

**NOTICE OF REGULAR MEETING  
OF SOUTH PADRE ISLAND  
SHORELINE TASK FORCE**

**NOTE: One or more members of the City of South Padre Island City Council may attend this meeting; if so, this statement satisfies the requirements of the OPEN MEETINGS ACT.**

NOTICE IS HEREBY GIVEN THAT THE SHORELINE TASK FORCE OF THE CITY OF SOUTH PADRE ISLAND, TEXAS, WILL HOLD A MEETING ON:

**TUESDAY, APRIL 9, 2019  
3:00 P.M. AT THE MUNICIPAL BUILDING,  
CITY COUNCIL CHAMBERS, 2<sup>ND</sup> FLOOR  
4601 PADRE BOULEVARD, SOUTH PADRE ISLAND, TEXAS**


1. Call to Order.
2. Pledge of Allegiance.
3. Public Comments and Announcements: *This is an opportunity for citizens to speak to Task Force relating to agenda or non-agenda items. Speakers are required to address the Shoreline Task Force at the podium and give their name before addressing their concerns. [Note: State law will not permit the Shoreline Task Force to discuss, debate, or consider items that are not on the agenda. Citizen Comments may be referred to City Staff or may be placed on the agenda of a future Shoreline Task Force meeting.]*
4. Approval of the minutes of the February 26, 2019 meeting.
5. Discussion and action to recommend to City Council the approval of a Beach and Dune Permit to construct a single-family residence with associated amenities located at 8414 Breakers Boulevard South Padre Island, Texas (Boburka).
6. Discussion and action to select and move forward with potential projects and improvements based upon the Shoreline Master Plan (Boburka).
7. Discussion and possible action on dog water fountains at the City's beach accesses (Boburka).
8. Discussion and possible action on improvements to ensure our beach and dune ecosystem is well protected (Wall).
9. Discussion on Mobi-Mat maintenance (Wall).
10. Adjournment.

DATED THIS THE 4<sup>TH</sup> DAY OF APRIL 2019.

  
Susan Hill, City Secretary

I, THE UNDERSIGNED AUTHORITY, DO HEREBY CERTIFY THAT THE ABOVE NOTICE OF MEETING OF THE SHORELINE TASK FORCE OF THE CITY OF SOUTH PADRE ISLAND, TEXAS IS A TRUE AND CORRECT COPY OF SAID NOTICE AND THAT I POSTED A TRUE AND CORRECT COPY OF SAID NOTICE ON THE BULLETIN BOARD AT CITY HALL/MUNICIPAL BUILDING ON **APRIL 4, 2019** AT/OR BEFORE **5:00 P.M.** AND REMAINED SO POSTED CONTINUOUSLY FOR AT LEAST 72 HOURS PRECEDING THE SCHEDULED TIME OF SAID MEETING.



  
Susan Hill, City Secretary

THIS FACILITY IS WHEELCHAIR ACCESSIBLE, AND ACCESSIBLE PARKING SPACES ARE AVAILABLE. REQUESTS FOR ACCOMMODATIONS OR INTERPRETIVE SERVICES MUST BE MADE 48 HOURS PRIOR TO THIS MEETING. PLEASE CONTACT BUILDING OFFICIAL, DAVID TRAVIS; ADA DESIGNATED RESPONSIBLE PARTY AT (956) 761-8103.

**MINUTES OF REGULAR MEETING  
OF SOUTH PADRE ISLAND  
SHORELINE TASK FORCE**

**TUESDAY, FEBRUARY 26, 2019**

**1. Call to Order.**

The Shoreline Task Force of the City of South Padre Island, Texas held a meeting on Tuesday, February 26, 2019, at the Municipal Complex Building, 2nd Floor, 4601 Padre Boulevard, South Padre Island, Texas. Chairman Neil Rasmussen called the meeting to order at 3:00 p.m. A quorum was present with the following Task Force Members in attendance: Chairman Neil Rasmussen, Vice-Chairman Virginia Guillot, Stormy Wall, Robert Nixon, Abbie Mahan, and Patrick McNulty.

Mayor Pro-Tem Ken Medders along with City Council member Eva Jean Dalton were present. City staff members present included Interim City Manager Randy Smith, Assistant City Manager Darla Jones, Shoreline Director Brandon Hill, and Coastal Resource Manager Kristina Boburka.

**2. Pledge of Allegiance.**

Chairman Neil Rasmussen led the Pledge of Allegiance.

**3. Public Comments and Announcements.**

There were none received.

**4. Approval of the minutes of the January 28, 2019 meeting.**

Task Force Member Guillot, seconded by Task Force Member Mahan, moved to approve the meeting minutes as submitted. Task Force Member Nixon abstained; motion carried unanimously.

**5. Discussion and action to recommend to City Council the approval of a Beach and Dune Permit for 2100 Gulf Boulevard South Padre Island, Texas.**

Task Force Member Rasmussen opened with discussing one of the Shoreline Task Force's goals to build a more resilient beach by eliminating or reducing the amount of cuts in the dune system.

Task Force Member McNulty motioned to approve the permit as it was submitted, and was seconded by Task Force Member Mahan. Task Force Member Rob noted that in addition to the motion stated, would like the property to make sure the vegetation in the area grows back so the dune can grow underneath the ramp and along the walkway.

The manager of 2100 Gulf Boulevard stated the proposed project is only to cover the stairs that are presently there to make their private access ADA compliant. In response, Task Force Member Wall stated their recommendation to connect with the public access that is there is only based on their recent decision to build a more resilient dune system.

With a 4:2 vote, the motion carried.

**6. Discussion and action to select and move forward with potential projects and improvements based upon the Shoreline Master Plan.**

Shoreline Director Brandon Hill explained that not all matrices were turned in and offered to give the Shoreline Task Force additional time to review and make their decisions. The motion was made to table the item until the next meeting and carried unanimously.

**7. Discussion and possible action on the proposed 2019 Beach User Fee Plan.**

Shoreline Director Brandon Hill stated that City staff decided to cancel the public meeting for February 28 to allow for more preparation time. He offered that instead of presenting continuously, as was recommended, to create a video that would be played with all relevant information in the EOC room. He also noted that Michael Gray, the City Marshal for the City of Galveston, is interested in attending as well to provide his knowledge on paid parking.

Task Force Member Nixon motioned to move forward with an amendment to the Beach Management Plan and to submit to the Texas General Land Office. This amendment would remove the paid parking aspect, but contain the correct number of parking spaces the City currently has in order to be in compliance with the GLO. At a future date, the Beach User Fee Plan will be revisited. This was seconded by Task Force Member Guillot; motion carried unanimously.

**8. Adjournment.**

There being no further business, Chairman Rasmussen adjourned the meeting at 3:33 p.m.

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Kristina Boburka, Coastal Resource Manager

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Neil Rasmussen, Chairman



**CITY OF SOUTH PADRE ISLAND  
CITY COUNCIL MEETING AGENDA  
REQUEST FORM**

**MEETING DATE:** April 9, 2019

**NAME & TITLE:** Kristina Boburka, Interim Shoreline Director

**DEPARTMENT:** Shoreline Department

**ITEM**

Discussion and action to recommend to City Council the approval of a Beach and Dune Permit to construct a single-family residence with associated amenities located at 8414 Breakers Boulevard South Padre Island, Texas

**ITEM BACKGROUND**

The applicant proposes the construction of a single-family residence, which will not have an access point to the beach. A mitigation plan of the damaged dune area is in place.

**BUDGET/FINANCIAL SUMMARY**

None.

**COMPREHENSIVE PLAN GOAL**

Chapter III. Parks and Resources

GOAL 1: The City shall ensure protection and conservation of natural resources, such as beaches, dunes, wetlands, Laguna Madre waterfront and native flora and fauna, allowing for their sustainable use and enjoyment by future generations.

Objective 1.1 Beach and dunes shall be protected from both natural and artificial erosion.

**LEGAL REVIEW**

Sent to Legal:	YES: _____	NO: <u>  X  </u>
Approved by Legal:	YES: _____	NO: _____

Comments:

**RECOMMENDATIONS/COMMENTS**

Staff recommends the approval.



# Beach & Dune Application

City of South Padre Island  
4601 Padre Blvd.  
South Padre Island, TX 78597  
Phone: (956) 761-3044  
Fax: (956) 761-3898

## Site for Proposed Work

Legal Description: Lot 4, Block 4, The Shores Subdivision, Phase One, Section Two Physical Address: 8414 ~~XXXX~~ Breakers Blvd

## Property Owner Information

Name: Stan Richards  
Mailing Address: 2801 North Central Expressway, Suite 100  
City: Dallas State: Tx  
Zip: 75204 Country: United States  
Phone Number: (214) 912-2098  
Fax Number: \_\_\_\_\_  
E-Mail Address: \_\_\_\_\_

## Applicant / Agent for Owner

Name: Daniel de la Cruz  
Mailing Address: 164 Barcelona Ave.  
City: Brownsville State: Tx  
Zip: 78526 Country: United States  
Phone Number: (956) 533-1881  
Fax Number: \_\_\_\_\_  
E-Mail Address: \_\_\_\_\_

I / We, owners of the above-mentioned property, authorize the applicant stated above, to act in my behalf in order to acquire a Beach and Dune permit for the construction proposed below. (Owner initials here)

Owner(s) Signature(s): [Signature]  
Date: 2/11/19

Applicant Signature: [Signature]  
Date: 2/8/19

## Project Description

Describe with as much as detail as possible, the construction proposed. If more room is needed, please include an additional page. Include the number of habitable units, amenities, swimming pools, fences, kinds of fences, whether footings and/or retaining walls will be installed, and locations of proposed landscaping and parking.

Single family home with a footprint of 2632 sq ft. Floor plans provided (Exhibit A).

Total Square Footage of Footprint of Habitable Structure: 2632

Total Area of Impervious Surface (i.e. retaining walls, walkways, drives, patios, etc.): 2632

Percentage Impervious Surface ((impervious surface / habitable footprint)\* 100): 100%

Please Note: the percentage of impervious surface cannot exceed 5% in an eroding area.

Approximate Duration of Construction: 12 months

### Mitigation Plan

Describe the methods which you will use to avoid, minimize, mitigate and/or compensate for any adverse effects on dunes or dune vegetation.

Explanation / Other Information: Existing vegetation will be relocated as per mitigation plan provided (Exhibit C).

#### Financial Plan for Dune Mitigation:

If required by the City Council, a financial guarantee (irrevocable letter of credit or a performance bond, etc.) may be necessary to insure the mitigation of dunes/dune vegetation takes place as proposed and required of the applicant.

Type of Plan Submitted: Owner Finance

Date of Submission: \_\_\_\_\_

### Checklist of Additional Required Application Information

#### An accurate map, plat or site plan showing:

- ☒ 1. Legal description of the property (lot, block, subdivision) and the immediately adjoining property.
- ☒ 2. Location of all existing structures - including the habitable and inhabitable structures, swimming pools, decks, fences, parking areas, landscape areas, etc.
- ☒ 3. Location of the Historical Building Line on the subject property and the extension of the line on the properties immediately adjoining the subject property to the north and to the south. **Exhibit C**
- ☒ 4. Location and elevation of existing retaining walls - both on the subject property and those properties immediately adjoining the subject property to the north and to the south.
- ☒ 5. Location of proposed structure(s) - If proposing the construction of a retaining wall, please also include the proposed elevation of the retaining wall.
- ☒ 6. Location of proposed driveways, parking areas (showing the # of proposed parking spaces) and landscape areas.
- ☒ 7. Location of all existing and proposed beach access paths and/or dune walkovers.
- ☒ 8. Location and extent of any man-made vegetated mounds, restored dunes, fill activities, or any other pre-existing human modifications on the tract.
- ☒ 9. Topographical survey of the site identifying all elevations, existing contours of the project area (including dunes and scales) and the proposed contours of the final grade. **Exhibit G**

#### Other required application information:

- ☒ 1. A grading and layout plan showing proposed contours for the final grade. **Exhibit B**
- ☒ 2. The floor plan(s) and elevation(s) of the structure proposed to be constructed or expanded. **Exhibit A**
- ☒ 3. Photographs of the site which clearly show the current location of the vegetation line & existing dunes on the tract within the last 6 months. **Exhibit D**
- ☒ 4. Copy of the Flood Rate Map showing the location of the subject property. (FEMA.GOV - Map Search) **Exhibit E**
- ☒ 5. Copy of the Historical Erosion Rate Map as determined by the University of Texas at Austin, Bureau of Economic Geology. (beg.utexas.edu) **Exhibit F**
- ☒ 6. Application Fee of \$180 for Staff Approved applications and \$300 for City Council Approved applications.

**Your application is not complete unless all information requested above is submitted.**

**Application submissions require only three (3) copies of the complete information plus a digital copy.**

### Financial Plan for the Removal of All Hard Structures

All properties which are allowed to build retaining walls on their property are allowed to do so with the condition that a financial plan for the removal of the retaining wall is submitted to the Public Works Department of the City of South Padre Island. Removal of the retaining wall at the owner's expense may be required if/once the retaining wall comes into regular contact with wave action for twenty (20) out of thirty (30) consecutive days. The City accepts the submission of a Retaining Wall Covenant, or other financial guarantee, insuring the removal of the retaining wall if the required conditions are met.

Type of Plan Submitted: \_\_\_\_\_

N/A

Date Submitted: \_\_\_\_\_

### Drainage

Describe the impact that the proposed construction will have on the natural drainage pattern on the site and adjacent lots.

☒ No change in the drainage on site.

☐ The proposed construction will change the grading and the drainage on the subject property. (An explanation will be required detailing where the water will drain.)

Explanation / Other Information: \_\_\_\_\_

### Impacts to Beach / Dune System

Answer each question as completely as possible in narrative form.

1. What damage will this proposed construction have on the dune vegetation located at the project site?

☒ No damage to dune vegetation whatsoever.

☐ The proposed construction will impact 100 % of the dune vegetation site. (An explanation of the "impact" will be required.)

☐ The proposed construction will require the removal and relocation of 100 % of the dune vegetation on site. (The submission of a mitigation plan will be required.)

Explanation / Other Information: \_\_\_\_\_

2. How will the proposed construction alter the dune size/shape at the project site?

☒ No change to dune size/shape whatsoever.

☐ The proposed construction will change \_\_\_\_\_ % of the size/shape of dunes on site. (Details will be required.)

☐ The proposed construction will require the removal and relocation of \_\_\_\_\_ % of the dunes on site. (The submission of a mitigation plan will be required.)

Explanation / Other Information: \_\_\_\_\_

3. How will the proposed construction change the hydrology of the dunes at the project site?

☐ No change to dune hydrology whatsoever.

☒ The proposed construction will impact dune hydrology on site. (Details will be required.)

Explanation / Other Information: Please see drainage plan provided (Exhibit B). \_\_\_\_\_

4. Describe alternatives to the proposed construction or method of construction which will cause fewer or no adverse effects on dunes and dune vegetation.

N/A

5. Describe alternatives to the proposed construction or method of construction which will cause fewer or no adverse impairment to beach access.

N/A

## MEMORANDUM

TO: Shoreline Task Force  
Natalie Bell, General Land Office  
FROM: Brandon N. Hill, Shoreline Director  
DATE: February 14, 2019  
RE: 8414 Breakers Boulevard, Lot 4, Block 4 The Shores Subdivision, Phase One, Section Two


The applicant has requested permission to build a single family home with a footprint of 2632 square foot. The applicant has provided a signed Beach and Dune Application, floor plan and site plan.

With consideration given to conformance with TAC regulations our preliminary determination is that:

1. The proposed activity will not reduce the size of the public beach. [TAC 15.5 (b)(1)]
2. The proposed activity does not appear to involve construction upon the public beach. [TAC 15.5 (c)(1)] The proposed activity will involve accessing private property from the public beach for the purpose on construction.
3. The proposed activity will not encroach upon the public beach. [TAC 15.5 (c)(1)]
4. The proposed activity will not close any existing public beach accesses within the area, nor will the construction close or prevent the use of any existing public beach parking spaces. [TAC 15.5 (d)(1)]

With consideration given to the City's *Dune Protection and Beach Renourishment and Access Plan* [B&D Ord. Section 22-10]:

1. The proposed activity will not result in the potential for increased flood damage to the subject property or adjacent properties.
2. The proposed activity will not result in run-off or drainage patterns that aggravate erosion on and off the site.
3. The proposed activity will cause no permanent changes to the existing dune hydrology east of the Historic Building Line.
4. The proposed activity will result in adverse effects on dune vegetation. These effects will be mitigated through the actions outlined in the attached application.
5. The proposed activity will not significantly increase the potential for washover or blowouts.

  
Brandon N. Hill



TEXAS GENERAL LAND OFFICE  
GEORGE P. BUSH, COMMISSIONER

March 4, 2019

Via Electronic Mail

Brandon Hill  
Director, Shoreline Management Department  
City of South Padre Island  
P.O Box 3410  
South Padre Island, Texas 78597-3410

**Beachfront Construction Certificate & Dune Protection Permit in the City of South Padre Island**

**Site Address:** 8414 Breakers Boulevard, South Padre Island  
**Legal Description:** Lot 4, Block 4, The Shores Subdivision, Phase I, Section II  
**Lot Applicant:** Stan Richards c/o Daniel de la Cruz  
**GLO ID No.:** BDSPI-19-0044

Dear Mr. Hill:

The General Land Office (GLO) has reviewed the application materials submitted for a dune protection permit and beachfront construction certificate for the above-referenced location. The applicant proposes to construct a single-family residence with associated amenities in an area landward of the Historic Building Line (HBL) and Setback Line (SBL). The applicant also proposes off-site compensation for adverse effects to 7,490 square feet of dune vegetation on common area tracts owned by The Shores subdivision in areas seaward of the HBL. The applicant proposes to plant 8,220 square feet of dune vegetation in the areas outlined on Exhibit C of the application materials. According to the Bureau of Economic Geology, the area is eroding at a rate of four to five feet per year.

Based on the materials forwarded to our office for review, we have the following comments:

- The City shall allow restoration of dune vegetation on the public beach no more than 20 feet seaward of the landward boundary of the public beach, or the line of vegetation. The City shall ensure that the 20-foot restoration area follows the natural migration of the vegetation line.<sup>1</sup>
- Construction activities must not impact the public's ability to access or use the beach.
- The applicant must restore or repair dune vegetation using indigenous vegetation that will achieve the same protective capability or greater capability as the surrounding natural dunes.<sup>2</sup>
- The proposed construction activities must minimize impacts on natural hydrology and not cause erosion of adjacent properties, critical dune areas, or the public beach.<sup>3</sup>

<sup>1</sup> 31 Tex. Admin. Code §15.7(e)(1).

<sup>2</sup> 31 Tex. Admin. Code §15.4(f)(3)(A)(iv).

<sup>3</sup> 31 Tex. Admin. Code § 15.6(g).

- The City must require the applicant to demonstrate that it has achieved a 1:1 ratio of the adverse effects upon successful, complete, and stabilized restoration prior to beginning construction.<sup>4</sup>
- The City shall include a condition in the permit which requires the permittee to notify the City in writing of the actual date of initiation of compensation within ten working days after compensation is initiated.<sup>5</sup>
- The City must require the applicant to conduct compensation efforts continuously until the dune vegetation is equal or superior to the pre-existing dune vegetation. These efforts shall include preservation and maintenance pending completion of compensation.<sup>6</sup>
- The City shall determine a mitigation and compensation project is complete when the dune restoration project's position, contour, volume, elevation, and vegetative cover have reached a level that matches or exceeds the surrounding naturally formed dunes.<sup>7</sup>
- The City shall provide written notification to the GLO after determining that the mitigation and compensation is complete. The GLO may conduct a field inspection to verify compliance.<sup>8</sup>
- The City must ensure the proposed construction is consistent with FEMA minimum requirements or with the FEMA-approved local ordinance.<sup>9</sup>
- Construction activities must not impact the public's ability to access or use the beach.

If you have any questions, please contact me by phone at (512) 463-0413 or by email at [natalie.bell@glo.texas.gov](mailto:natalie.bell@glo.texas.gov).

Sincerely, ~



Natalie Bell  
Manager, Beach Access & Dune Protection Program  
Coastal Resources Division  
Texas General Land Office

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<sup>4</sup> 31 Tex. Admin. Code § 15.4(f)(4)(B).

<sup>5</sup> 31 Tex. Admin. Code § 15.4(f)(4)(C)(vii).

<sup>6</sup> 31 Tex. Admin. Code § 15.4(g)(2).

<sup>7</sup> 31 Tex. Admin. Code § 15.4(g)(3).

<sup>8</sup> 31 Tex. Admin. Code § 15.4(g)(4).

<sup>9</sup> 31 Tex. Admin. Code § 15.6 (e)(3).







12.22.18

cunninghamarchitects

918 Dragon Street, Dallas, Texas 75207 • V.214.915.0900 • I.214.915.0901

**RICHARD'S BEACH HOUSE**  
84xx BREAKERS BLVD  
SOUTH PADRE ISLAND, TEXAS 78597

ISSUED  
11.16.18  
12.22.18

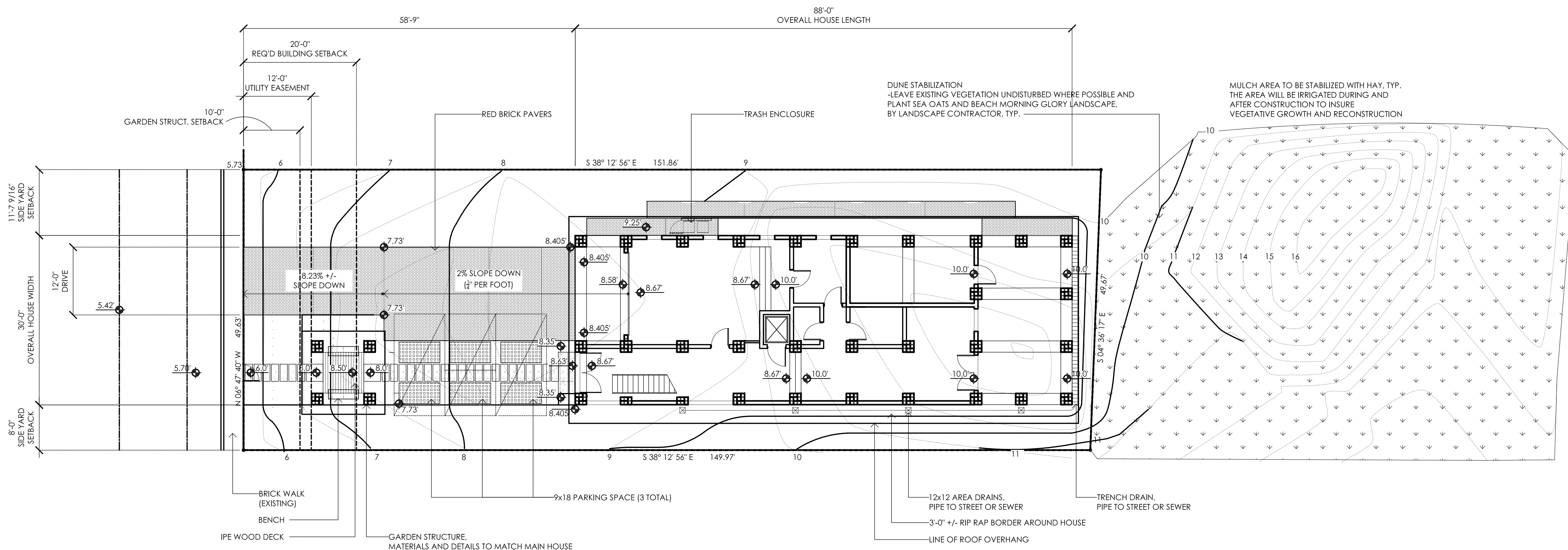
REVIEW

DRAWING TITLE

SITE PLAN

SHEET NO.

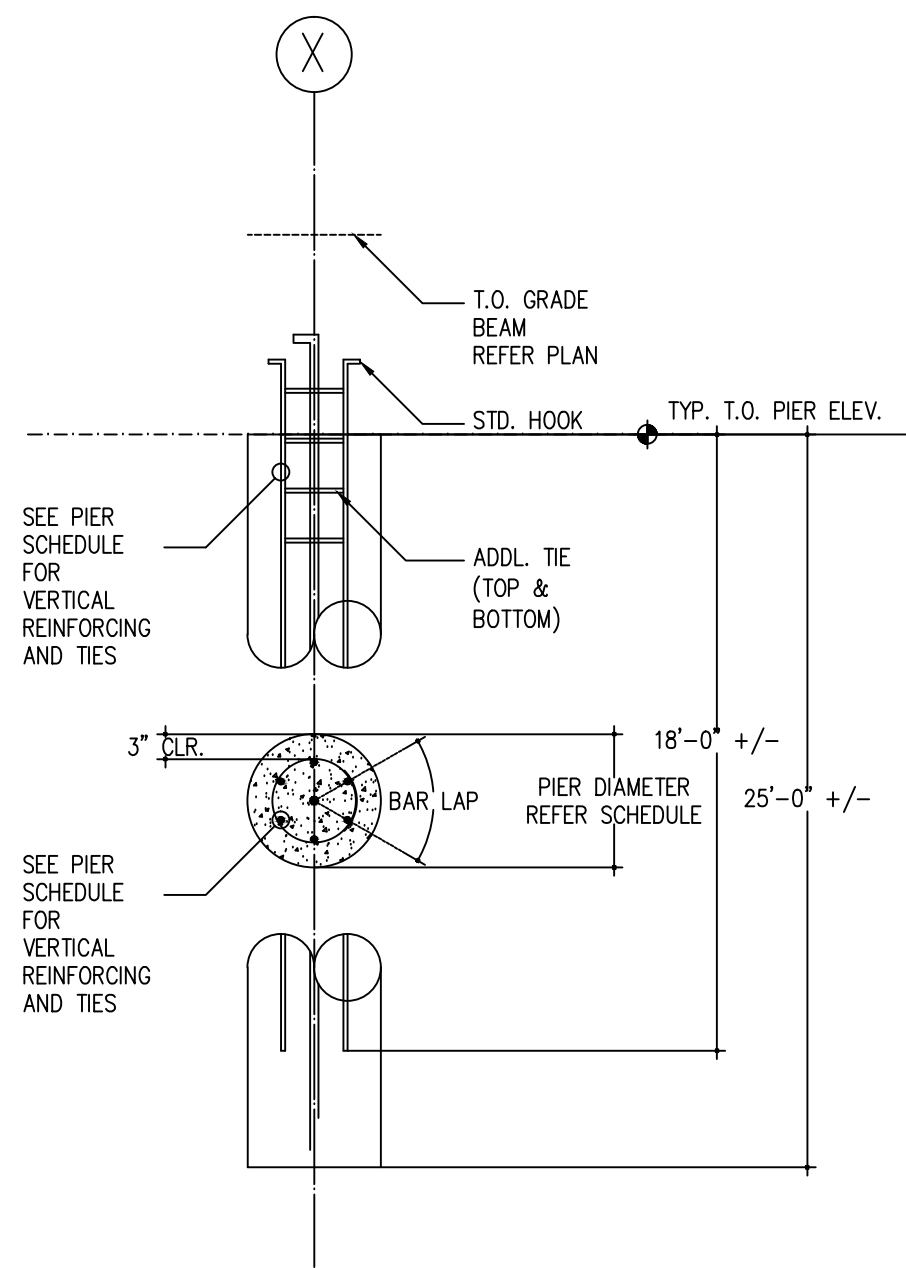
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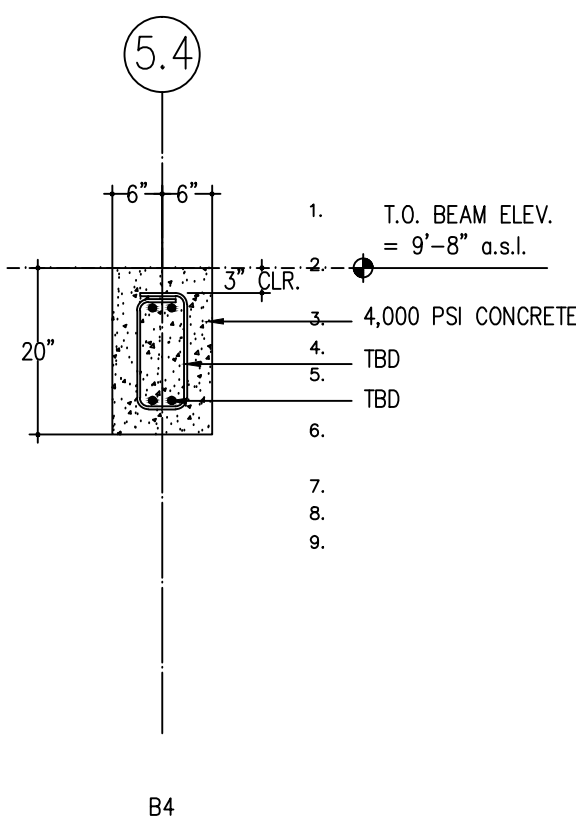
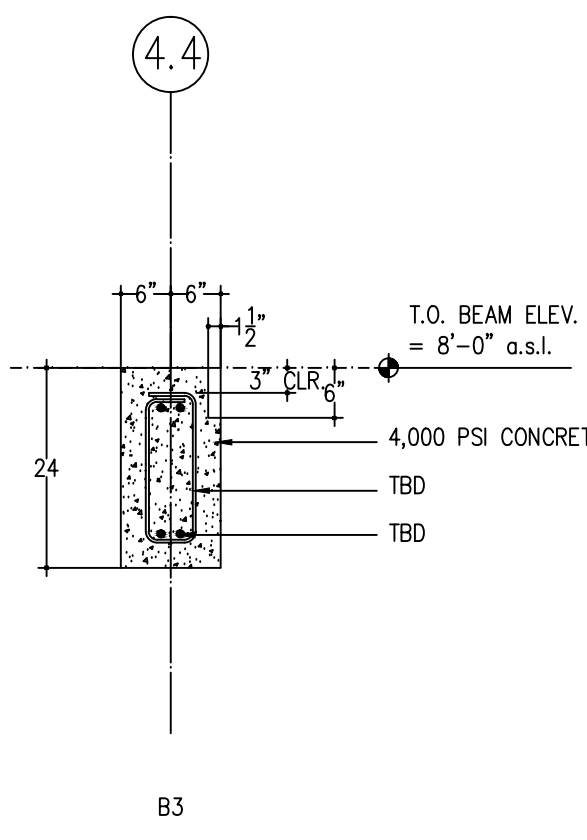
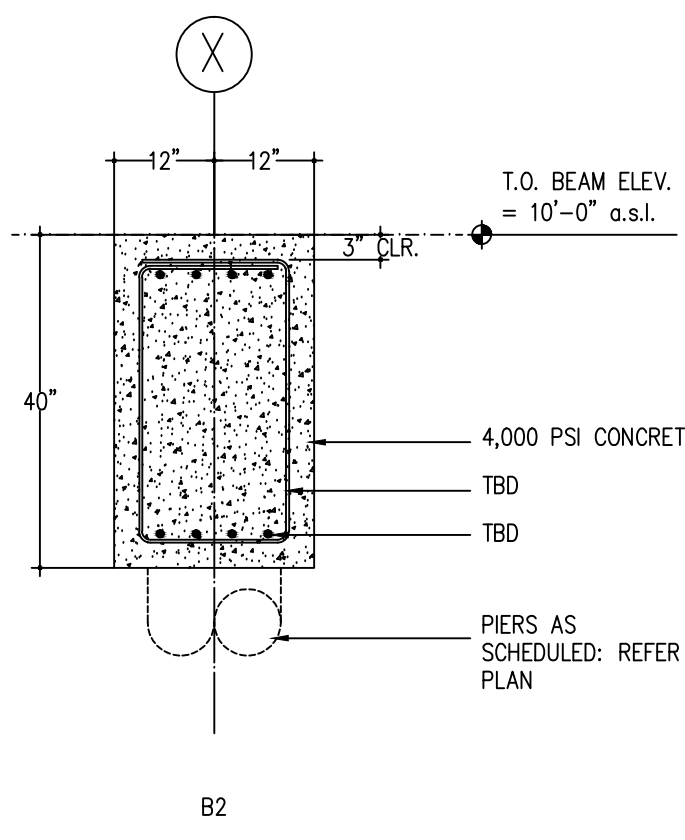
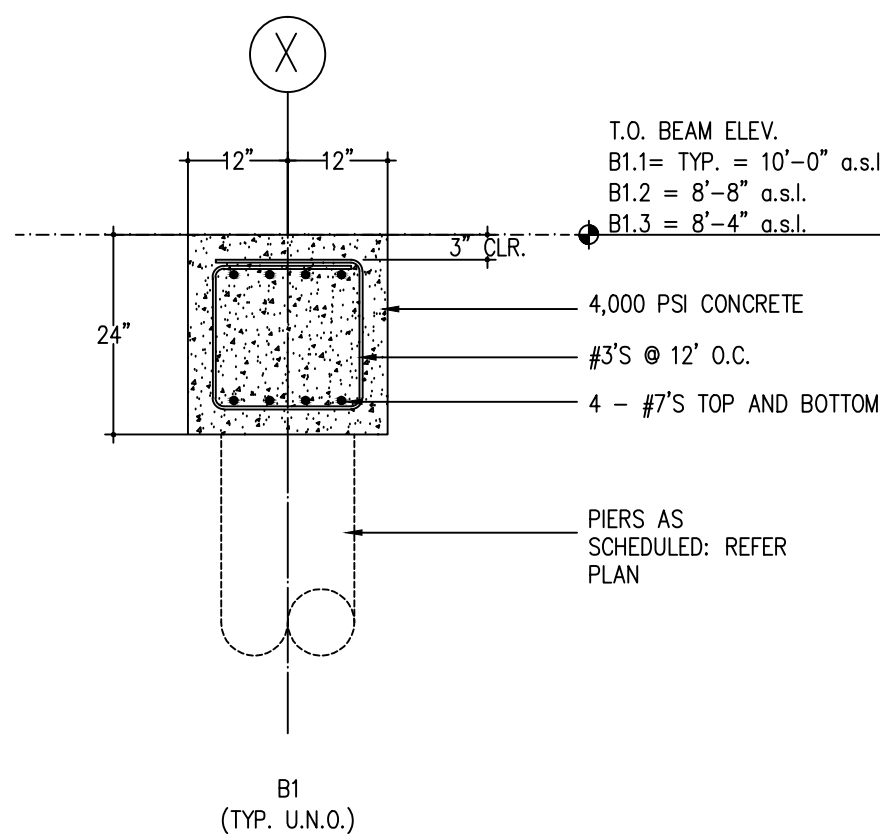
1 SITE PLAN  
3/32" = 1'-0"

Exhibit A





PIER SCHEDULE				
MARK	DIAMETER (IN.)	REINFORCING		NOTES
		VERTICALS	TIES	
TBD	16"	6 - #6 1 - #9 FULL DEPTH	#4 @ 12" O.C	4,000 P.S.I. CONCRETE TYP. T.O. PIER ELEV. = TBD



GENERAL NOTES

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- ---
- ---

LEGEND

- GENERAL NOTES:
- Coordinate foundation plans and mechanical drawings, for all openings, inserts and other related items.
- The contractor shall verify field dimensions and conditions before commencing. Engineer shall be notified off conflicts or discrepancies.
- Concrete compressive strength shall be a minimum of 3000 PSI @ 28 days.
- Five sacks min. of cement (94 lbs./sack) required per cubic yard.
- Water cement ratio shall be a maximum of 0.60 addition of water on site is not permitted, workability shall be controlled by addition of a water reducing admixture.
- Reinforcing deformed bars shall be grade 60 new billet steel (#3 bars may be grade 40) placing and bending of bars shall conform to A.C.I. standards.
- Use of heat to bend bars is not permitted.
- Rebars shall be placed in strict accordance with plans.
- Area should be striped oil vegetation and topsoil and the exposed sub grade shall be scarified to a depth of at least 8" removing all soft spots necessary.
10. Concrete shall be membrane or moisture cured for at least 7 days.
11. Curing compound shall comply with A.S.T.M. C-309.
12. Forming of the slab and footing shall be strictly in accordance with plan.
13. The sub grade shall be recomacted to approximately ninety five (95%)percent of standard proctor density (A.S.T.M. D-698) at optimum moisture.
14. The fill material shall be placed in 8" lifts and shall have a plasticity index ranges of 7 to 17 a maximum liquid limit of 40, and shall be compacted to approximately 95% of standard proctor density at optimum moisture.
15. Corner bars shall be # 5 at all corners & # 5 @ all intersection - 1 top 1 bottom.

CONCRETE REINFORCEMENT:

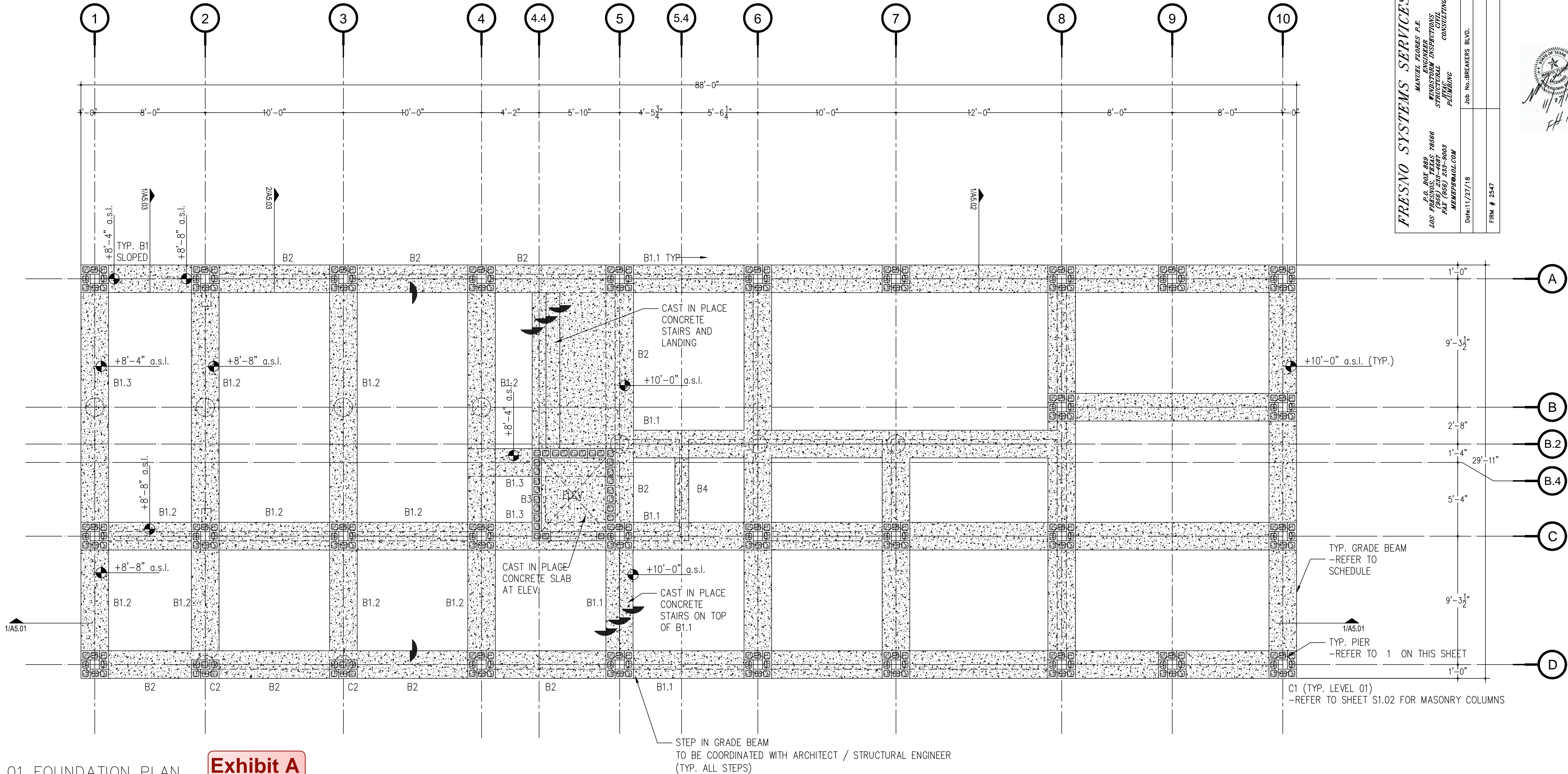
1. REINFORCING STEEL SHALL BE NEW DOMESTIC DEFORMED BILLET STEEL CONFORMING TO A.S.T.M. A-615, GRADE 60.
2. WELDED WIRE FABRIC SHALL CONFORM TO A.S.T.M. A-185.
3. REINFORCING BARS SHALL BE DETAILD IN ACCORDANCE WITH THE A.C.I. DETAILING MANUAL. PROVIDE BAR SUPPORTS AND SPACERS AS REQUIRED.
4. PROVIDE CORNER BARS AT ALL INTERSECTING REINFORCING MEMBERS IN WALLS AND BEAMS. CORNER BAR SHALL BE THE SAME SIZE AS THE LARGER INTERSECTION BAR AND SHALL PROVIDE A MINIMUM LAP OF 40 BAR DIAMETERS.
5. DETAILING OF REINFORCING BARS SHALL BE AS FOLLOWS:  
A. TOP AND BOTTOM BARS TO BE CONTINUOUS BETWEEN SUPPORTS.  
B. TOP BARS AT THE ENDS OF BEAMS TO HAVE STANDARD 90° HOOKS.  
C. SPLICE TOP BARS AT THE MID SPAN BETWEEN SUPPORTS.(U.N.O.)  
D. SPLICE BOTTOM BARS DIRECTLY OVER SUPPORTS. (U.N.O.)  
E. ALTERNATE SPLICES IN MIDDLE BARS BETWEEN SUPPORTS.  
F. ALL BAR SPLICES SHALL BE 40 BAR DIAMETERS MINIMUM.

CONCRETE MIX DESIGNS:

1. PROVIDE CONCRETE HAVING THE FOLLOWING GENERAL CHARACTERISTICS:  
28 DAY COMP. MAX  
USAGE STRENGTH PSI SLU MP(N) AGG. TYPE MAX SIZE  
ALL 3000 5 HARDROCK 3/4"
2. WORKABILITY ADMIXTURES MAY BE UTILIZED, PROVIDED THAT BATCH PROPORTIONS ARE DETERMINED IN THE MANNER DESCRIBED IN THE SPECIFICATIONS.
3. PROVIDE THREE PERCENT (3%) TO FIVE PERCENT(5%) AIR ENTRAINMENT IN CONCRETE PERMANENTLY EXPOSED TO THE WEATHER (AND ELSEWHERE AT THE CONTRACTORS OPTION). USE OF AIR ENTRAINMENT, AND CORRESPONDING REDUCTION OF THE W/C RATIO, MUST BE NOTED ON THE MIX DESIGNS.
4. USE OF ACCELERATING OR SET-RETARDING ADMIXTURES REQUIRES PRIOR APPROVAL FROM THE ENGINEER. IN GENERAL, USE OF CALCIUM CHLORIDE WILL NOT BE PERMITTED.
5. FLY ASH IS EXPRESSLY PROHIBITED.
6. WHERE GROUT IS CALLED FOR, USE A NON-SHRINK, NON-STAINING PREMIXED GROUT.

1 TYPICAL PIER DETAIL AND SCHEDULE  
1/2" = 1'-0"

2 GRADE BEAM DETAILS  
1/2" = 1'-0"



3 LEVEL 01 FOUNDATION PLAN  
1/4" = 1'-0"

Exhibit A

<b>FRESNO SYSTEMS SERVICES</b>	
MANUEL ROBLES P.E.	
ENGINEER	
STRUCTURAL DEPARTMENTS	
CIVIL CONSULTING	
PLANNING	
1001 P.O. BOX 886	
LOS ANGELES, CA 90008	
TEL (800) 233-0887	
TEL (800) 233-0003	
WWW.FSSE.COM	
Date: 11/27/18	Job No.: BREAKERS BLVD.
FIRM # 2547	



cunninghamarchitects

RICHARD'S BEACH HOUSE  
84xx BREAKERS BLVD  
SOUTH PADRE ISLAND, TEXAS 78597

ISSUED  
11.16.18 REVIEW

DRAWING TITLE  
LEVEL 01  
FOUNDATION  
PLAN

SHEET NO.  
S1.01



**GENERAL NOTES**

- ALL WINDOWS ARE ANDERSON "A SERIES" STORM WATCH COASTAL IMPACT WINDOWS
- REFERENCE EXTERIOR ELEVATIONS FOR WELAND WINDOW FRENCH DOOR ALTERNATIVE AT EAST AND WEST FACADES

**LEGEND**

This drawing(s) and information are the property of cunningham architects. The drawing(s) or information depicted shall not be reproduced or used without written permission of the architect.

**NOT**

for regulatory approval, permitting or construction.

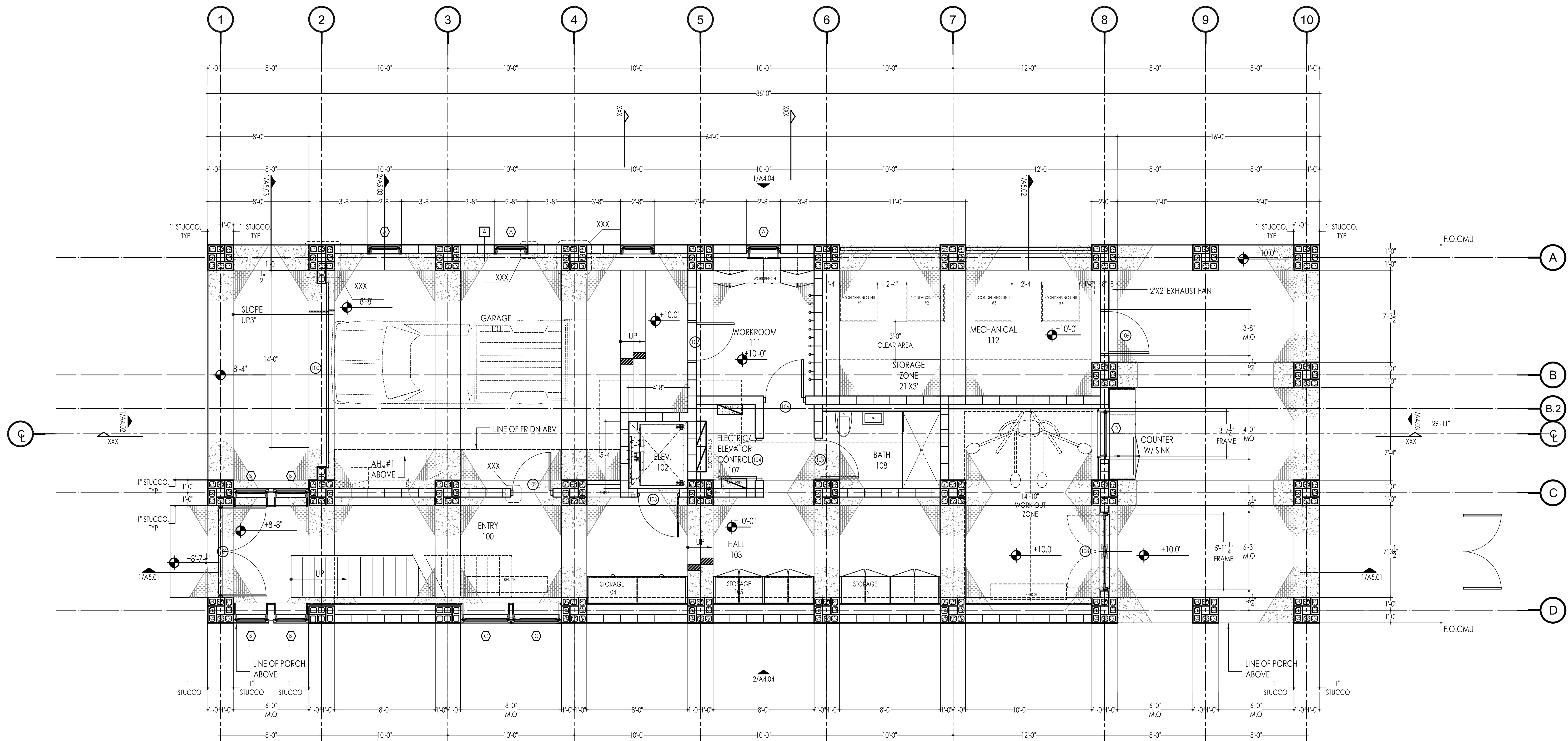
**cunninghamarchitects**  
918 Dragon Street, Dallas, Texas 75207 - v.214.915.0900 - 1.214.915.0901

**RICHARD'S BEACH HOUSE**  
84xx BREAKERS BLVD  
SOUTH PADRE ISLAND, TEXAS 78597

ISSUED 11.16.18 REVIEW

DRAWING TITLE  
FIRST FLOOR PLAN

SHEET NO.  
**A2.01**



**1**  
1/4" = 1'-0"

FIRST FLOOR PLAN

**Exhibit A**

LEVEL 1 GROSS SQUARE FOOTAGE=  
2642 SF INCLUDING PORCHES  
2000 SF EXCLUDING PORCHES  
832 SF AIR COND.

**NOT**  
for regulatory  
approval, permitting  
or construction.

**RICHARD'S BEACH HOUSE**  
84xx BREAKERS BLVD  
SOUTH PADRE ISLAND, TEXAS 78597

DRAWING TITLE

SECOND  
FLOOR PLAN

SHEET NO.

**A2.02**

### LEGEND

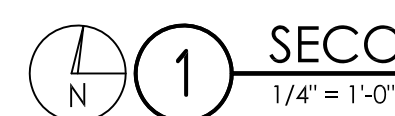


Exhibit A



**GENERAL NOTES**

- ALL WINDOWS ARE ANDERSON "A SERIES" STORM WATCH COASTAL IMPACT WINDOWS
- REFERENCE EXTERIOR ELEVATIONS FOR WEILAND WINDOW FRENCH DOOR ALTERNATIVE AT EAST AND WEST FACADES

**LEGEND**

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NOT

for regulatory approval, permitting or construction.

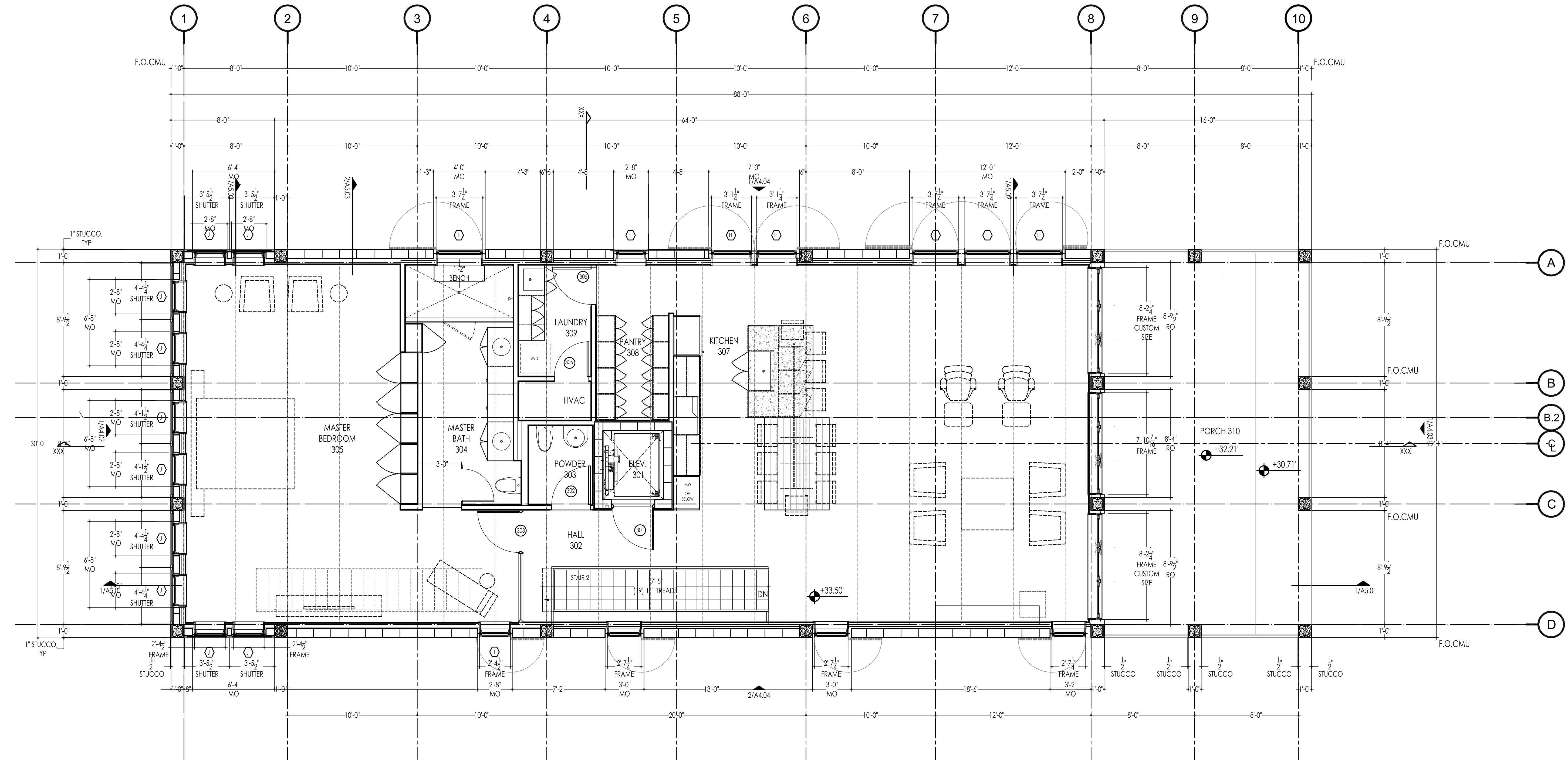
cunninghamarchitects  
918 Dragon Street, Dallas, Texas 75207 - v.214.916.0900 - 1.214.916.0901

**RICHARD'S BEACH HOUSE**  
84xx BREAKERS BLVD  
SOUTH PADRE ISLAND, TEXAS 78597

ISSUED  
11.16.18      REVIEW

DRAWING TITLE  
  
THIRD FLOOR PLAN

SHEET NO.  
**A2.03**



**1** THIRD FLOOR PLAN  
1/4" = 1'-0"

**Exhibit A**

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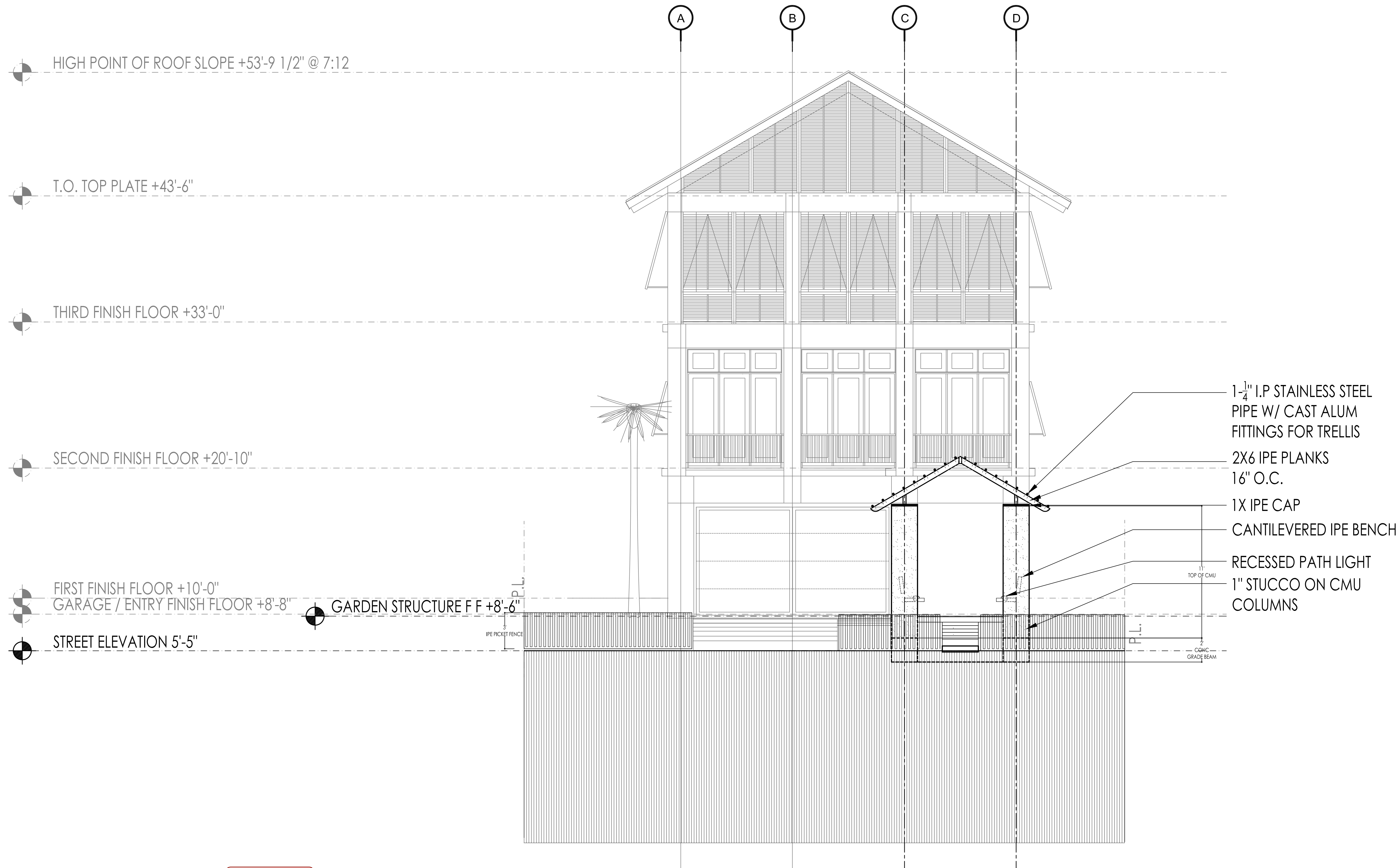
RICHARD'S BEACH HOUSE  
84xx BREAKERS BLVD  
SOUTH PADRE ISLAND, TEXAS 78597

ISSUED  
11.16.18 REVIEW

DRAWING TITLE  
EXTERIOR  
ELEVATIONS-  
ANDERSON  
BASE PRICE

SHEET NO.  
A4.01

- GENERAL NOTES**
- ALL WINDOWS ARE ANDERSON "A SERIES" STORM WATCH COASTAL IMPACT WINDOWS
  - EAST AND WEST FACADES HAVE WEILAND WINDOW & FRENCH DOORS AS ALTERNATES
  -
- LEGEND**



1 WEST ELEVATION GARDEN STRUCTURE  
1/4" = 1'-0"

Exhibit A

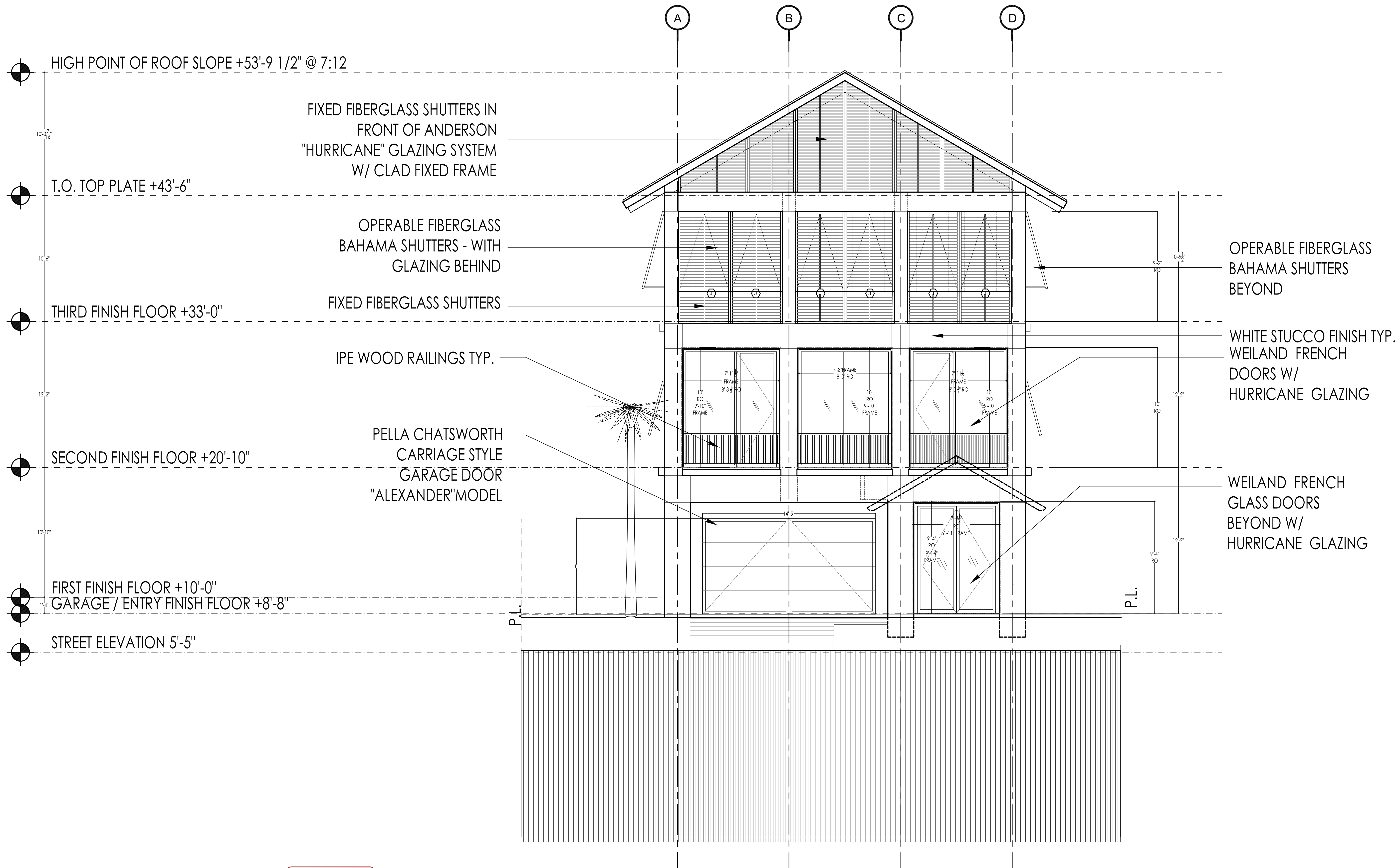




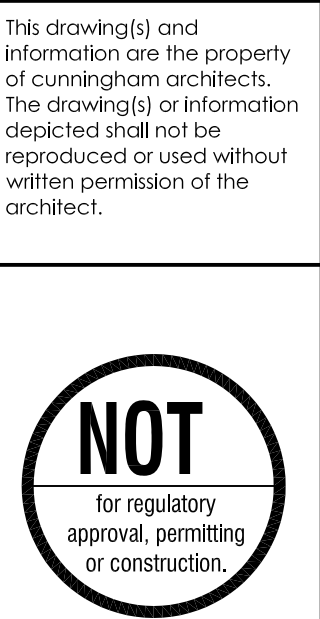
GENERAL NOTES

- ALL WINDOWS ARE ANDERSON "A SERIES" STORM WATCH COASTAL IMPACT WINDOWS
- EAST AND WEST FACADES HAVE WEILAND WINDOW & FRENCH DOORS AS ALTERNATES
- 

LEGEND



- GENERAL NOTES**
- ALL WINDOWS ARE ANDERSON "A SERIES" STORM WATCH COASTAL IMPACT WINDOWS
  - EAST AND WEST FACADES HAVE WEILAND WINDOW & FRENCH DOORS AS ALTERNATES
  - WEILAND FRENCH DOOR AT FRONT ENTRY & REAR ENTRY BASE PRICE
- LEGEND**



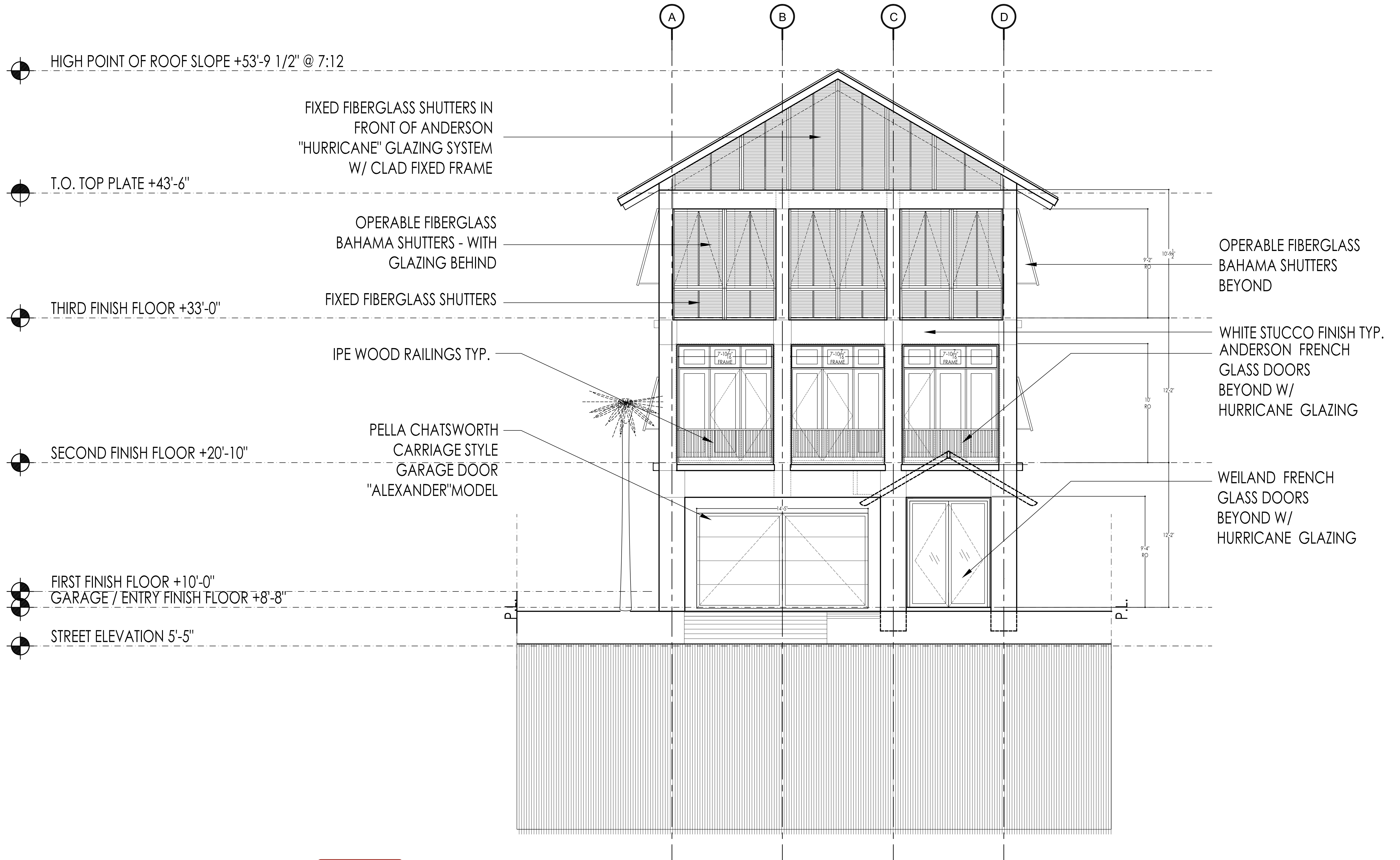
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**RICHARD'S BEACH HOUSE**  
84xx BREAKERS BLVD  
SOUTH PADRE ISLAND, TEXAS 78597

ISSUED

DRAWING TITLE  
EXTERIOR  
ELEVATIONS-  
ANDERSON  
BASE PRICE

SHEET NO.  
**A4.02.b**







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**RICHARD'S BEACH HOUSE**  
84xx BREAKERS BLVD  
SOUTH PADRE ISLAND, TEXAS 78597

ISSUED

DRAWING TITLE  
EXTERIOR ELEVATIONS- ANDERSON BASE PRICE

SHEET NO.  
A4.03.b

- GENERAL NOTES**
- ALL WINDOWS ARE ANDERSON "A SERIES" STORM WATCH COASTAL IMPACT WINDOWS
  - EAST AND WEST FACADES HAVE WEILAND WINDOW & FRENCH DOORS AS ALTERNATES
  -
- LEGEND**

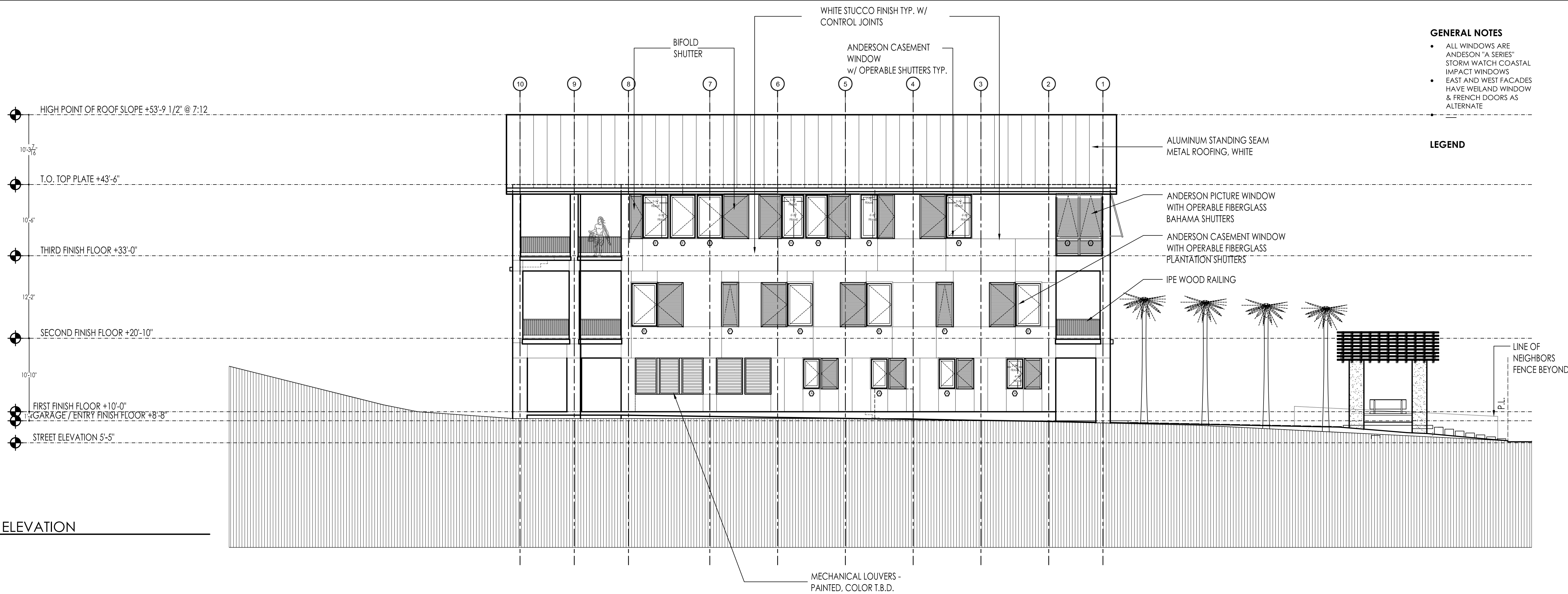




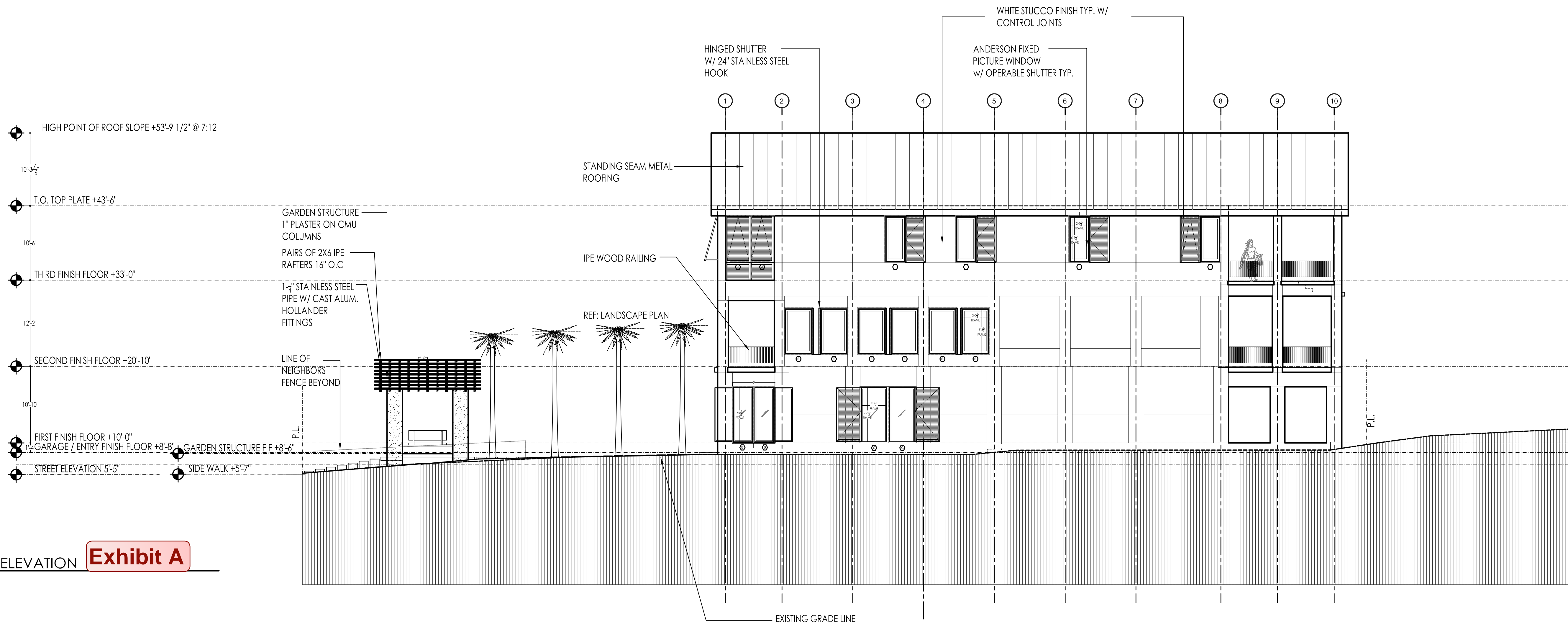
**GENERAL NOTES**

- ALL WINDOWS ARE ANDERSON "A SERIES" STORM WATCH COASTAL IMPACT WINDOWS
- EAST AND WEST FACADES HAVE WEILAND WINDOW & FRENCH DOORS AS ALTERNATE

**LEGEND**



**1 NORTH ELEVATION**  
1/8" = 1'-0"



**2 SOUTH ELEVATION**  
1/8" = 1'-0"

**Exhibit A**

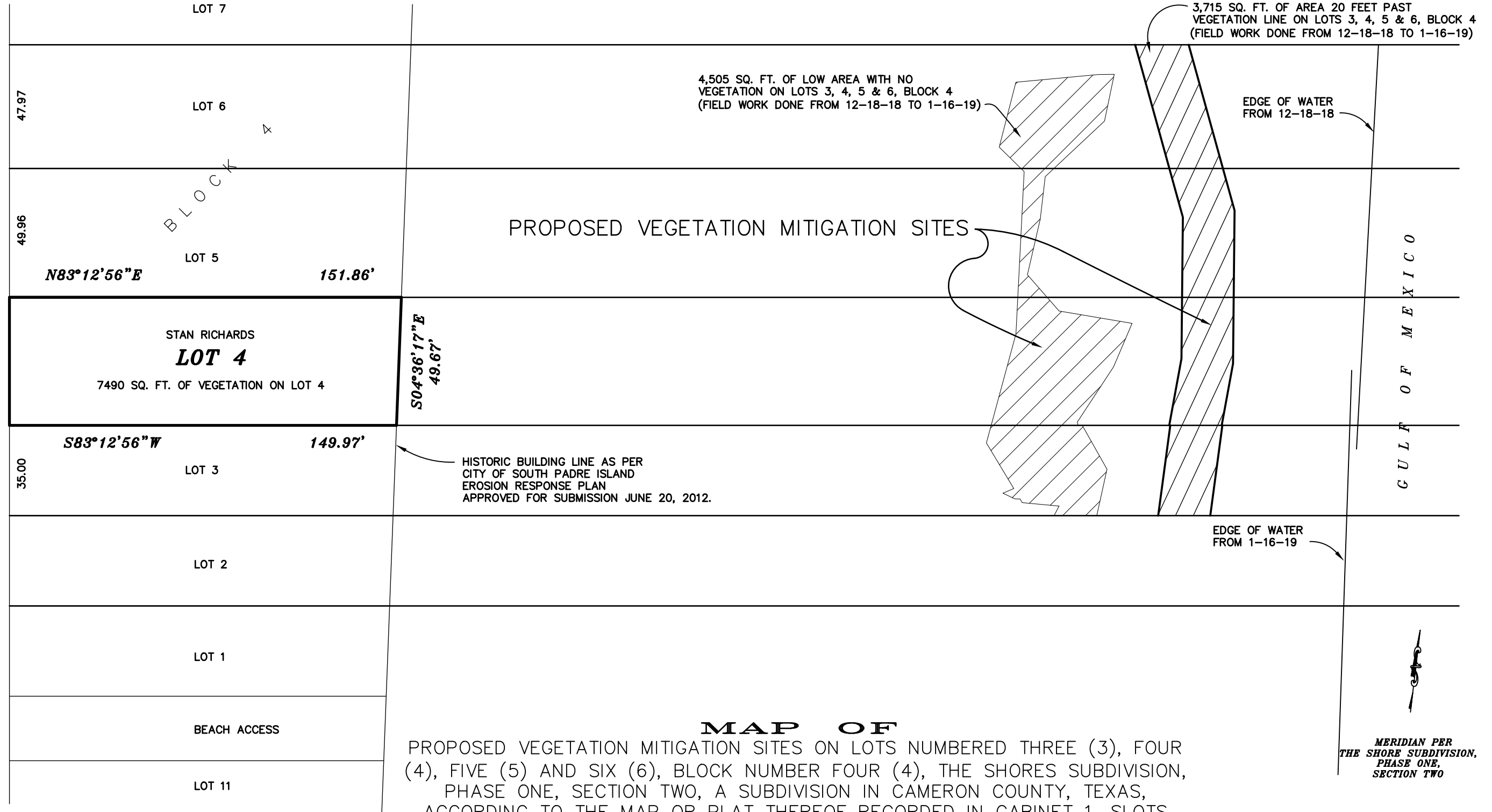






BREAKERS BOULEVARD (44 FT. R.O.W.)  
(EASEMENT FOR PRIVATE STREET & PUBLIC UTILITIES)

$N06^{\circ}47'04''W$   
49.63'



**MAP OF**  
PROPOSED VEGETATION MITIGATION SITES ON LOTS NUMBERED THREE (3), FOUR (4), FIVE (5) AND SIX (6), BLOCK NUMBER FOUR (4), THE SHORES SUBDIVISION, PHASE ONE, SECTION TWO, A SUBDIVISION IN CAMERON COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN CABINET 1, SLOTS 2220-B, 2221-A AND 2221-B, MAP RECORDS OF CAMERON COUNTY, TEXAS.

SCALE: 1" = 40'  
PREPARED FOR:

**STAN RICHARDS**

JANUARY 25, 2019

**Exhibit C**

MERIDIAN PER  
THE SHORE SUBDIVISION,  
PHASE ONE,  
SECTION TWO

**Mejia & Rose, Incorporated**

Engineering Surveying

T.B.P.E. Reg. No. F-2670  
1643 West Price Road (956) 544-3022

P.O. Box 3761 Brownsville, Texas 78520

Fax (956) 544-3068  
email: mandrinc@gmail.com

G.F. NO. N/A

JOB NO. 20617  
S.TROWBRIDGE



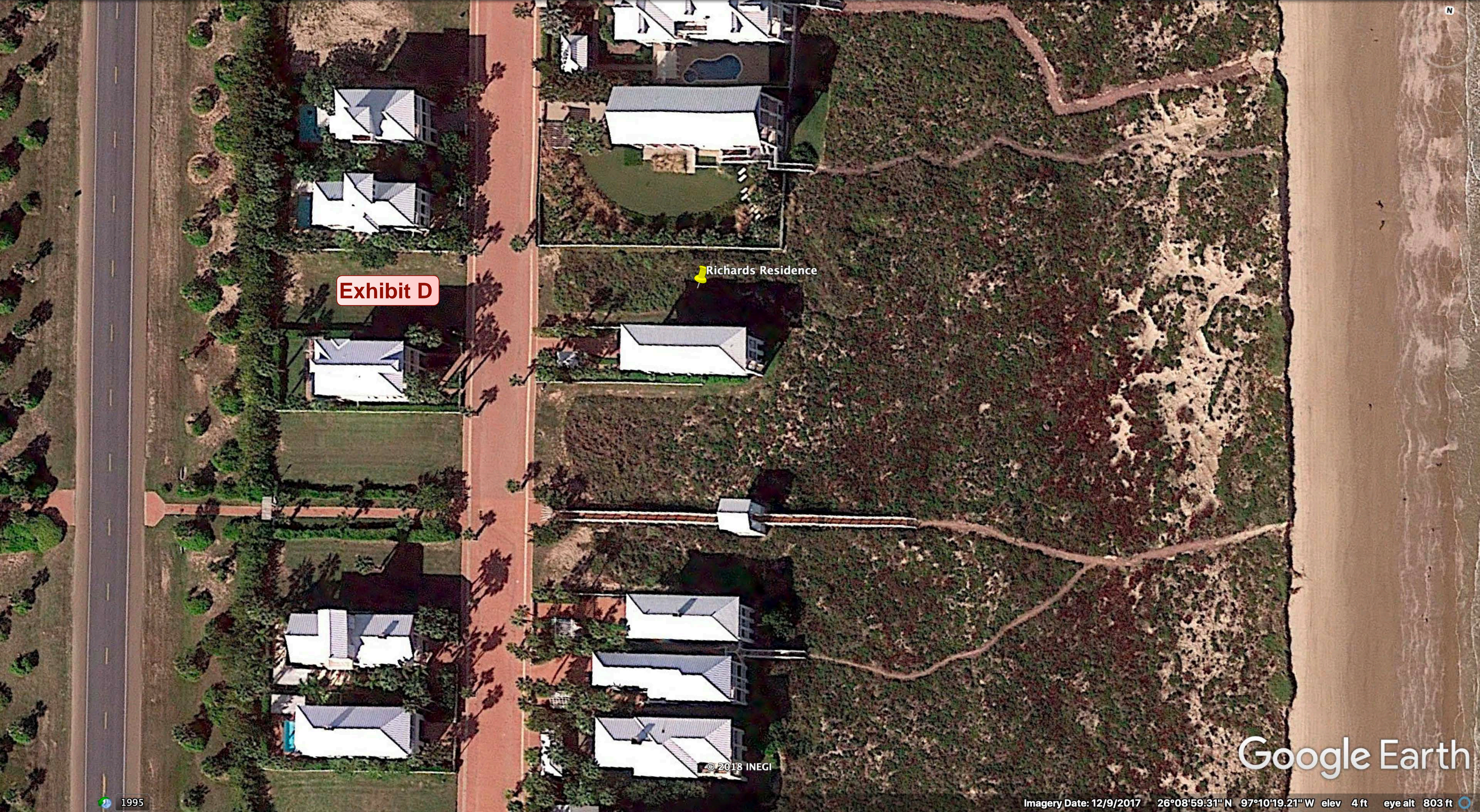


Exhibit D

Richards Residence

Google Earth



# National Flood Hazard Layer FIRMette



## Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, A99
		With BFE or Depth Zone AE, AO, AH, VE, AR
		Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee. See Notes. Zone X
		Area with Flood Risk due to Levee Zone D
OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard Zone X
		Effective LOMRs
		Area of Undetermined Flood Hazard Zone D
GENERAL STRUCTURES		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall
OTHER FEATURES		20.2 Cross Sections with 1% Annual Chance Water Surface Elevation
		17.5 Cross Sections with 1% Annual Chance Water Surface Elevation
		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
		Coastal Transect Baseline
MAP PANELS		Digital Data Available
		No Digital Data Available
		Unmapped



The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **2/8/2019 at 3:21:37 PM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



0 250 500 1,000 1,500 2,000 Feet 1:6,000

26°8'43.28"N

97°9'57.27"W

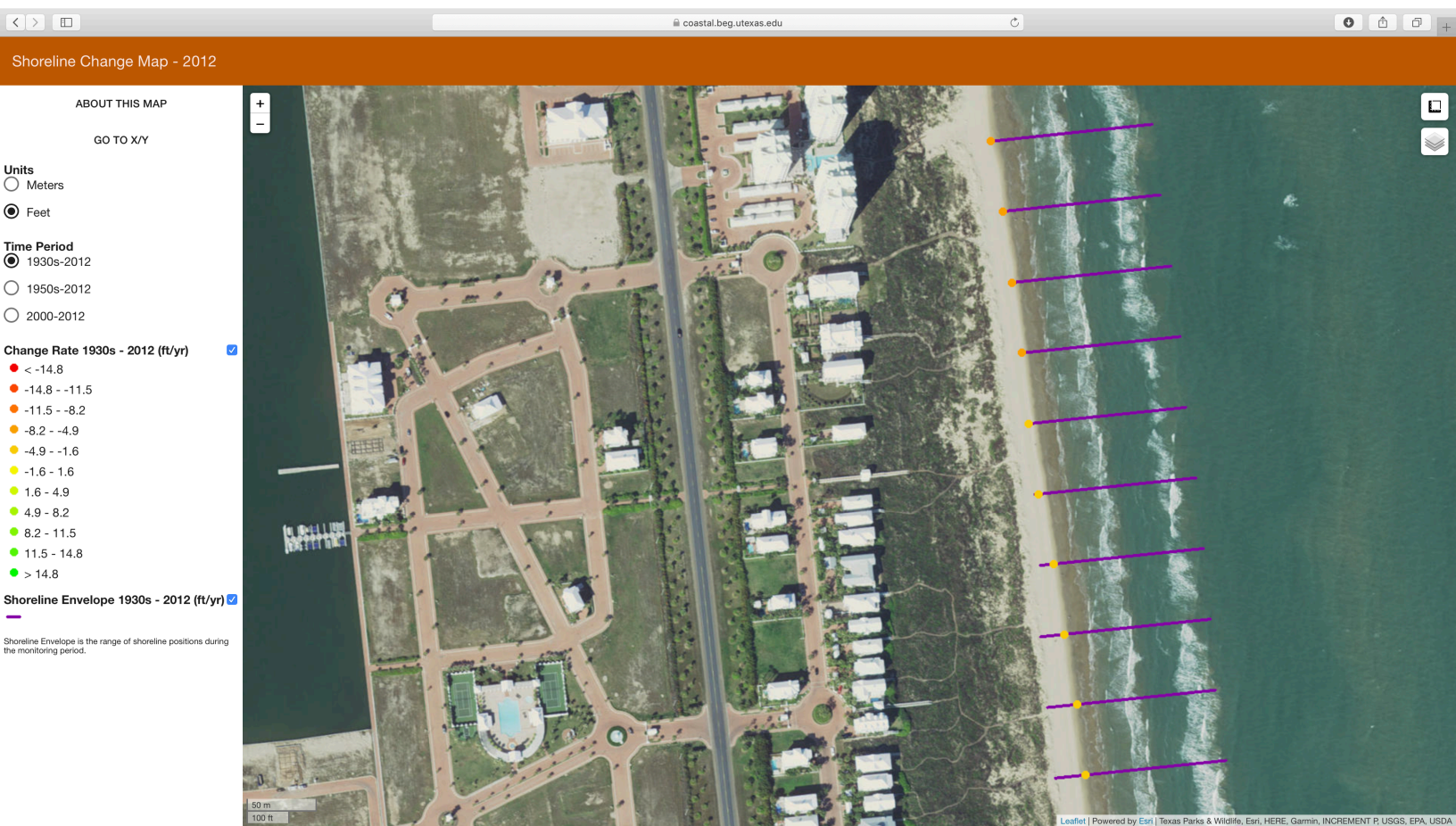
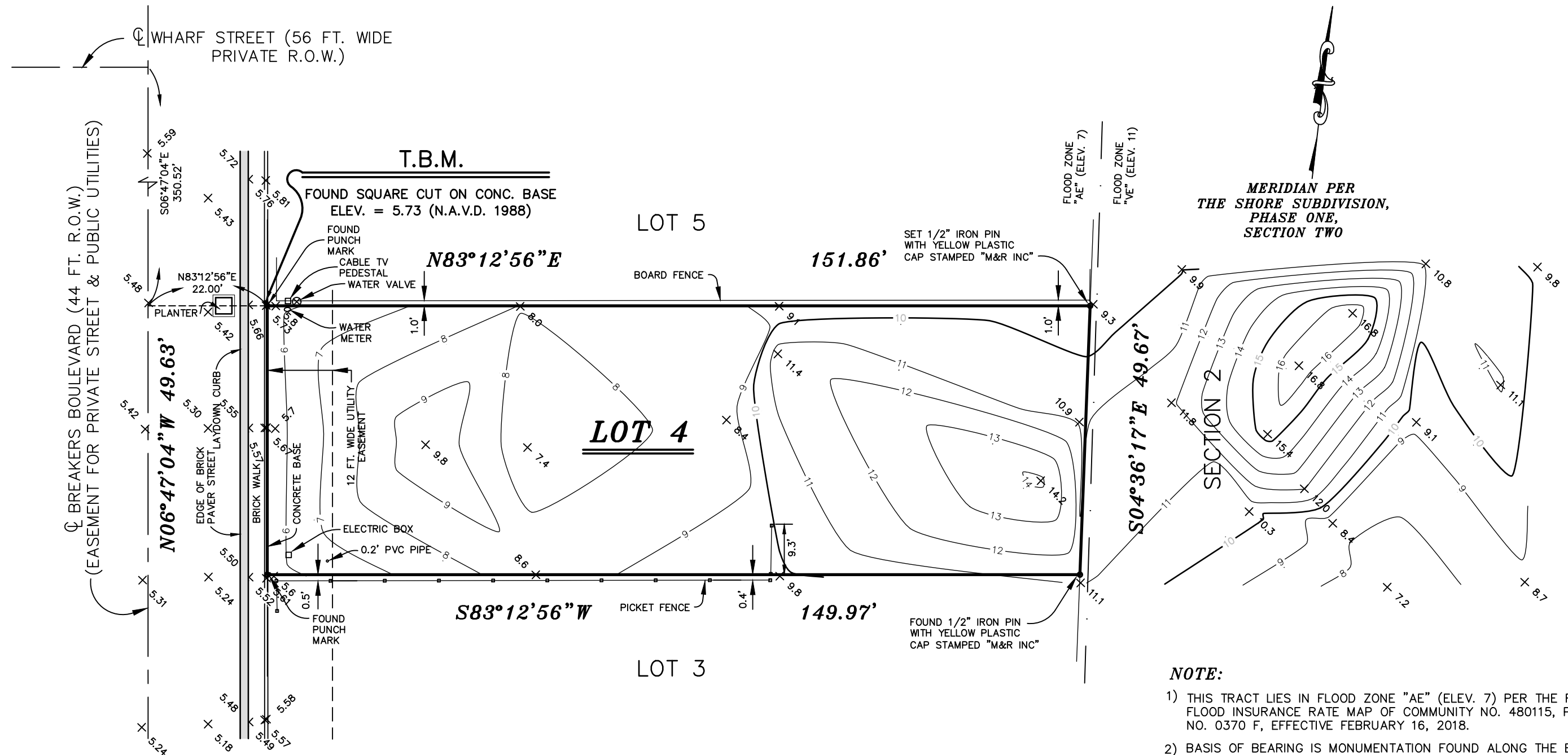


Exhibit F





**NOTE:**

- 1) THIS TRACT LIES IN FLOOD ZONE "AE" (ELEV. 7) PER THE F.I.A. FLOOD INSURANCE RATE MAP OF COMMUNITY NO. 480115, PANEL NO. 0370 F, EFFECTIVE FEBRUARY 16, 2018.
- 2) BASIS OF BEARING IS MONUMENTATION FOUND ALONG THE EAST RIGHT-OF-WAY LINE OF BREAKERS BOULEVARD.

**TOPOGRAPHIC SURVEY OF**  
 LOT NUMBERED FOUR (4), BLOCK NUMBER FOUR (4), THE SHORES  
 SUBDIVISION, PHASE ONE, SECTION TWO, A SUBDIVISION IN  
 CAMERON COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT  
 THEREOF RECORDED IN CABINET 1, SLOTS 2220-B, 2221-A AND  
 2221-B, MAP RECORDS OF CAMERON COUNTY, TEXAS.

**SCALE: 1" = 20'**  
**SURVEYED FOR:**

**STAN RICHARDS**

**Exhibit G**

The undersigned hereby certifies that the survey described hereon was made on the ground on 09-26-18; that the only improvements on the ground are as shown; that there are no visible encroachments, visible overlappings, apparent conflicts, or visible easements except as shown hereon. THIS CERTIFICATION IS ONLY VALID WITH AN ORIGINAL SIGNATURE AND IF THE DRAWING CONTAINS NO ERASURES OR ADDITIONS.

REGISTERED PROFESSIONAL LAND SURVEYOR NO. 3900

**Mejia & Rose, Incorporated**

**Engineering Surveying**  
 T.B.P.E. Reg. No. F-2670  
 1643 West Price Road (956) 544-3022  
 P.O. Box 3761 Brownsville, Texas 78520  
 Fax (956) 544-3068  
 email: mandrinc@cngmail.com  
 G.F. NO. N/A JOB NO. 20536  
 S.TROWBRIDGE

**CITY OF SOUTH PADRE ISLAND  
CITY COUNCIL MEETING  
AGENDA REQUEST FORM**

**MEETING DATE:** April 9, 2019

**NAME & TITLE:** Kristina Boburka, Interim Shoreline Director

**DEPARTMENT:** Shoreline Department

**ITEM**

Discussion and action to select and move forward with potential projects and improvements based upon the Shoreline Master Plan.

**ITEM BACKGROUND**

The Shoreline Staff examined the Final Shoreline Master Plan and has compiled a list of potential projects for each of the four goals outlined: Education, Tourism, Conservation, and Public Access. The decision matrix provides a way to select those projects that should proceed forward.

**BUDGET/FINANCIAL SUMMARY**

None.

**COMPREHENSIVE PLAN GOAL**

Chapter III. Parks and Resources

GOAL 1: The City shall ensure protection and conservation of natural resources, such as beaches, dunes, wetlands, Laguna Madre waterfront and native flora and fauna, allowing for their sustainable use and enjoyment by future generations.

Objective 1.1 Beach and dunes shall be protected from both natural and artificial erosion.

**LEGAL REVIEW**

Sent to Legal:	YES: _____	NO: <u>  X  </u>
Approved by Legal:	YES: _____	NO: _____
Comments:		

**RECOMMENDATIONS/COMMENTS**

Authorize staff to proceed with selected projects.

Decision Matrix Averages	
Key Action/Amenity	Averaged Ranked Priority
Education Liaison	6.8
Activities Forum	8
Classroom Space	6
Dune Demonstration Garden	7
Land Acquisition	8
Beach Access	9
Bayside Ramps (separate motorized and non-motorized)	8.6
Beach Nourishment	9.4
Dunes/Wetland Protection (Ch. 22/Morton study update), Regional Sediment Management	9.4
Building Codes	7.2
Access Walkovers	9
Mobi-Mats	5.4
Public Restrooms	9.2
Portable Restroom Facilities	6.8
Changing Rooms	2.8
Showering Facilities	8.8
Workout Stations	5.4
Picnic Tables	4
Bike Racks	5.8
Paid Parking	5.6

**CITY OF SOUTH PADRE ISLAND  
CITY COUNCIL MEETING  
AGENDA REQUEST FORM**

**MEETING DATE:** April 9, 2019

**NAME & TITLE:** Kristina Boburka, Interim Shoreline Director

**DEPARTMENT:** Shoreline Department

**ITEM**

Discussion and possible action on dog water fountains at the City's beach accesses.

**ITEM BACKGROUND**

A community member inquired about the possibility of dog water fountains at some beach accesses.

**BUDGET/FINANCIAL SUMMARY**

None.

**COMPREHENSIVE PLAN GOAL**

Chapter III. Parks and Resources

GOAL 1: The City shall ensure protection and conservation of natural resources, such as beaches, dunes, wetlands, Laguna Madre waterfront and native flora and fauna, allowing for their sustainable use and enjoyment by future generations.

Objective 1.1 Beach and dunes shall be protected from both natural and artificial erosion.

**LEGAL REVIEW**

Sent to Legal: YES: \_\_\_\_\_ NO:   X    
Approved by Legal: YES: \_\_\_\_\_ NO: \_\_\_\_\_  
Comments:

**RECOMMENDATIONS/COMMENTS**

Authorize staff to proceed.

## Elkay LK4420DB Tubular ADA Drinking Fountain with Dog Bowl



OUR PRICE: From \$3,602.72 to \$3,670.44

### Product Options

Color:

Quantity:  [ADD TO CART](#)

[Recommend 0](#)

**FREE SHIPPING**

PREV

NEXT




Image 2 of 5

CLOSE X

Requested Color:

Quantity:

[Buy Now](#)

Detail

Overview



## Pet Fountain - Free Standing

\$1,045.00



☐ Freeze Resistant Valves [add \$786.00]

Requested Fountain Color: \*

Quantity:

1

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~~\$2,492.00~~ **\$2,165.00**

SKU: 648wf350

[Request our Catalog - \\$100 Coupo](#)



You Save: **\$327.00 (13.12%)**

- Pedestals are fabricated from stainless steel
- Spout is locked to stainless steel receptors protected with vandal resistant steel guard
- Recessed self-closing push button valve(s) outside stream adjustment
- Slow draining pet fountain receptor with pet guard drain
- Stainless Steel
- Surface type with mounting plate welded to

**CITY OF SOUTH PADRE ISLAND  
CITY COUNCIL MEETING  
AGENDA REQUEST FORM**

**MEETING DATE:** April 9, 2019

**NAME & TITLE:** Kristina Boburka, Interim Shoreline Director

**DEPARTMENT:** Shoreline Department

**ITEM**

Discussion and possible action on improvements to ensure our beach and dune ecosystem is well protected.

**ITEM BACKGROUND**

**BUDGET/FINANCIAL SUMMARY**

None.

**COMPREHENSIVE PLAN GOAL**

Chapter III. Parks and Resources

GOAL 1: The City shall ensure protection and conservation of natural resources, such as beaches, dunes, wetlands, Laguna Madre waterfront and native flora and fauna, allowing for their sustainable use and enjoyment by future generations.

Objective 1.1 Beach and dunes shall be protected from both natural and artificial erosion.

**LEGAL REVIEW**

Sent to Legal: YES: \_\_\_\_\_ NO:   X    
Approved by Legal: YES: \_\_\_\_\_ NO: \_\_\_\_\_  
Comments:

**RECOMMENDATIONS/COMMENTS**

Authorize staff to proceed.

**CITY OF SOUTH PADRE ISLAND  
CITY COUNCIL MEETING  
AGENDA REQUEST FORM**

**MEETING DATE:** April 9, 2019

**NAME & TITLE:** Kristina Boburka, Interim Shoreline Director

**DEPARTMENT:** Shoreline Department

**ITEM**

Discussion on Mobi-Mat maintenance.

**ITEM BACKGROUND**

**BUDGET/FINANCIAL SUMMARY**

None.

**COMPREHENSIVE PLAN GOAL**

Chapter III. Parks and Resources

GOAL 1: The City shall ensure protection and conservation of natural resources, such as beaches, dunes, wetlands, Laguna Madre waterfront and native flora and fauna, allowing for their sustainable use and enjoyment by future generations.

Objective 1.1 Beach and dunes shall be protected from both natural and artificial erosion.

**LEGAL REVIEW**

Sent to Legal: YES: \_\_\_\_\_

NO:   X  

Approved by Legal: YES: \_\_\_\_\_

NO: \_\_\_\_\_

Comments:

**RECOMMENDATIONS/COMMENTS**

Authorize staff to proceed.



Monthly Mobi-Mat Maintenance				
Beach Access	Week 1	Week 2	Week 3	Week 4
1	X			
3	X			
4	X			
5	X			
8		X		
9		X		
10		X		
11		X		
12			X	
13			X	
14			X	
15			X	
16				X
17				X
23				X
24				X
25				X

\*This is in addition to the daily maintenance that takes place in the morning and afternoon