTERTAINMENT DISTRICT
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Sidewalk cafes



Arcades & balconies



Doors & windows



Civic buildings



Streetscape and paving



Breezeways and passages



Building entrances



Tower elements



Window detailing

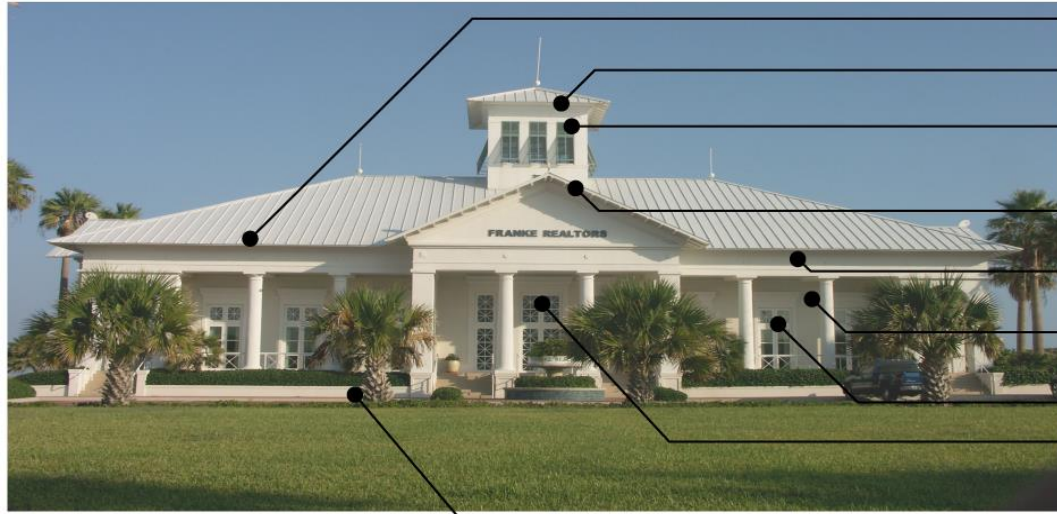


Arcades & balconies



Building massing and storefront design

**PADRE BOULEVARD AND ENTERTAINMENT DISTRICT
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- Low pitched roof with wide eave and open rafters
- Proportional tower element as a vista terminus
- Vertically proportioned windows with fixed louver shutters
- Wide overhang with visible rafters
- Expressed cornice beam
- Stucco Siding
- Openings aligned within column rhythm
- Appropriate proportions for colonnade - horizontal spacing is less than height
- Elevated building base



- Appropriate tower element as a vista terminus
- Expressed cornice beam showing continuous floor separation
- Appropriate retail signage
- Upper level gallery overlook
- Vertically proportioned windows with operable shutters
- First floor colonnade in stucco
- Arcade in stucco

9.3.11 South Texas Spanish Style

9.3.11 (a) Massing

- (i) Buildings are generally built upon a rectangular layout schemes with single or multiple components with mostly flat front, with square, round or octagonal corner towers.
- (ii) Courtyard concept utilized often. Front porches rare, side and rear porches more common.



Building massing and composition

9.3.11 (b) Recommended Façade Composition

- (i) Symmetrical and asymmetrical but well balanced façade compositions with the central part of the building expressed.
- (ii) Doors or windows forming regular patterns of openings, some accentuated by balconies.
- (iii) Tall and usually heavier ground floor often with arcade or colonnade.
- (iv) Tri-partite composition, see Section 2.1.3(iii) of this Guidelines.
- (v) Buildings are capped with wide and continuous eaves supported by open rafters and decorative brackets, or finished with elaborate parapet walls covered by tile and very shallow eaves.
- (vi) Most common wall materials are stucco and monochromatic brick.



Facade Composition



Ground floor arcades



9.3.12 Recommended Roof Form

- (i) Pitched roofs with red clay tile.
- (ii) Multiple, sometimes complex, building roofs with varying levels. Hipped, gabled, side-gabled, cross-gabled, and both hipped and gabled roof forms.
- (iii) Larger commercial buildings with flat roofs and front parapets covered by tile and ornate cornices.



Roof forms



Storefronts and architectural detailing

**PADRE BOULEVARD AND ENTERTAINMENT DISTRICT
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9.3.13 Recommended Windows

- (i) Recessed to give a thick wall impression. Commonly arched on the ground level and with a flat top on the upper floors. Vertically proportioned, with a minimum window height equal to at least twice the window width. Windows should be separated by a minimum of a 16" wide wall between windows. Window openings are punched through the wall rather than grouped with other windows.

9.3.14 Recommended Storefronts

- (i) Inset with recessed entry, under the arcade or fit into arches openings, often with canvas awnings.

9.3.15 Recommended Details and other Elements

- (i) Elaborate detailing most common around principal openings.
- (ii) Decorative windows, metal railings at balconies.
- (iii) Canvas awnings, Roof towers, Masonry screen products for see-through walls or portions of walls.

9.3.16 Recommended Colors

The colors, which are specified based on the Munsell Color System-are recommended as follows:

- (i) Areas for color application shall be categorized into (1) body, (2) trim, (3) accent and (4) roof. Body colors indicates colors applied to wall areas. Trim colors include areas of shutters, doors, windows, and wainscot. Accent colors cover fascia and soffit. Roof colors indicate entire roof areas.
- (ii) General Provisions.
 - a. Colors that are recommended.
 - i. Existing recommended color palette (see Appendix B); and
 - ii. Earth tone and/or colors of natural materials.



- b. Colors that are not recommended:

- i. Fluorescent, neon or any illuminated colors.

- (iii) Specific Provisions.

- a. Body and roof colors are recommended to those in the table below:

	Hue	Value	Chroma
Body	All	7 or above	6 or below
Roof	All	10 or below	6 or below

- b. Number of colors recommended:

- i. Four (body, trim, accent and roof) colors up to 5,000 sq.ft. (building footprint).
- ii. Five colors for buildings greater than 5,000 sq.ft. (building footprint).
 - (1) Two (2) body colors may be applied to façade rhythm of 20' to 30' bays to be considered Façade Composition (See 2.1.3).
 - (2) No pattern of narrower stripes than 20' is allowed.

PADRE BOULEVARD AND ENTERTAINMENT DISTRICT
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Local symmetry in composition

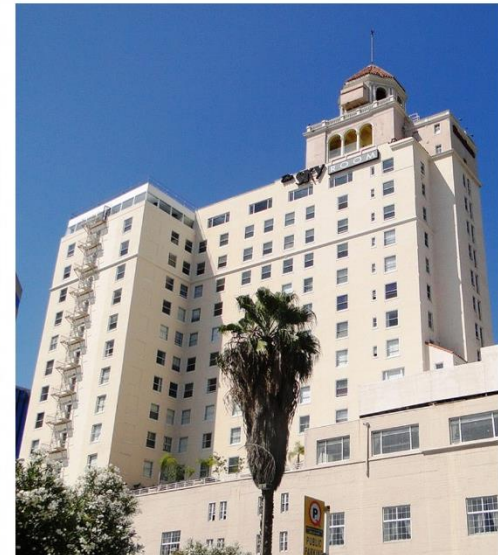


Elevated first floor



Entrance ornamentation

Wide eaves with brackets



Large building with appropriate massing



Decorative elements



Corner storefront with awning



Tower with brackets

Courtyard



Appropriate window and door patterns

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Low pitched roof with red-clay tiles and with multiple roof forms

Short overhangs

Shallow arches on upper levels

Wide overhangs with no brackets

Pilasters between windows

Thinner walls with openings on upper floors

Punched wall window openings

Elaborate ornamentation on entrance

Thicker walls on the ground floor

Deeper round arches on the ground floor

Storefront in the arcade



Tower with wide eaves and brackets for the balcony

Smaller windows along the upper floor

Continuous separation between the middle and the top

Balconies in rhythmic or symmetrical pattern

Continuous separation between the base and middle

Larger windows and openings along the base

**PADRE BOULEVARD AND ENTERTAINMENT DISTRICT
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Recommended Sustainability Standards

9.4 Applicability. This section establishes sustainable development techniques to be utilized in the PBED Area. The following matrix sets minimum requirements for new construction and their relation to the natural

environment. The standards set in this section helps the developer or owner to use these techniques to reduce “heat island effect,” manage stormwater effectively, reduce light pollution, improve the indoor environment, save energy and water, and decrease the life-cycle costs of the development.

Table 9.4

Character Zone	Bayfront	Entertainment District Core	Neighborhood Crossings	Town Center Crossing	Padre Boulevard South, Central and North	Neighborhood Transition	Standard
Sustainability Techniques							
Building Orientation and Design							
Ventilation	O	O	O	O	O	O	<ul style="list-style-type: none"> A minimum of 50% of the windows above street level on a building should be operable. The operable windows should be distributed to maximize the direction of prevailing winds.
Daylighting	R	R	O	R	O	O	<ul style="list-style-type: none"> A minimum daylighting factor of 2% shall be provided in 75% of regularly occupied interior areas. There shall be a direct line of sight to glazing from 90% of all regularly occupied spaces.
Surface Solar Reflectivity	R	R	O	R	O	O	<ul style="list-style-type: none"> The Solar Reflectivity Index for flat roofs should be a minimum of 78. The Solar Reflexivity Index for sloped roofs be a minimum of 29. The Solar Reflexivity Index for pavement should be a minimum of 29.
Shading	R	R	R	R	O	O	<ul style="list-style-type: none"> A minimum of 50% South facing windows should be shaded from the summer sun angle. Shading devices include, but are not limited to: awnings, porches, roof overhangs, exterior shades, light shelves, or deep windows. Deep skin screening is permitted upon review of the City Manager or designee.
Energy Systems	O	O	O	O	O	O	<ul style="list-style-type: none"> The use of solar photovoltaic/solar thermal energy systems is permitted.
Building Orientation	O	O	O	O	O	O	<ul style="list-style-type: none"> In the case of a high-rise or tower above a podium (buildings over 6 stories), the proportions of the tower element shall be rectangular with the length on axis with East and West. This alignment may fluctuate by no more than 15%.
Public Darkness							
Exterior Building Lighting	R	R	R	R	R	R	<ul style="list-style-type: none"> Maximum Lighting Standards: <ul style="list-style-type: none"> Full cutoff lighting, Some low wattage, Non-Full Cutoff Lighting, controlled by dimmers, time switch or motion Required Shielding: Shielded luminaire or better <p>Compliance with all other City codes governing lighting is required</p>
Stormwater Management							

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Runoff Retention Volume	O	O	O	O	O	O	<ul style="list-style-type: none"> • Runoff volume retention shall be a minimum of 30%. • This percentage is the change in runoff volume between post-development impervious surface and pre-development land surface.
General Infiltration Methods							
Hard Surface: Permeable Pavement	R	R	O	O	O	O	<ul style="list-style-type: none"> • Where paving is provided, a minimum of 25% shall be permeable paving that allows for water to infiltrate, even in frequently trafficked areas.
Hard Surface: Green Roof	O	O	O	O	O	O	<ul style="list-style-type: none"> • If a green roof is provided, at least 50% of a building's flat roof shall be designed as a green roof.
Reuse of Rain Water: Reuse Irrigation	O	O	O	O	O	O	<ul style="list-style-type: none"> • Permitted only for retail, service, or restaurant uses
Reuse of Rain Water: Reuse, Greywater	O	O	O	O	O	O	Shall meet other applicable city ordinances with the approval of the Public Works Director
Linear Infiltration: Vegetated Swale	N	N	N	N	O	O	
Linear Infiltration: Vegetated Stormwater Planters	O	O	O	O	O	O	
Area Infiltration: Rain Garden	O	O	O	O	O	O	
Area Infiltration: Retention Basin	N	N	N	N	O	O	
District Methods: Retention Areas	O	O	O	O	O	O	
District Methods: Underground Gravel Storage	O	O	O	O	O	O	

R = Required O = Optional N = Not Permitted

**PADRE BOULEVARD AND ENTERTAINMENT DISTRICT
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Open Space Standards

9.5 Applicability. This chapter establishes the public Civic Space and private Open Space Standards for the Corridor. The detailed Civic Space Standards for each type are included in this Section. These standards include general character, typical size, frontage requirements, and typical uses.

9.5.1 Private Open Space Standards. Given the mixed use nature of development within the Corridor, all new residential and lodging uses within the Corridor should meet the private open space standards established in this Section. Table 5.1 establishes the standards for different private open space types and Table 5.2 establishes the private open space requirement based on the proposed intensity of residential or lodging development.

Table 9.5 Private Open Space Types

<i>Private Open Space Type</i>	<i>Standards and criteria</i>
(i) Balconies	Balconies that are not flush should be a minimum of 5 feet clear in depth and a minimum of 8 feet in width Balconies may be semi-recessed or recessed. Projecting metal or slab balconies are only permitted if they have some means of visible support.
(ii) Patios	Patios shall be a minimum of 150 sq.ft. Patios shall have a clear sense of enclosure and separation from the public realm.
(iii) Courtyard	Courtyards shall be surrounded on all sides by buildings with at least one pedestrian connection to an adjoining building or public sidewalk. The courtyard shall be a minimum of 200 square feet. Courtyard may be landscaped or a combination of landscape and hardscape. However, they shall contain amenities for residents such as seating, water features, etc.

<i>Private Open Space Type</i>	<i>Standards and criteria</i>
(iv) Forecourt	A Forecourt shall be surrounded on at least two sides by buildings. A Forecourt should be a minimum of 150 square feet.
(v) Playground	Playgrounds should be a minimum of 400 sq.ft.
(vi) Community Garden	Maximum size should be 1 acre Gardens may be enclosed by a fence on all open sides. Fences should be installed straight and plumb, with vertical supports at a minimum of 8' on center. Chicken wire, if used, should be continuously supported along all edges. Fencing Materials: <u>Permitted</u> : pressure treated wood (must be painted or stained medium to dark color), chicken wire, wrought iron, painted galvanized steel <u>Not permitted</u> : chain link, barb wire, vinyl, un-painted/stained pressure treated wood, plywood
(vii) Roof terraces	A Roof Terrace should at least be 50% of the building footprint area. A Roof Terrace should provide landscaping in the form of potted plants, seating, and other amenities for the users of the building. A Roof Terrace may also include a portion of the roof as a green roof which may or may not have public access.
(viii) Private Open Space Amenity (pool, play courts, picnic area, etc.)	Such private open space may be incorporated with roof terraces or courtyards based on the appropriateness of the design and accommodation of privacy.

Table 9.5 Private Open Space Standard

<i>Number of Residential Units proposed</i>	<i>Private Open Space Standard Proposed</i>
1 – 4	None
5 – 12	The development should provide: <ul style="list-style-type: none"> At least 40% of all residential units fronting on a street, Boardwalk, public civic space, fore court, or courtyard shall provide one balcony or patio; <u>or</u> One playground or other private open space amenity All other private open spaces are optional.

13 –25	The development should provide: <ul style="list-style-type: none"> At least 40% of all residential units fronting on a street, civic space, fore court, or courtyard shall provide one balcony or patio; <u>and</u> One playground area or other private open space amenity All other private open spaces are optional
26 – 50	Any 3 of the private open spaces in the list above
Over 50 units	should provide at least one public civic space such as a plaza or paseo
Hotel with more than 200 lodging rooms	should provide at least one public civic space such as a plaza or paseo

9.5.2 Public Civic Space Standards. The design of public Civic Space shall be regulated by the Civic Space standards herein which shall establish a palette of appropriate civic space types for the Corridor. The major civic space types appropriate within the context of the Corridor are: the public boardwalk along the bay front, public paseos, and plazas. The Regulating Plan establishes the location and types of required civic spaces such as the Bayfront Boardwalk. The following section shall apply to all public Civic Space proposed within the Corridor.

9.5.3 Paseo Standards



A **Paseo or Pedestrian Passage** is an intimate street level passage way for pedestrians through blocks at designated locations on the Regulating Plan. These paths provide direct pedestrian access to key destinations such as the Bayfront Boardwalk and create unique spaces for frontages to engage and enter off of. A pedestrian passage may be used to visually reduce the impact of a large development block. Building edges may accommodate active uses such as shops and restaurants. Pedestrian passages should consist of a hardscape pathway activated by frequent entries and exterior stairways. The edges may simply be landscaped with minimal planting and potted plants. Arcades may line Paseos to provide shade and a more attractive edge. Paseos may allow access to emergency and maintenance vehicles.

Typical Characteristics

General Character

- Hardscape pathway
- Pedestrian friendly frontages
- Small-scale commercial uses
- Frequent entries

Location and Size

- Location shall be as shown on the Regulating Plan (Zoning District Map).
- The minimum width shall be 15'.
- The maximum width shall be 50'.

Typical Uses

- Small scale commercial uses
- Residential uses
- Casual seating

9.5.4 Recommended Plaza Standards



Plazas add to the vibrancy of streets within the more urban zones and create formal open spaces available for civic purposes and commercial activity. Building frontages shall define these spaces. The landscape should consist primarily of hardscape. If trees are included, they should be formally arranged and of appropriate scale. Casual seating, along with tables and chairs, should be provided. Plazas typically should be located at the intersection of important streets. Plazas are appropriate in the all the character zones.

Typical Characteristics

General Character

- Formal open space
- Primarily hardscape surfaces
- Trees and shrubs optional
- Spatially defined by building frontages

Location and Size

- Any locations proposed by both private and public entities, and determined by the City
- Shall front on at least one (1) street.

Typical Uses

- Commercial and civic uses
- Casual seating
- Tables and chairs for outdoor dining
- Retail and food kiosks

Section 9.6

Appendix A
Planting List

The following lists contain all species recommended-for use in the Padre Boulevard and Entertainment District (PBED) Code. It contains native and acceptable adapted species, which are highly recommended to enhance ecotourism. Other species that are drought tolerant and adaptive may be used and are recommended for planting within the PBED. “Invasive plants and trees” as defined in Sec. 20-21 (F) (3) are prohibited. When not in conflict or inconsistent with the provisions of the PBED Code, the provisions of Sec. 20-21 entitled Required Landscaping shall govern the landscaping requirements in within the boundaries of the PBED Code.

LARGE TREES

Common Name

Texas Huisache
Honey Mesquite
Tepeguaje
Texas Sabal Palm
Palmetto Palm
Cabbage or Florida Palmetto
Washington Fan Palm

Botanical Name

Acacia smallii
Prosopis glandulosa
Leucaena pulverulenta
Sabal texana
Sabal minor
Sabal palmetto
Washington filifera

Common Name

Necklace Pod, Yellow Sophora
Pampas Grass
Prickly Pear
Rebequita
Rosemary
Shrubby Blue Sage
Snake Eyes
Tamaulipan Fiddlewood
Texas Baby-Bonnets
White Brush
Yucca (many varieties)

Botanical Name

Sophora tomentosa
Cortaderia selloana
Opuntia spp.
Simisia calva
Rosmarinus officianalis
Salvia ballotiflora
Phaulothamnus spinescens
Cithereyxylum berlandieri
Coursetia axillaris
Aloysia gratissima
Yucca spp.

SMALL TREES

Common Name

Coma Del Sur

Tenaza
Yucca Palma, Pita

Botanical Name

Bumelia celastrina

Pithecellobium pallens
Yucca treculeana

PERENNIAL WILDFLOWERS

Common Name

Beach Evening Primrose

Dwarf Wild Petunia
Lila De Los Llanos
Pigeonberry
Texas Lantana
Wild Petunia
Wedelia

Botanical Name

Oenothera cheiranthifolia
suffruticosa
Ruellia sp.
Echeandia chandlevi
Rivina humilis
Lantana horrid
Ruellia brittoniana
Wedelia trilobata

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SHRUBS

Common Name

Cenizo, Purple Sage
 Century Plant
 Chilipiquin
 Dalea
 Dove Croton
 Drummond’s Turk’s Cap
 Dwarf Wax Myrtle
 Elaeagnus
 Golden Eye Daisey
 Hachinal
 Manzanita

Botanical Name

Leucophyllum frutescens
Agave americana
Capsicum annum
Dalea thyrsoflora
Croton numilis
Malvastrum drummondii
Myrica pusilla
Elaeagnus pungens
Viguiera stenoloba
Heimia salicifolia
Malpighia glabra

GROUNDCOVER

Common Name

Asparagus, Sprengeri fern
 Algerian Ivy
 Goats-foot Morning Glory
 Trailing Lantana
 Stonecrop
 Asiatic Jasmine
 Confederate Jasmine
 Indian Blanket
 Padre Island Mist Flower
 Frog Fruit

Botanical Name

Asparagus densiflorus ‘Sprengeri’
Hedera canariensis
Ipomoea pes-caprae
Lantana montevidensis
Sedum acre
Trachelospermum asiaticum
Trachelospermum jasminoides
Gaillardia Pulchella
Eupatorium betonicifolium
Lippia nodiflora

ORNAMENTALS

Common Name

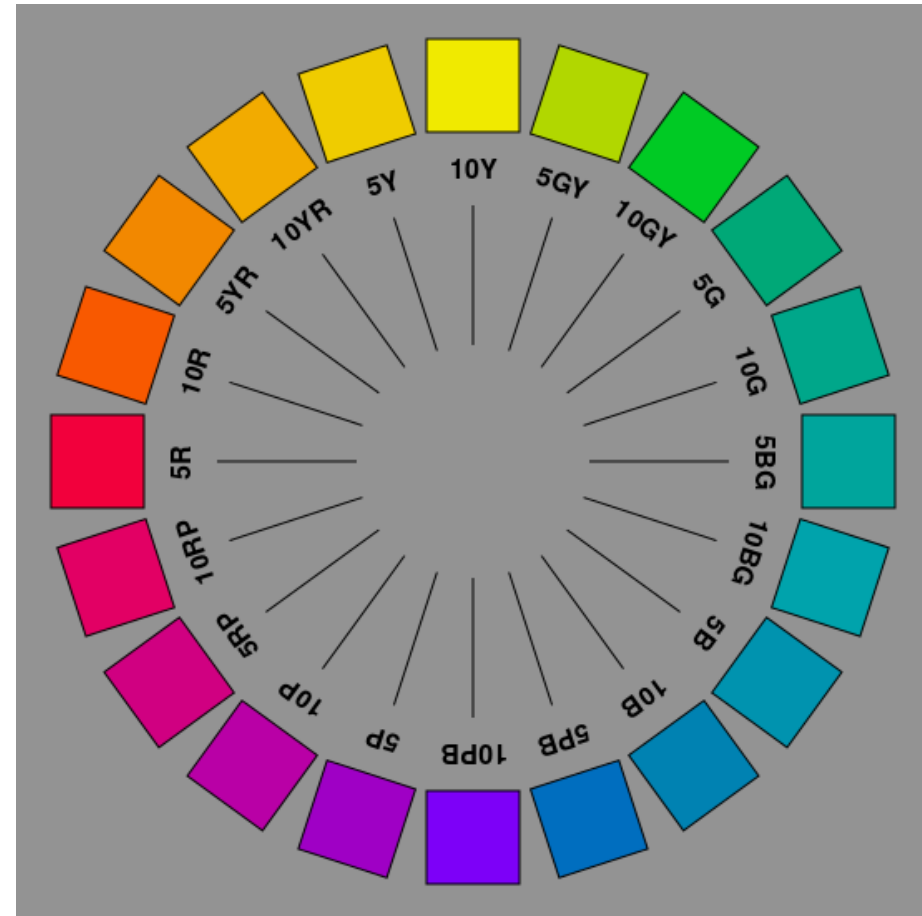
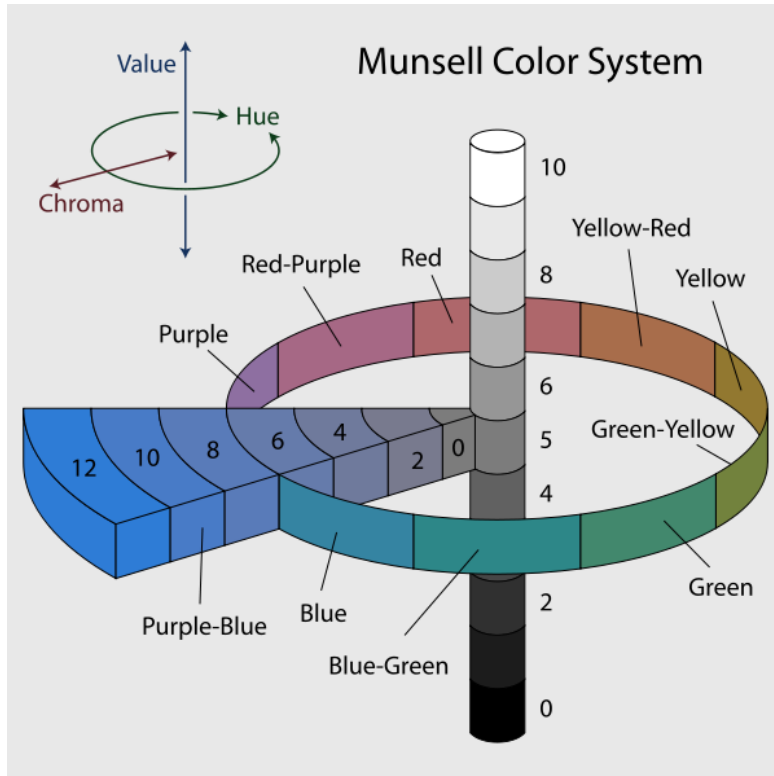
Aloe Vera
 Cape Honeysuckle
 Papaya
 Shrimp Plant

Botanical Name

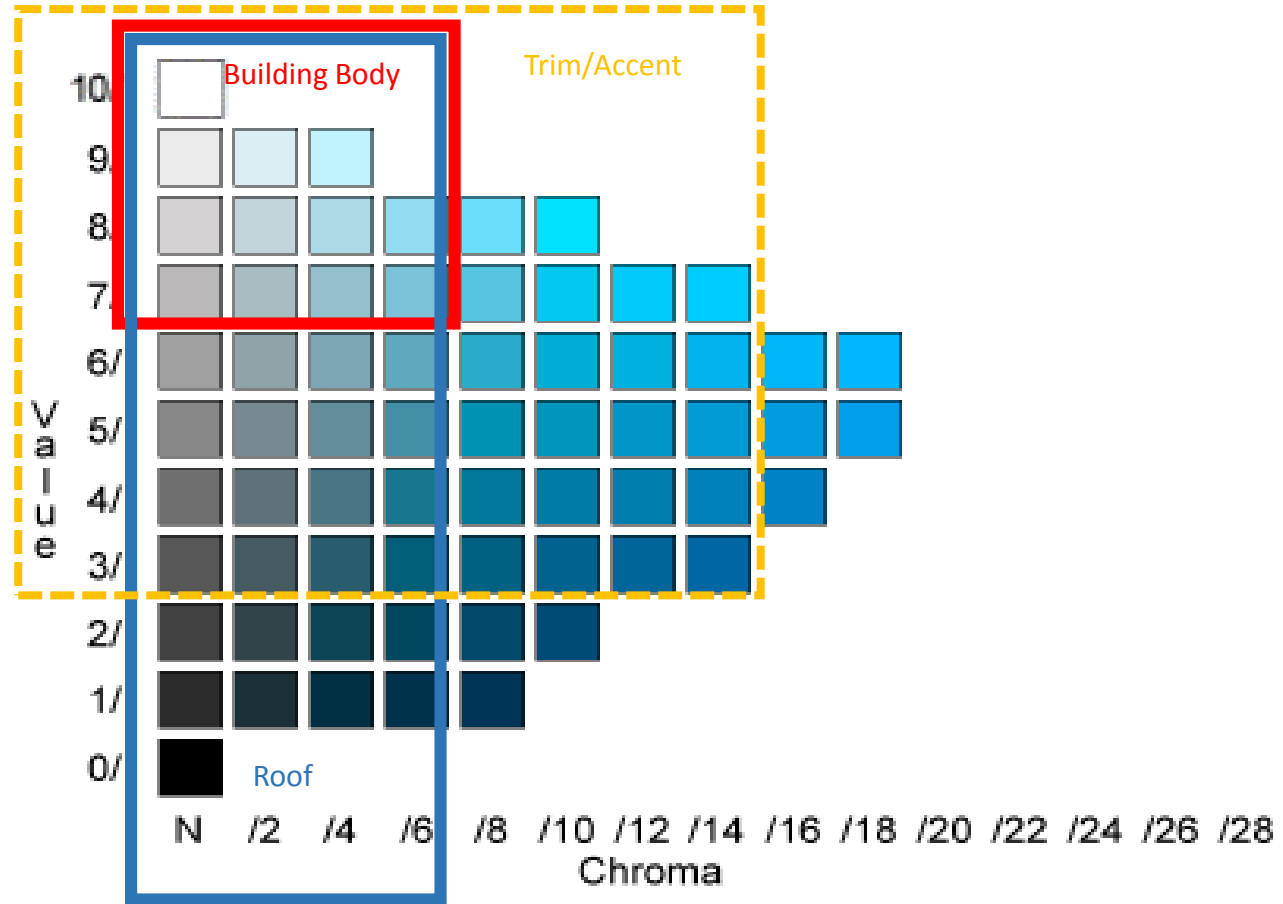
Aloe barbadensis
Tecoma capensis
Carica papaya
Beleperone guttata

These plantings may be placed in Civic/Open Spaces or used to meet the private landscaping requirements of the Code. The applicant should select drought tolerant, low maintenance, and adaptable shrubs and ground cover based on the placement on the site subject to approval by the City.

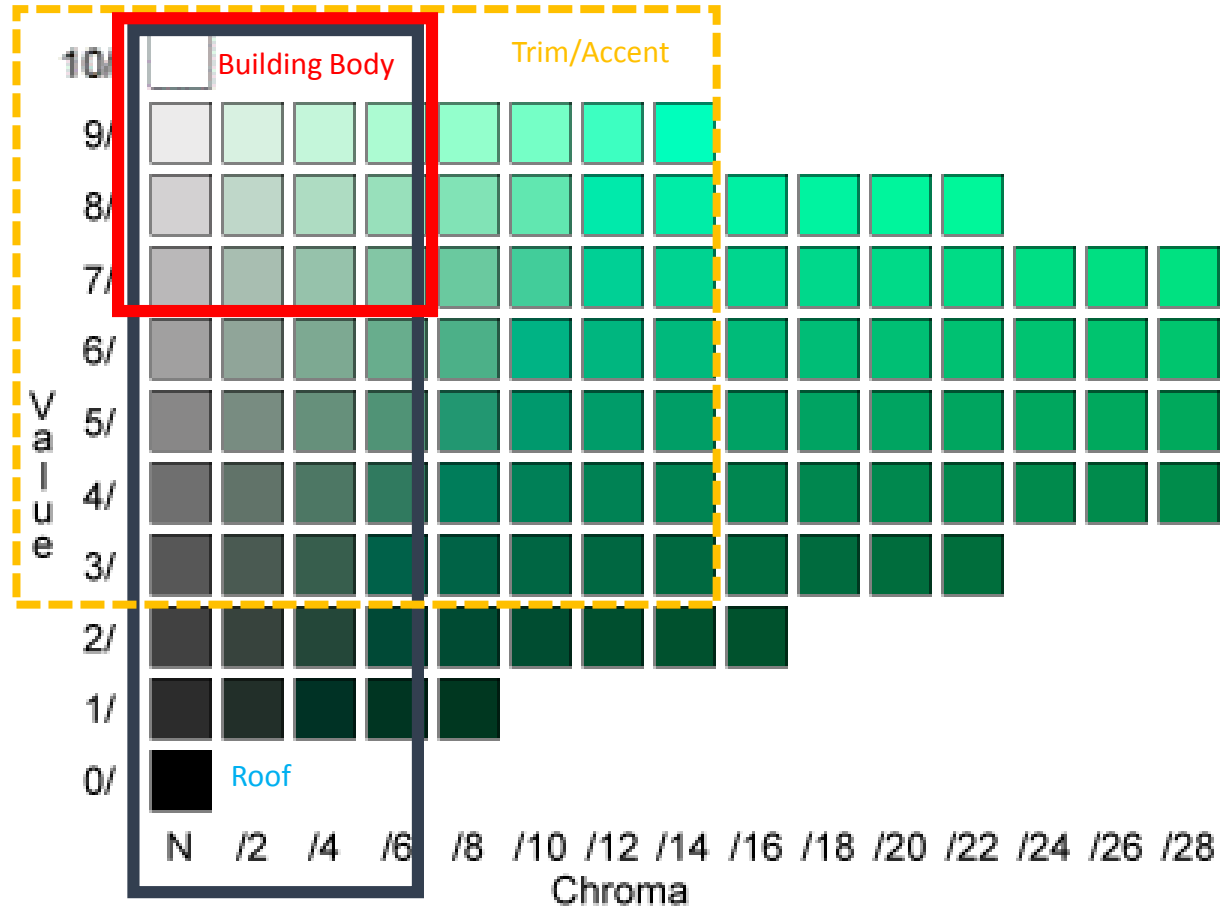
Recommended Appendix B: Munsell color system



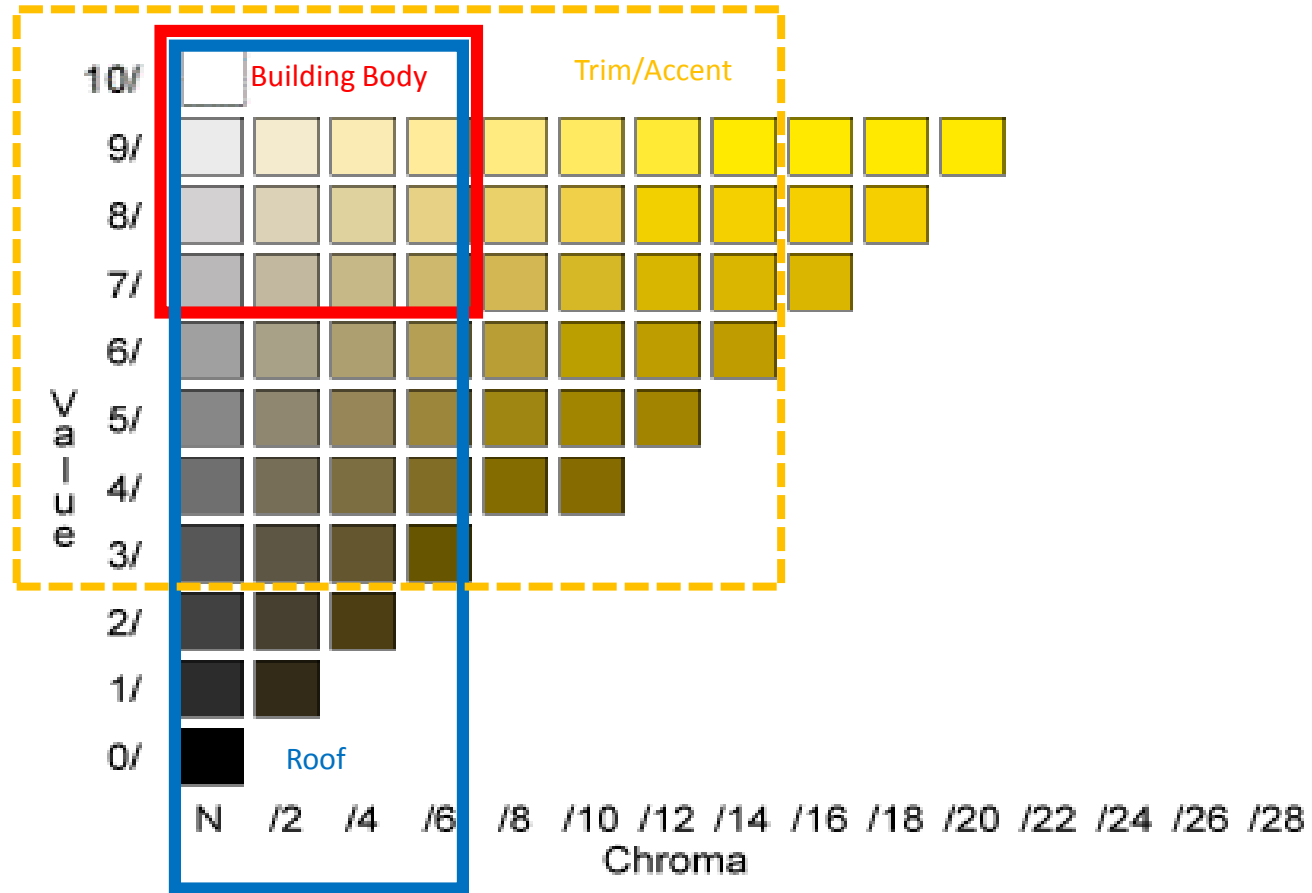
5B



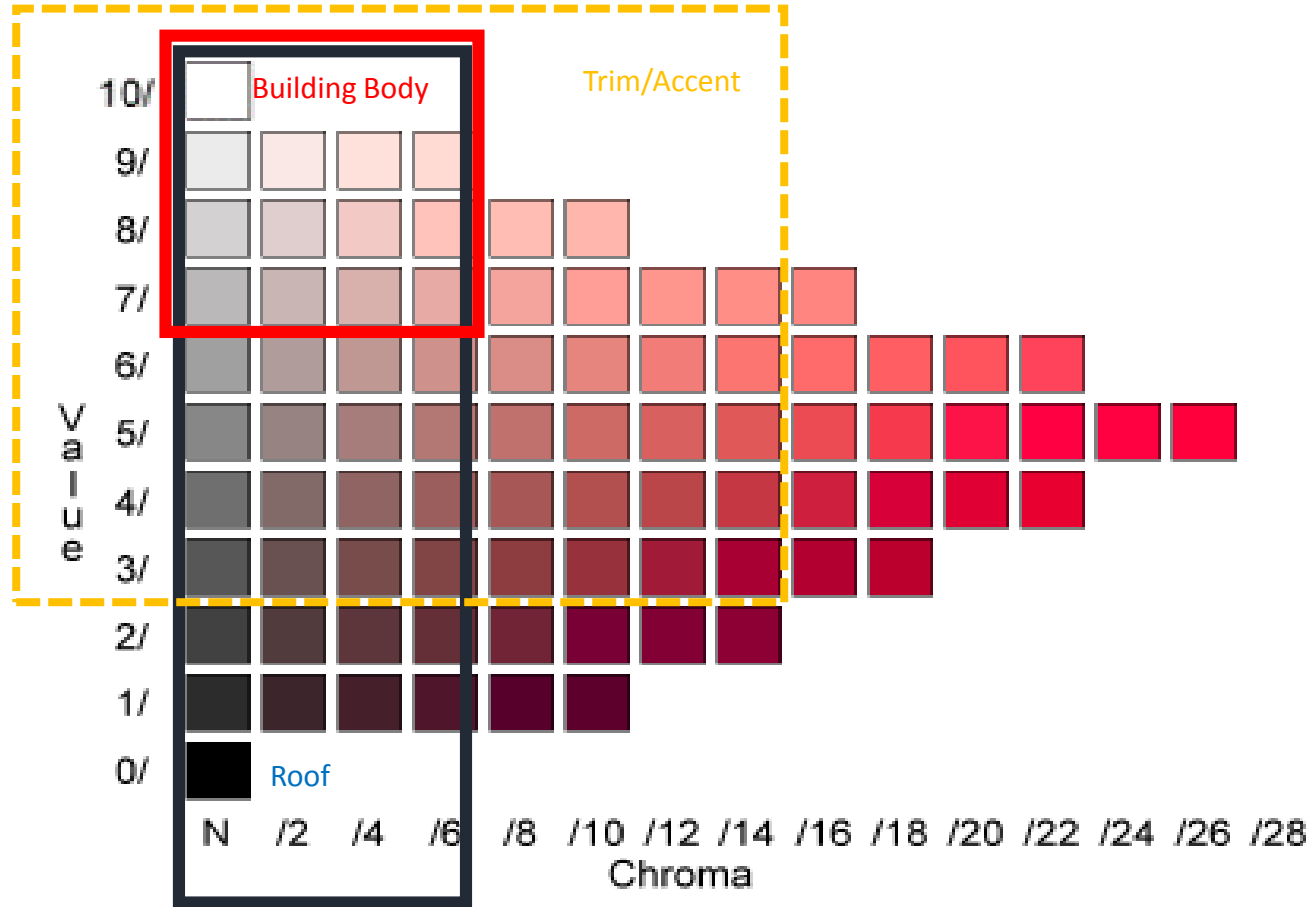
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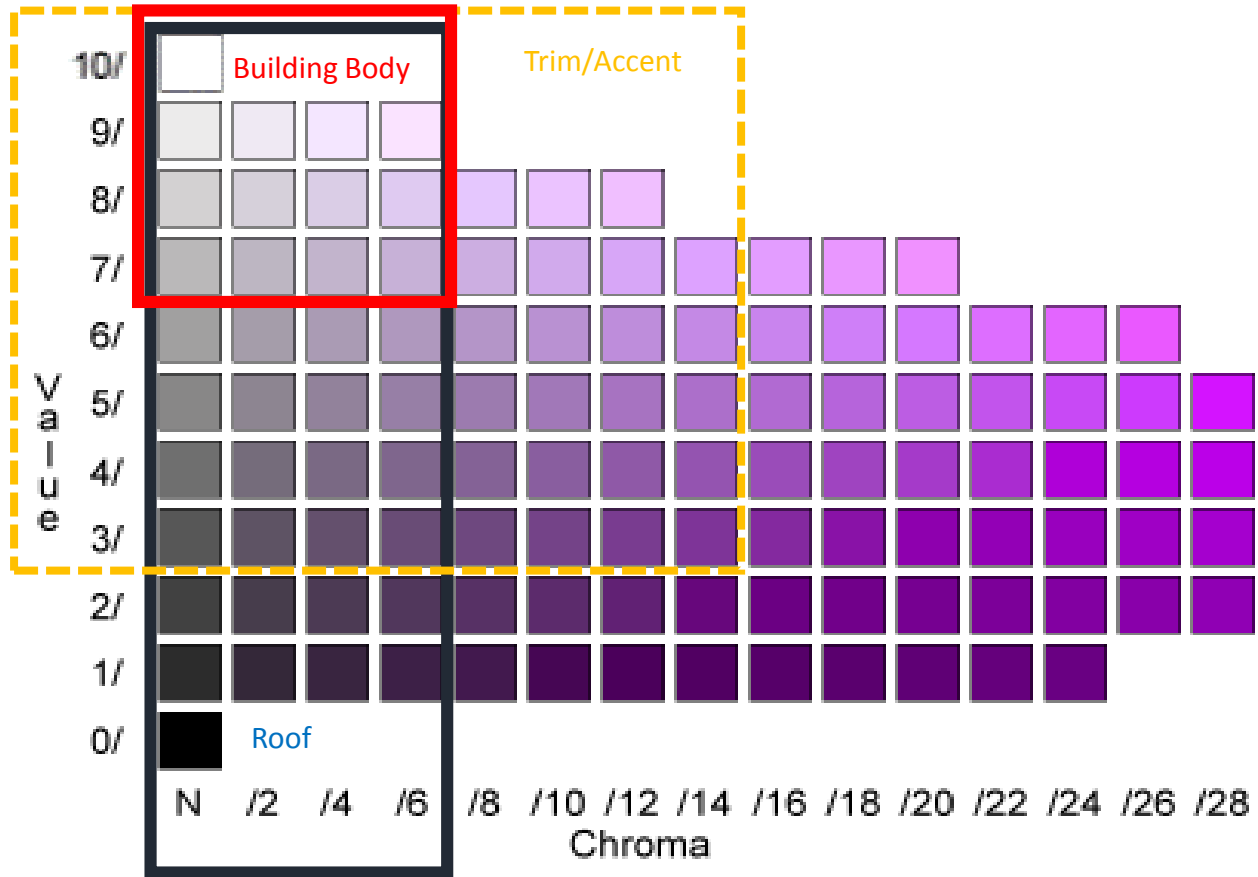
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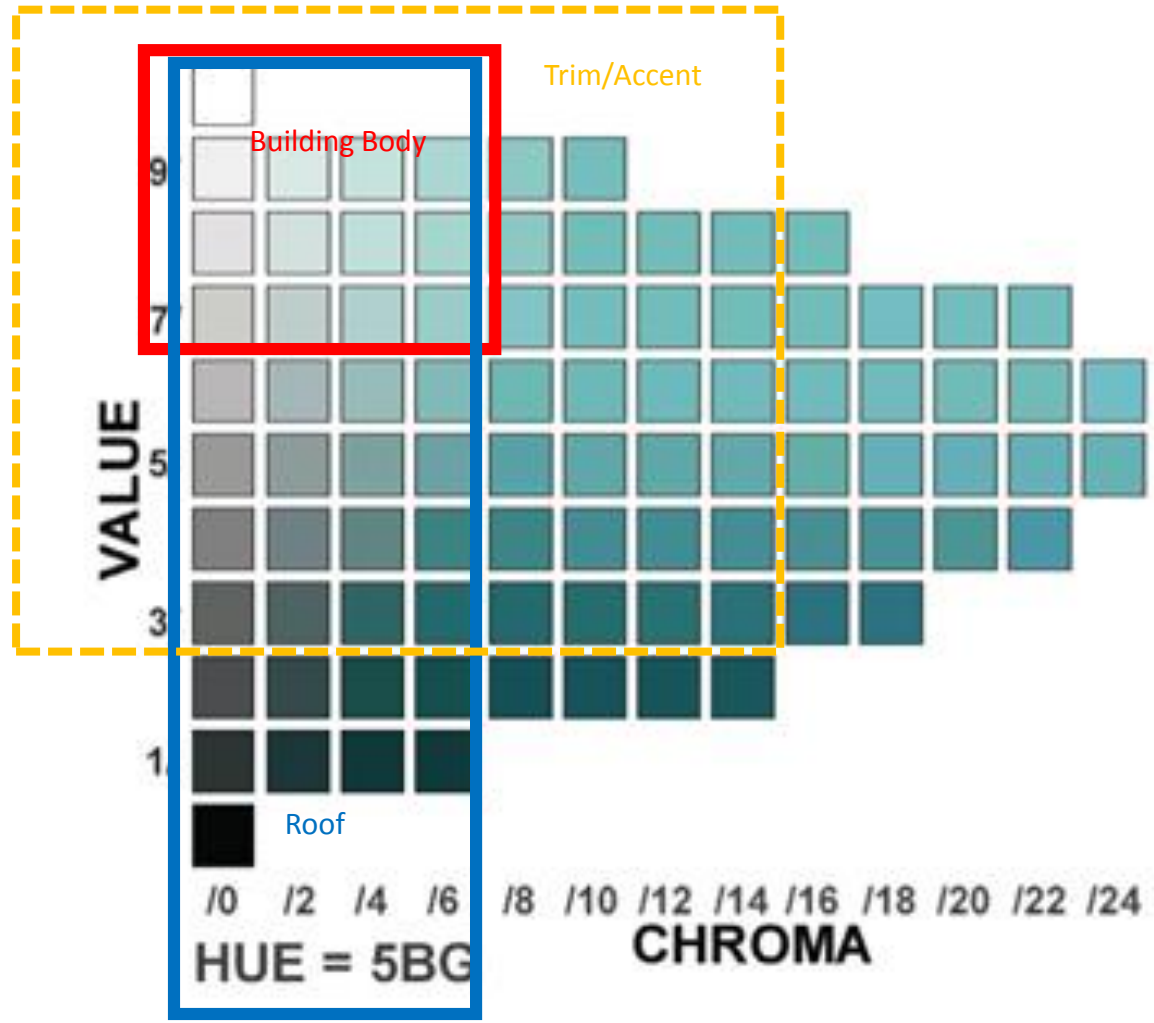
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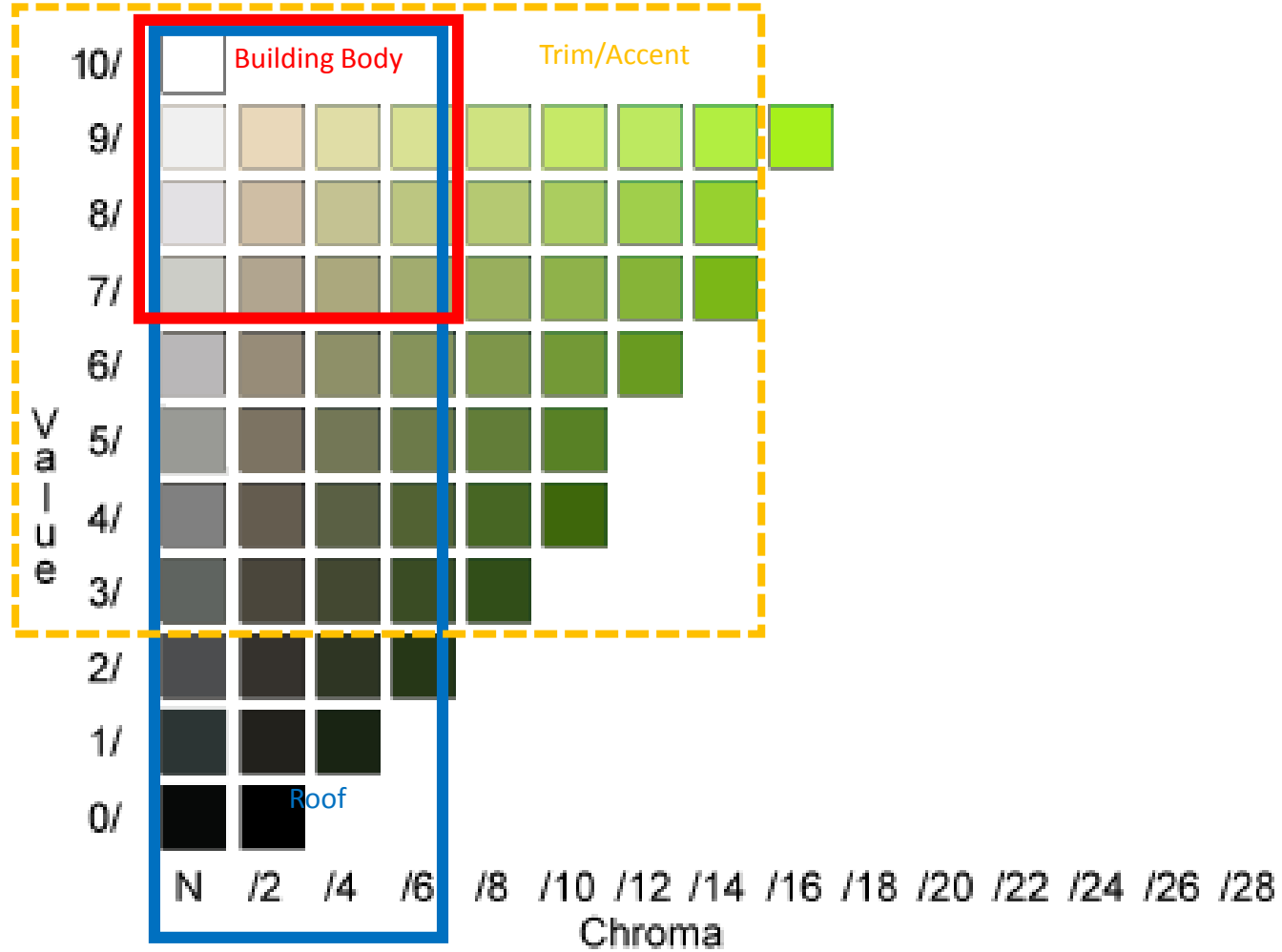
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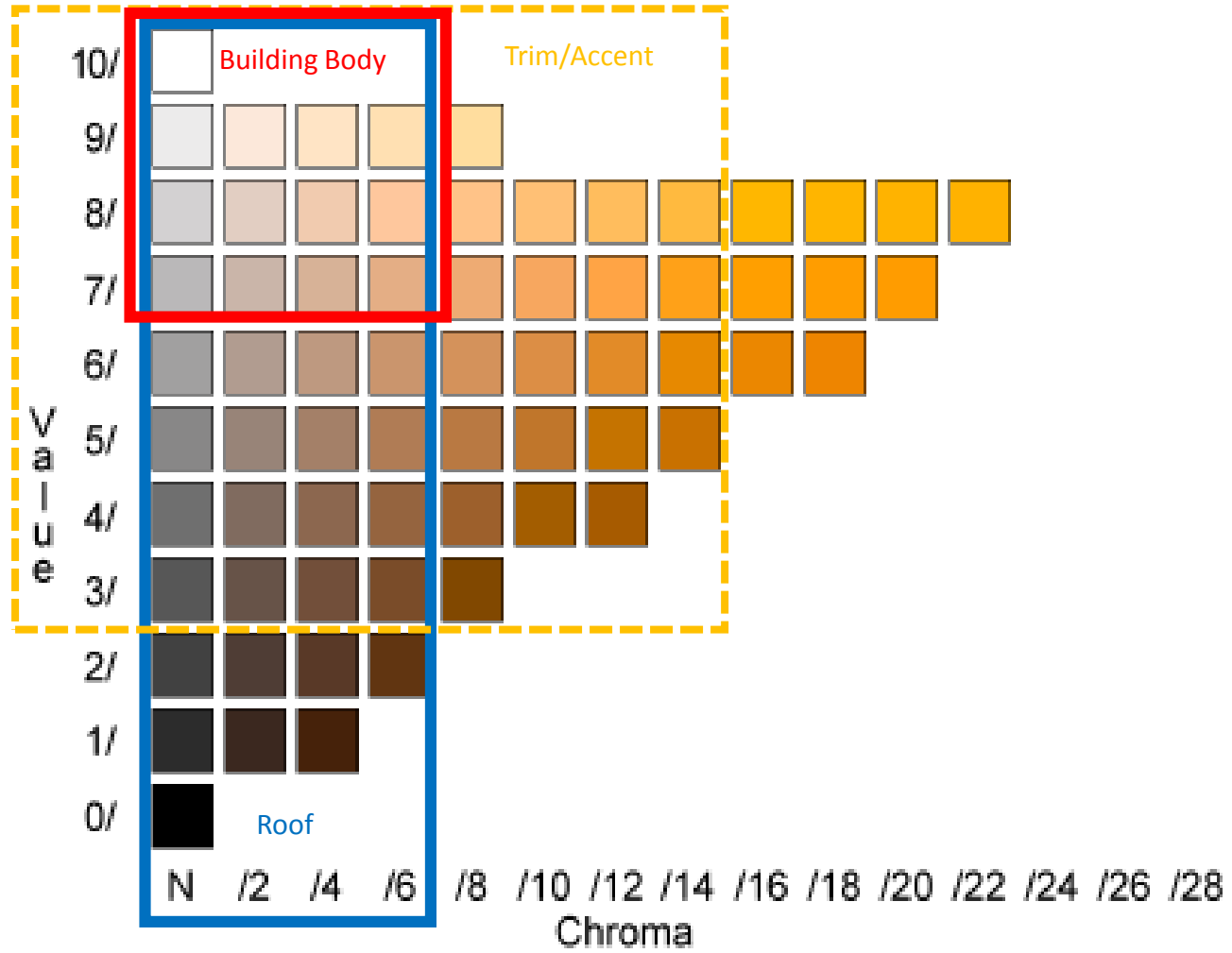
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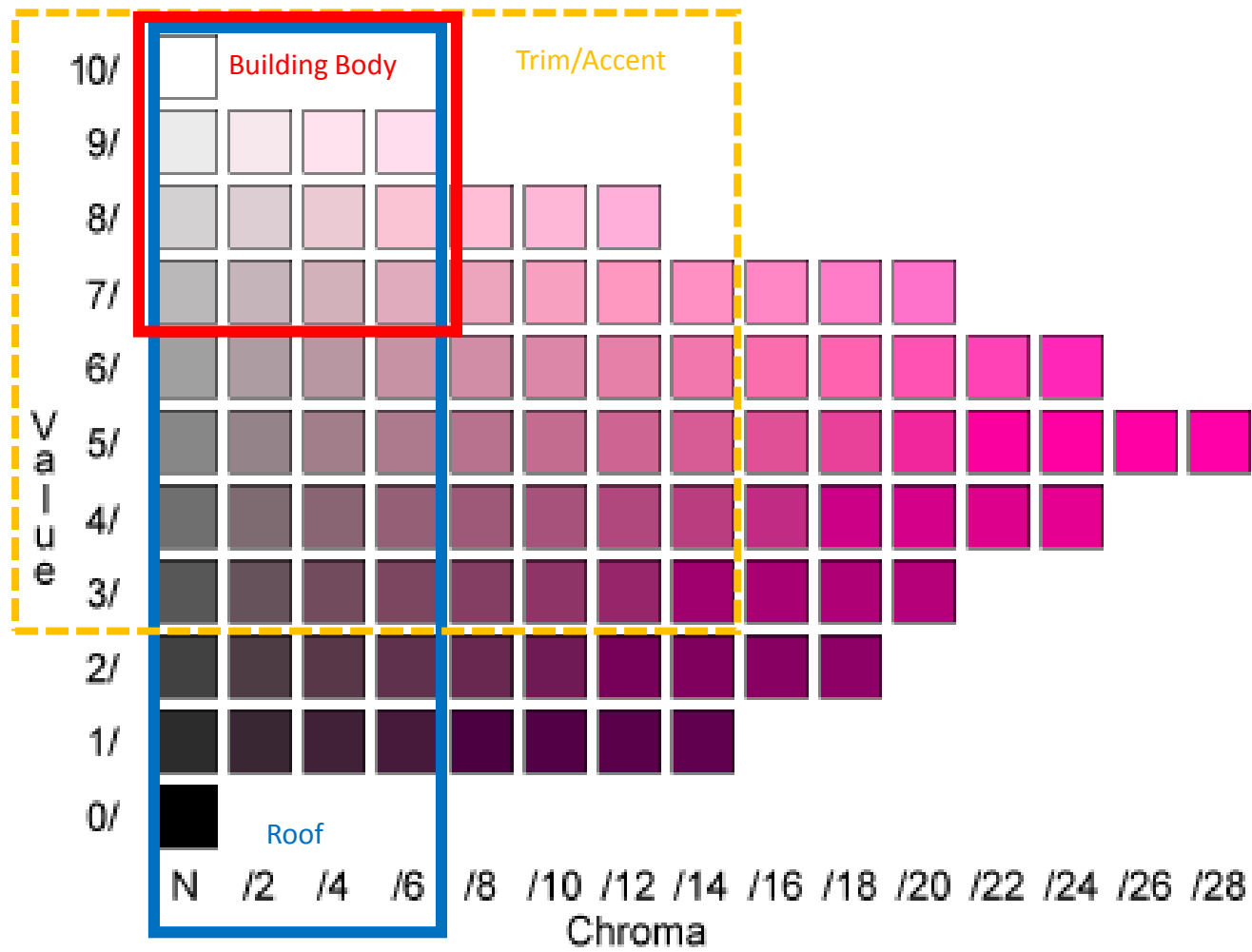
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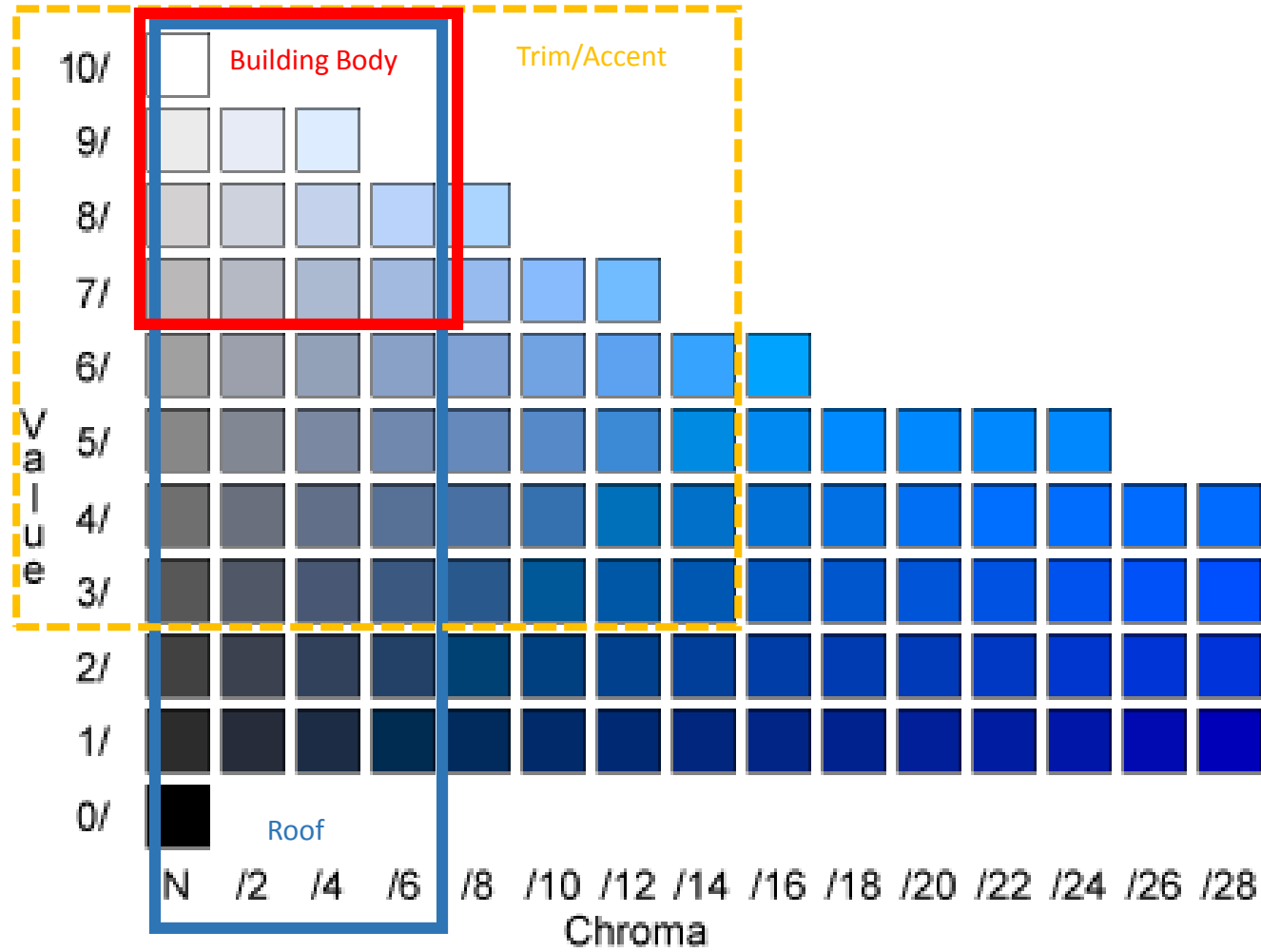
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Section 10. Definitions

In addition to Definitions of the City of South Padre Island City Ordinances, the following terms shall have the corresponding interpretations. Terms used throughout this PBED Code are defined in Sec. 10 for those terms not defined in this PBED Code the definitions in Sec. 20-3, 20-15, and other Sections of the City Codes and Ordinances shall apply and govern. For terms not defined in this Code or any City Code, they shall be accorded with commonly accepted meanings and definitions contained in a standard Webster’s dictionary. In the event there is a conflict between definitions in this Code and any other City Code, the definitions of this Code shall take precedence if related to an area or location within the boundaries of this Code.

Arcade: is a portion of the main façade of the building that is at or near the Street-Setback Line and a colonnade supports the upper floors of the building. Arcades are intended for buildings with ground floor commercial or retail uses and the arcade may be one or two stories.

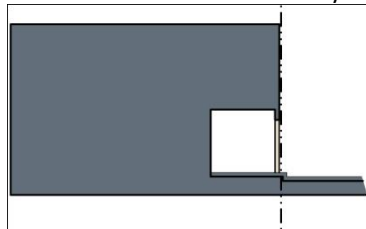


Image of an arcade

Attics/Mezzanines: the interior part of a building contained within a pitched roof structure or a partial story between two main stories of a building.

Auto-Related Sales and Service Uses: are establishments that provide retail sales and services related to automobiles including, but not limited to, cars, tires, batteries, gasoline, etc.

Balcony is a platform projecting from a second or higher story interior or exterior wall of a building, usually enclosed for privacy and protection by a rail. A balcony usually has French or sliding glass doors leading out to it, and can be entered from a living room or bedroom.



Block Face Dimensions means the linear dimension of a block along one of its street frontages.

Block Perimeter means the aggregate dimension of a block along all of its street frontages.

Block means the aggregate of lots, pedestrian passages and rear alleys, circumscribed on all sides by streets.

Boulevard means the street identified as such on the Zoning Map. The Boulevard shall be a hybrid street that balances both automobile and pedestrian orientation with respect to the development context.

Build-to Zone means the area between the minimum and maximum setbacks within which the principal building’s front façade (building façade line) is to be located.

**PADRE BOULEVARD AND ENTERTAINMENT DISTRICT
SECTION 10 DEFINITIONS**

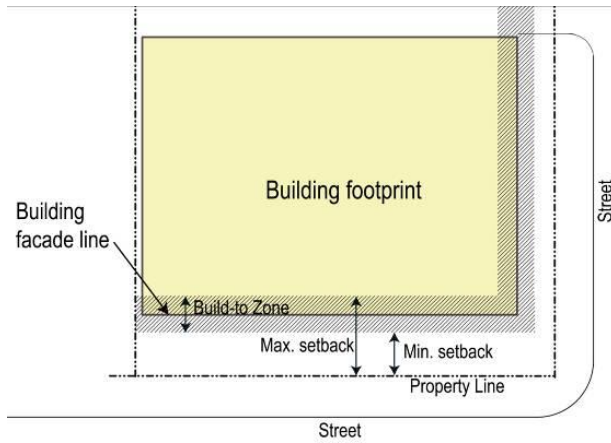
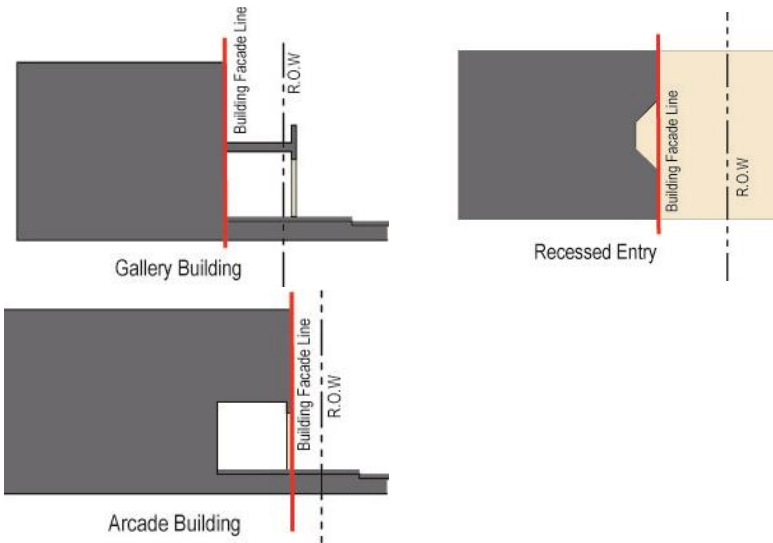


Illustration indicating the location of the build-to zone relative to the minimum and maximum setbacks and the building façade line

Building Façade Line means the vertical plane along a lot where the building’s front façade is actually located.



Building Façade Line Illustrations

Building Form Standards: the standards established for each Character Zone that specifies the height, bulk, orientation, and elements for all new construction and redevelopment.

Building Frontage: the percentage of the building’s front façade that is required to be located at the front Build-to Line or Zone as a proportion of the block frontage along that public street. Parks, plazas, squares, improved forecourts, and pedestrian breezeway frontages shall be considered as buildings for the calculation of building frontage.

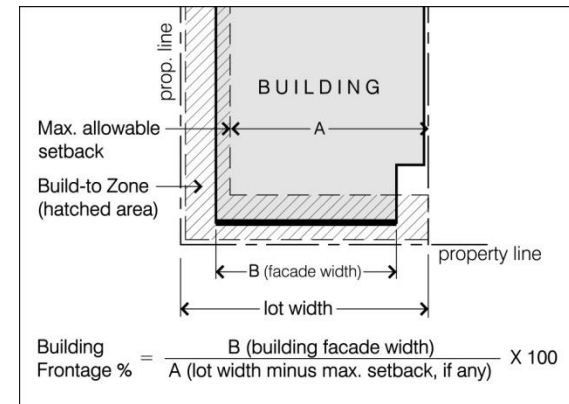


Image showing how a lot’s building frontage is calculated .

Character Zone means an area within the Padre Boulevard and Entertainment District Code that creates a distinct urban form different from other areas within the PBED Code. Character Zones are identified in the Regulating Plan.

City Manager means the City Manager of the City of South Padre Island or designee.

Civic/Open Space: a publicly accessible open space in the form of parks, courtyards, forecourts, plazas, greens, pocket parks, playgrounds, etc. They may be privately or publicly owned. For all residential uses, privately accessible open spaces such as courtyards, porches, and balconies may also be considered as Civic/Open Space for the purposes of this ordinance.

**PADRE BOULEVARD AND ENTERTAINMENT DISTRICT
SECTION 10 DEFINITIONS**

Plaza – a primarily hardscaped civic/open space with formal landscaping, available for civic purposes and commercial activities. A plaza shall be spatially defined by buildings.

Paseo: is a civic space dedicated for pedestrian movement located between blocks, buildings or along alleys. Paseos may terminate public streets within the PBED.



Image of a typical paseo

Commercial or Mixed Use Building means a building in which the ground floor of the building is built to commercial ready standards and any of the floors are occupied by non-residential or residential uses.

Commercial Ready means space constructed at a minimum ground floor height as established in each character zone which may be used for noncommercial uses and can be converted into retail/commercial use. Prior to the issuance of a certificate of occupancy for a retail/commercial use in a Commercial-Ready space, the space must comply with all building and construction codes for that use. The intent of Commercial-Ready space is to provide the flexibility of occupying a space in accordance with market demand and allowing the use in such space to change to retail/commercial uses accordingly.

Community Garden is a small to medium size garden cultivated by members of an area for small scale agricultural uses for the benefit of the same people. It may consist of individually tended plots on a shared parcel or may be communal (everyone shares a single plot).



Images of community gardens

Comprehensive Plan: City of South Padre Island Comprehensive Plan that establishes the blueprint for the long-term growth and development of the City.

Courtyard is a landscaped open space in the center of the block with no street frontage, surrounded by walls or buildings on all sides. It shall be large enough to allow for public activities and have sunlight during midday. It should be designed to connect to adjacent buildings or to the public sidewalk through a pedestrian passage.



Images of Courtyards

Daylighting: Daylighting in a building is the utilization of available sunlight by manipulating window placement, window fixtures, and room dimensions to maximize natural light in a space. Using daylighting minimizes the need for lamps and overhead lights and the energy required to power artificial lighting.

Design Exceptions: shall be any request to modify any standards in Section 6, Building Form and Development Standards, Section 9 Building Design Standards, Section 9 Architectural Standards, Section 9 Sustainability Standards, Section 8 Signage Standards, and Section 9 Open Space Standards.

**PADRE BOULEVARD AND ENTERTAINMENT DISTRICT
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Development Application: shall be any application for development that changes the outward appearance of a building or site within the Padre Boulevard and Entertainment District. It shall include applications for new buildings and signs, additions or modifications to existing buildings, signs or site. It shall include site plans, landscape plans, façade improvement plans, surface parking lot plans, sign applications, and similar requests but shall not include building permit applications. *Existing Development:* shall be all development (buildings and uses) that existed on or before May 1, 2011.

Encroachment: any structural or non-structural element such as a sign, awning, canopy, terrace, or balcony, that breaks the plane of a vertical or horizontal regulatory limit, extending into a Setback, into the Public R-O-W, or above a height limit.

Forecourt is similar to a Courtyard, however, it is located in the front of a building such that the forecourt is surrounded on two or three sides by wings of the building.



Image of a forecourt

Flood Zone Height or Base Flood Elevation: shall be the elevation of the 100-year flood zone as established by the Federal Emergency Management Agency (FEMA), or any other future federal agency, which manages flooding issues.

Gallery: is an extension of the main façade of the building that is at or near the front property line and the gallery may overlap the public sidewalk.

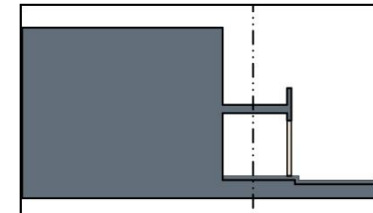


Image of a Gallery

General Street means a street intended to primarily accommodate access to parking, driveways, service, and other auto-related functions.

Hybrid Street: shall be the Boulevard that balances automobile accommodation with pedestrian accommodation.

Improvements: Improvements include anything that increases the dollar value or the usefulness of the property as defined by the Appraisal District. Such improvements include extension of utility service lines, filling or draining low areas, building raised areas, creating roads, parking lots and other access as well as erecting buildings, outbuildings and other fixed, permanent structures.

Institutional Uses: are uses that are related to non-profit organizations dedicated to religious or social functions.

Kiosk means a small temporary or permanent structure often open on one or more sides used for sales in civic/open spaces.

Live-Work Unit: means a mixed use building type with a dwelling unit that is also used for work purposes, provided that the ‘work’ component is restricted to the uses of professional office, artist’s workshop, studio, or other similar uses and is located on the street level and constructed as separate units under a condominium regime or as a single unit. The ‘work’ component is usually located on the ground floor which is built to Commercial Ready standards. The ‘live’ component may be located on the street level (behind the work component) or any other level of the building. Live-work unit is distinguished from a home occupation otherwise defined by this ordinance in that the work use is not required to be incidental to the dwelling unit, non-resident employees may be present on the premises and customers may be served on site. *Living Fence:* shall be a Street Screen composed of landscaping in the form of vegetation.

New Development: shall be all development that substantially modified or built after the adoption of this Code.

Nursing, supervision, and other rehabilitation services: shall include inpatient nursing and rehabilitative services and can accommodate patients for extended care. This category shall also include convalescent homes, convalescent hospitals, inpatient care hospices, nursing homes, and rest homes with nursing care are a few examples of services these establishments provide. This category also includes mental retardation services (not licensed hospital care) to people with mental illness, substance abuse problems, psychiatric convalescent needs, etc. The focus of these services may include health care, but the primary purpose is protective supervision and counseling.

Patio is an outdoor space for dining or recreation that adjoins a residence and is often paved. It may also be a roofless inner courtyard within a residence, typically found in Spanish and Spanish-style dwellings.



Image of a patio

Pedestrian Priority Street means the streets identified as such on the Regulating Plan. Pedestrian Priority Streets are the primary pedestrian streets with the development context set to the highest standard of pedestrian-oriented design.

Playgrounds are open spaces designed and equipped for the recreation of children. These playgrounds should serve as quiet, safe places -- protected from the street and typically located where children do not have to cross major to access. Playgrounds may be fenced. An open shelter, play structures or interactive art and fountains may be included with landscaping between. Shaded areas and seating shall be provided. Playground equipment and design must be reviewed and approved by the City prior to installation. A larger playground may be incorporated into the park, whereas a more intimate playground may be incorporated into the green.



Images of playgrounds

Private Open Space Amenity shall be any other private open space that could include a pool (swimming, lap pool, spa area), play courts (basket ball), or picnic areas with shade structures.

Retail Sales: Retail establishments are the final step in the distribution of merchandise. They are organized to sell in small quantities to many customers. Establishments in stores operate as fixed point-of-sale locations, which are designed to attract walk-in customers. Retail establishments often have displays of merchandise and sell to the general public for personal or household consumption, though they may also serve businesses and institutions. Some establishments may further provide after-sales services, such as repair and installation. Included in, but not limited to this category, are durable consumer goods sales and service, consumer goods, other grocery, food, specialty food, beverage, dairy, etc, and health and personal services.

Residential Building means a building type that is built to accommodate only residential uses on all floors of the building such as townhomes, apartment buildings, duplexes, etc. *Roof terraces* are flat areas on top of a building which are accessible for use as a recreation space for the residents and users of the building.



Image of a roof terrace

Service Uses: This is a category for limited personal service establishments which offer a range of personal services that include (but not limited to) clothing alterations, shoe repair, dry cleaners, laundry, health and beauty spas, tanning and nail salons, hair care, etc.

Sign, Building Blade: is a pedestrian-oriented sign that is affixed perpendicular to the corner of a building or along the front façade of a building above the ground floor to provide identification for the whole building.



Image of a Building Blade Sign

Sign, Tenant Blade: is a smaller pedestrian-oriented sign that is affixed perpendicular to the building façade under a canopy or awning or immediately over a tenant space and provides identification for individual tenants within a building.



Image of a Tenant Blade Signs

Sign, Freestanding: shall include both permanent and temporary signs placed within a building's front yard. Freestanding signs may be Pole or Monument Signs.

Sign, Marquee: is a sign structure placed over the entrance to a theatre or other public gathering venue. It has signage stating either the name of the establishment or, in the case of theatres or other public venues, the name of the event, artist, and other details of the event appearing at that venue. The marquee is often identifiable by a surrounding cache of light bulbs, usually yellow or white, that flash intermittently or as chasing lights. Marquee signs may often be combined with Building Blade signs.



Image of a Marquee sign with a Building Blade Sign

Sign, Monument: is any freestanding sign which is connected to the ground and which has no clear space for the full width of the sign between the bottom of the sign and the surface of the ground. A monument sign may include a sign face and sign structure, and may also include a sign base and



Image of a Monument Sign

Sign, Sandwich Board: is a portable sign consisting of two panels of equal size, which are hinged at the top or one panel with a support and placed on the ground or pavement so as to be self-supporting.



Images of sandwich board signs.

Special Development Plan: shall be any request to modify any standards the PBED including the Regulating Plan and other sections of the code that are not considered a Design Exception.

Street Screen: a freestanding wall or living fence built along the frontage line or in line with the building façade along the street. It may mask a parking lot or a loading/service area from view or provide privacy to a side yard and/or strengthen the spatial definition of the public realm.



Image of a combination masonry and living street screen

Transition Zones: are the areas with specific adjacencies within which certain limitations on building heights apply as established for each Frontage Type.

Zoning District Map: is a Zoning Map that shows the Character Zones, Street Types, Frontage Types, Civic Spaces, and other requirements applicable to the Padre Boulevard and Entertainment District subject to the standards in this Code.