

**NOTICE OF MEETING  
CITY OF SOUTH PADRE ISLAND  
SHORELINE TASK FORCE**

**NOTE: One or more members of the City of South Padre Island City Council may attend this meeting; if so, this statement satisfies the requirements of the OPEN MEETINGS ACT.**

NOTICE IS HEREBY GIVEN THAT THE SHORELINE TASK FORCE OF THE CITY OF SOUTH PADRE ISLAND, TEXAS, WILL HOLD A MEETING ON:

**MONDAY, APRIL 23, 2018  
3:00 P.M. AT THE MUNICIPAL BUILDING,  
CITY COUNCIL CHAMBERS, 2<sup>ND</sup> FLOOR  
4601 PADRE BOULEVARD, SOUTH PADRE ISLAND, TEXAS**

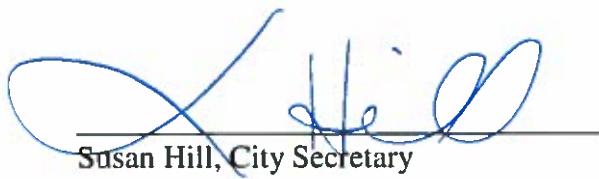
1. Call to Order.
2. Pledge of Allegiance.
3. Public Comments and Announcements: *This is an opportunity for citizens to speak to Task Force relating to agenda or non-agenda items. Speakers are required to address the Shoreline Task Force at the podium and give their name before addressing their concerns. [Note: State law will not permit the Shoreline Task Force to discuss debate or consider items that are not on the agenda. Citizen Comments may be referred to City Staff or may be placed on the agenda of a future Shoreline Task Force meeting]*
4. Approval of the April 9, 2018 meeting minutes.
5. PowerPoint presentation on Shoreline Department Projects (Hill).
  - Shoreline Master Plan
  - Dune Planting
  - Nearshore Berm nourishment
6. Discussion and action to recommend to City Council the approval of a Beach and Dune Permit for 8100 Padre Boulevard South Padre Island Texas. (Hill)
7. Discussion and action to recommend to City Council the approval of a Beach and Dune Permit for 1010 Padre Boulevard South Padre Island Texas. (Hill)
8. Discussion and action to create a subcommittee to explore restroom facility solutions on the shoreline. (Hill)
9. Discussion and action to Recommend to City Council Ordinance No. 18-14 amending Chapter 22 of the Code of Ordinances by amending Section 22-3 providing for amended terms, revising chairpersons voting authority and creating the position of vice chairman for the Shoreline Task Force. (Hill)
10. Adjournment

DATED THIS THE 18 TH DAY OF APRIL 2018



Susan Hill, City Secretary

I, THE UNDERSIGNED AUTHORITY, DO HEREBY CERTIFY THAT THE ABOVE NOTICE OF MEETING OF THE SHORELINE TASK FORCE OF THE CITY OF SOUTH PADRE ISLAND, TEXAS IS A TRUE AND CORRECT COPY OF SAID NOTICE AND THAT I POSTED A TRUE AND CORRECT COPY OF SAID NOTICE ON THE BULLETIN BOARD AT CITY HALL/MUNICIPAL BUILDING ON **APRIL 18, 2018** AT/OR BEFORE **5:00 P.M.** AND REMAINED SO POSTED CONTINUOUSLY FOR AT LEAST 72 HOURS PRECEDING THE SCHEDULED TIME OF SAID MEETING.



Susan Hill, City Secretary

THIS FACILITY IS WHEELCHAIR ACCESSIBLE, AND ACCESSIBLE PARKING SPACES ARE AVAILABLE. REQUESTS FOR ACCOMMODATIONS OR INTERPRETIVE SERVICES MUST BE MADE 48 HOURS PRIOR TO THIS MEETING. PLEASE CONTACT BUILDING OFFICIAL, DAVID TRAVIS; ADA DESIGNATED RESPONSIBLE PARTY AT (956) 761-8103.

**Item No. 4**

**CITY OF SOUTH PADRE ISLAND  
SHORELINE TASKFORCE  
MEETING  
AGENDA REQUEST FORM**

**MEETING DATE:** April 23, 2017

**NAME & TITLE:** Brandon Hill, Shoreline Director

**DEPARTMENT:** Shoreline department

**ITEM**

Approval of March 26, 2018 regular meeting minutes.

**ITEM BACKGROUND**

**BUDGET/FINANCIAL SUMMARY**

None

**COMPREHENSIVE PLAN GOAL**

**LEGAL REVIEW**

Sent to Legal: YES: \_\_\_\_\_ NO: \_\_\_\_\_  
Approved by Legal: YES: \_\_\_\_\_ NO: \_\_\_\_\_

Comments:

**RECOMMENDATIONS/COMMENTS**

**MINUTES  
CITY OF SOUTH PADRE ISLAND  
SHORELINE TASK FORCE**

**MONDAY, APRIL 9, 2018**

**I. Call to Order.**

The Shoreline Task Force of the City of South Padre Island, Texas held a regular meeting on Monday, April 9, 2017, at the Municipal Complex Building, 2<sup>nd</sup> Floor, 4601 Padre Boulevard, South Padre Island Texas. Chairman Neil Rasmussen called the meeting to order at 3:00 p.m. A quorum was present: Task Force Member Virginia Guillot, Norma Trevino, and Troy Giles. Task Force Members absent were Stormy Wall, Thoren Thorbjøen, and Kerry Schwartz.

City staff members present were: Assistant City Manager Darla Jones, Shoreline Management Director Brandon Hill, and Administrative Assistant Marta Martinez. Also present was Council Member Ken Medders

**II. Pledge of Allegiance.**

Chairman Rasmussen led the Pledge of Allegiance.

**III. Public Comments and Announcements.**

None

**IV. Approval of the March 26, 2018 meeting minutes.**

Task Force Member Norma Trevino made a motion, seconded by Virginia Guillot to approve minutes as submitted. Motion passed unanimously.

**V. Power Point presentation on Shoreline Department Projects. (Hill)**

Shoreline Management Director Brandon Hill gave a presentation on Shoreline Department Projects. No action was taken.

**VI. Discussion on beach access walkway/walkover best management practices. (Hill)**

Shoreline Management Director Brandon Hill gave a presentation regarding walkway/walkover best management practices. No action was taken.

**VII. Discussion on portable toilet facilities on the beach and/or beach accesses.  
(Hill)**

Shoreline Management Director Brandon Hill gave a presentation on the beach and/or beach accesses. No action was taken.

**VIII. Adjournment.**

There being no further business, Chairman Neil Rasmussen adjourned the meeting at 4:06 p.m.

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Marta Martinez, Secretary

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Neil Rasmussen, Chairman

**Item No. 5**

**CITY OF SOUTH PADRE ISLAND  
SHORELINE TASKFORCE  
MEETING  
AGENDA REQUEST FORM**

**MEETING DATE:** April 23, 2018

**NAME & TITLE:** Brandon Hill, Shoreline Director

**DEPARTMENT:** Shoreline department

**ITEM**

Power Point presentation on Shoreline Department Projects

**ITEM BACKGROUND**

- Shoreline Master Plan
- Dune Planting
- Nearshore Berm Nourishment

**BUDGET/FINANCIAL SUMMARY**

None

**COMPREHENSIVE PLAN GOAL**

Chapter III. Parks and Resources

GOAL 1: The City shall ensure protection and conservation of natural resources, such as beaches, dunes, wetlands, Laguna Madre waterfront and native flora and fauna, allowing for their sustainable use and enjoyment by future generations.

Objective 1.1 Beach and dunes shall be protected from both natural and artificial erosion.

**LEGAL REVIEW**

Sent to Legal: YES: \_\_\_\_\_ NO: X  
Approved by Legal: YES: \_\_\_\_\_ NO: X

Comments:

**RECOMMENDATIONS/COMMENTS**



# Shoreline Department

## Project Review

# Ongoing Efforts

- Shoreline Master Plan
- Dune Planting Success
- Nearshore Berm Nourishment

# Shoreline Master Plan

- Ongoing: Community Feedback Survey
  - ▣ [www.surveymonkey.com/r/southpadreisland](http://www.surveymonkey.com/r/southpadreisland)
- Upcoming: one-on-one Stakeholder Interviews
  - ▣ May 2018

# Shoreline Master Plan

- As of 4/18/18
  - ▣ 396 people have responded
  - ▣ 72 have signed up for a one-on-one interview

# Dune Ridge Construction Permitting Process

- Post-implementation at Isla Del Sol



# Dune Ridge Construction Permitting Process



- 165 Students
- 2,000 plants
- 7,500 square feet  
(about  $\frac{1}{4}$  of  
impacted area)

# Nearshore Berm Nourishment

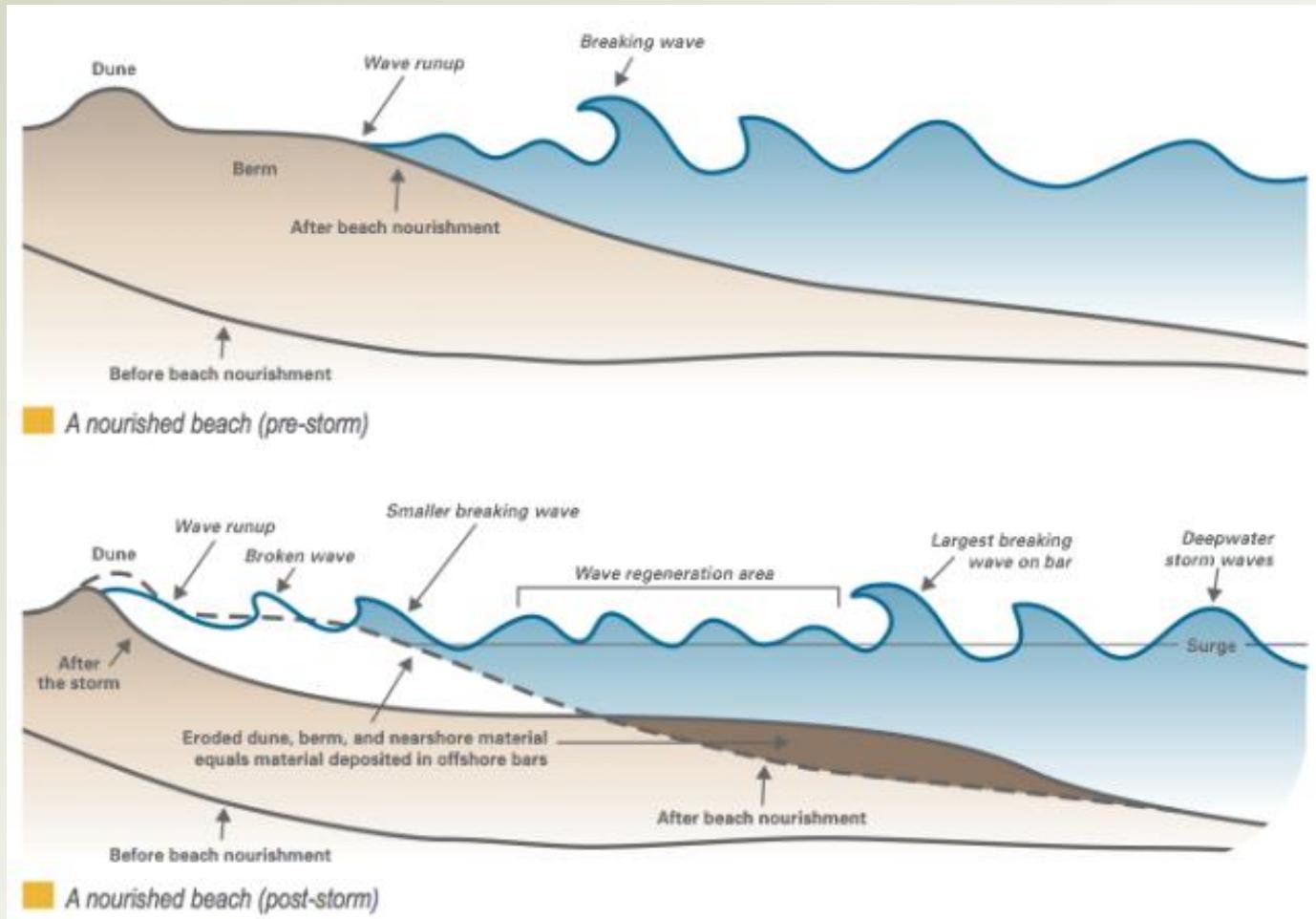
Hopper Dredge McFarland  
Scheduled Arrival 4/27/2018



# Onshore Mechanical Placement



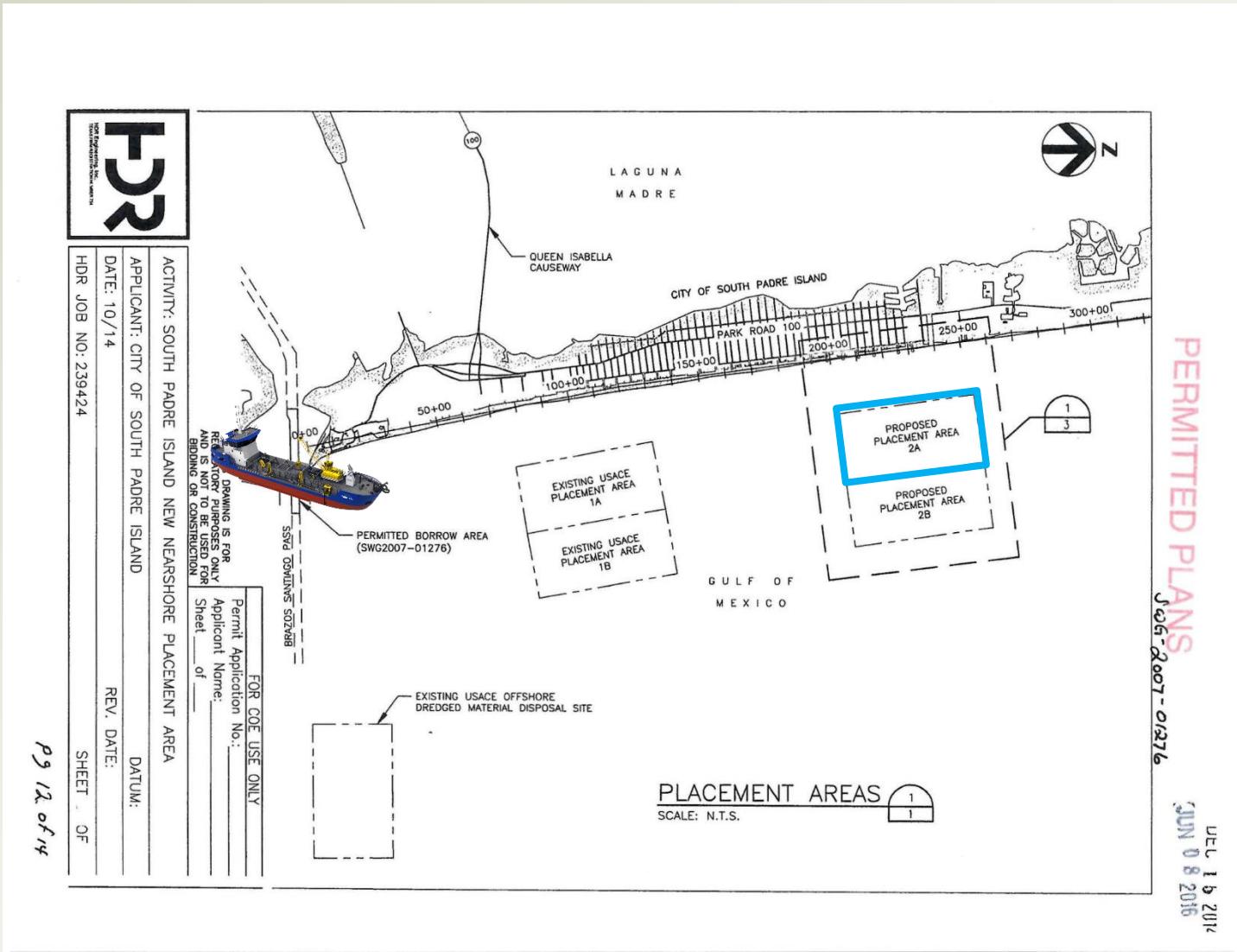
# Onshore Nourishment



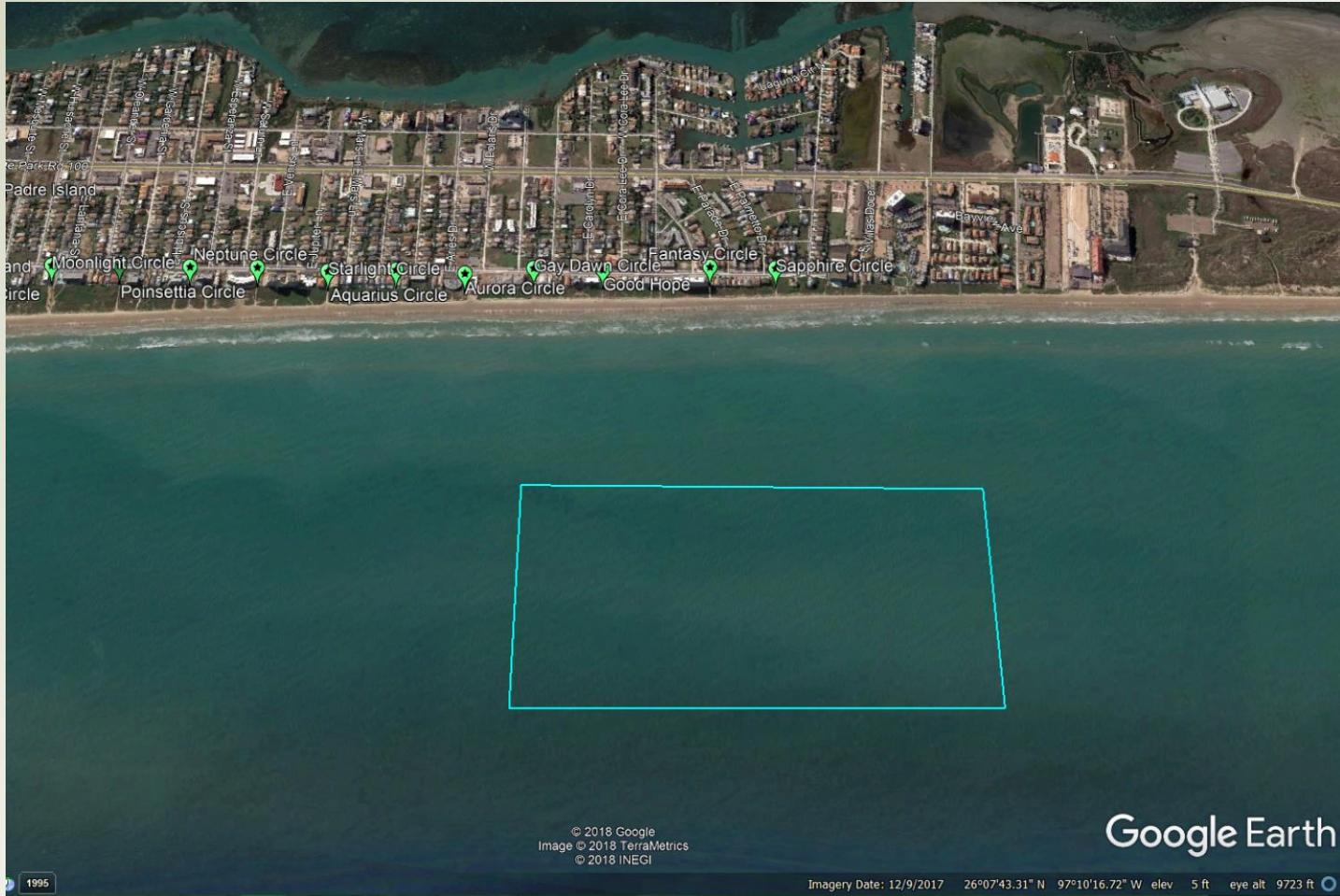
# Nearshore Berm Nourishment



# Nearshore Berm Nourishment



# Nearshore Berm Nourishment



Thank you



*South  
Padre*  
**ISLAND**

**Item No. 6**

**CITY OF SOUTH PADRE ISLAND  
SHORELINE TASKFORCE  
MEETING  
AGENDA REQUEST FORM**

**MEETING DATE:** April 23, 2018

**NAME & TITLE:** Brandon Hill, Shoreline Director

**DEPARTMENT:** Shoreline department

**ITEM**

Discussion and action to recommend to City Council the approval of a Beach and Dune Permit for 8100 Padre Boulevard South Padre Island Texas. (Hill)

**ITEM BACKGROUND**

The Applicant proposes the large scale construction of a five story hotel with a parking structure underneath the foot print of the hotel and an elevated beach access walkover extending to the line of vegetation.

**BUDGET/FINANCIAL SUMMARY**

None

**COMPREHENSIVE PLAN GOAL**

Chapter III. Parks and Resources

GOAL 1: The City shall ensure protection and conservation of natural resources, such as beaches, dunes, wetlands, Laguna Madre waterfront and native flora and fauna, allowing for their sustainable use and enjoyment by future generations.

Objective 1.1 Beach and dunes shall be protected from both natural and artificial erosion.

**LEGAL REVIEW**

Sent to Legal: YES: \_\_\_\_\_ NO: X  
Approved by Legal: YES: \_\_\_\_\_ NO: X

Comments:

**RECOMMENDATIONS/COMMENTS**

Staff recommends the approval.

## MEMORANDUM

TO: Shoreline Task Force  
Natalie Bell, General Land Office

FROM: Brandon N. Hill, Shoreline Director

DATE: February 23, 2018

RE: Preliminary determination on proposed construction Lot 1 Block 1, South Padre Island Subdivision. 8100 Padre Blvd.

The enclosed application materials present plans for the Proposed Construction of a hotel, parking lot, deck, dune walkover, pool, and all accompanying Hotel aspects.

With consideration given to conformance with TAC regulations our preliminary determination is that:

1. The proposed activity will not reduce the size of the public beach. [TAC 15.5 (b)(1)]
2. The proposed activity does not appear to involve construction upon the public beach. [TAC 15.5 (c)(1)]
3. The proposed activity will not encroach upon the public beach. [TAC 15.5 (c)(1)]
4. The proposed activity will not close any existing public beach accesses within the area, nor will the construction close or prevent the use of any existing public beach parking spaces. [TAC 15.5 (d)(1)]

With consideration given to the City's *Dune Protection and Beach Renourishment and Access Plan* [B&D Ord. Section 22-10]:

1. The proposed activity will not result in the potential for increased flood damage to the subject property or adjacent properties.
2. The proposed activity will not result in run-off or drainage patterns that aggravate erosion on and off the site.
3. The proposed activity will cause no changes to the existing dune hydrology east of the Historic Building Line.
4. The proposed activity will result in no adverse effects on dune complexes of vegetation.
5. The proposed activity will not significantly increase the potential for washover or blowouts.



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Brandon N. Hill



**TEXAS GENERAL LAND OFFICE**  
GEORGE P. BUSH, COMMISSIONER

March 20, 2018

**Via Electronic Mail**

Brandon Hill  
Shoreline Management Department  
City of South Padre Island  
P.O Box 3410  
South Padre Island, Texas 78597-3410

**Beachfront Construction Certificate & Dune Protection Permit in the City of South Padre Island**

**Site Address:** 8100 Padre Boulevard, South Padre Island  
**Legal Description:** Lot 1, Block 1, Padre Island Inn Subdivision  
**Lot Applicant:** Sam Listi  
**GLO ID No.:** BDSPI-18-0038

Dear Mr. Hill:

The General Land Office (GLO) has reviewed the application materials for a dune protection permit and beachfront construction certificate for the above-referenced location. The applicant proposes the large-scale construction of a five-story hotel with parking underneath the footprint of the hotel, and a dune walkover to the public beach that will be 8-feet over the natural grade of the lot. The proposed construction is located landward of the Building Line for this property as identified in South Padre Island City Ordinance 17-02 and is approximately 325 feet landward of the line of vegetation. According to the Bureau of Economic Geology, the area is eroding at a rate of three to four feet per year.

Based on the materials forwarded to our office for review, we have the following comments:

- The seaward terminus of the dune walkover must be restricted to the greatest extent possible to the most landward point of the public beach<sup>1</sup> and must not interfere with or otherwise restrict public use of the beach at normal high tides.<sup>2</sup>
- The applicant must avoid any adverse effects to dunes or dune vegetation from construction of the dune walkover.
- The deck of the walkover must be of sufficient elevation to allow for the growth of dune vegetation and the migration of dunes to the greatest extent practicable.<sup>3</sup>
- The proposed dune walkover should be constructed to allow rain and sand to pass through the decking. The GLO recommends placing the slats that form the deck of the walkover at least ½-inch apart.
- Construction of the proposed dune walkover should conform to the GLO's guidelines provided in the Dune Protection and Improvement Manual for the Texas Gulf Coast, and can be found on the GLO

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<sup>1</sup> 31 Tex. Admin. Code § 15.7(g)(1).

<sup>2</sup> 31 Tex. Admin. Code § 15.7(g)(2).

<sup>3</sup> 31 Tex. Admin. Code § 15.7(g)(3).

website at: <http://www.glo.texas.gov/coast/coastal-management/forms/files/dune-protection-manual-gpb.pdf>

- Concrete may not be used to stabilize the base of the pilings for the dune walkover.<sup>4</sup>
- The proposed construction activities must not result in the potential for increased flood damage to the proposed construction site or adjacent property, result in runoff or drainage patterns that aggravate erosion, cause significant changes to dune hydrology, adversely effect dune complexes or dune vegetation, or significantly increase the potential for washovers or blowouts to occur.<sup>5</sup>
- The proposed construction activities must minimize impacts on natural hydrology and not cause erosion of adjacent properties, critical dune areas, or the public beach.<sup>6</sup>
- Construction activities must not impact the public's ability to access or use the beach.
- The City must ensure the proposed construction is consistent with FEMA minimum requirements or with the FEMA-approved local ordinance.<sup>7</sup>

If you have any questions, please contact me by phone at (512) 463-0413 or by email at [natalie.bell@glo.texas.gov](mailto:natalie.bell@glo.texas.gov).

Sincerely,



Natalie Bell  
Beach Access & Dune Protection Program  
Coastal Resources Division  
Texas General Land Office

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<sup>4</sup> 31 Tex. Admin. Code § 15.6(f)(3).

<sup>5</sup> 31 Tex. Admin. Code § 15.4(d).

<sup>6</sup> 31 Tex. Admin. Code § 15.6(g).

<sup>7</sup> 31 Tex. Admin. Code § 15.6 (e)(3).



# Beach & Dune Application

City of South Padre Island  
4601 Padre Blvd.  
South Padre Island, TX 78597  
Phone (956) 761-3044  
Fax (956) 761-3898

## Site for Proposed Work

Legal Description: LCT 1 BLOCK 1, SOUTH PADRE ISLAND 8100 PADRE  
SUB. (VOL 28 PAGE 12 MRCCT)

## Property Owner Information

Name: VINOD KASAN  
Mailing Address: 312 W. NOLANDA  
City: MCPHERON State: TX  
Zip: 78589 Country: US  
Phone Number: 956 961 4878  
Fax Number: 956 961 4090  
E-Mail Address: VICO@OAIHOTELS.COM

## Applicant / Agent for Owner

Name: SAM A. LISTI  
Mailing Address: Box 2220  
City: S. PADRE ISLAND State: TX  
Zip: 78597 Country: CAMERON  
Phone Number: 956 345 9960  
Fax Number: \_\_\_\_\_  
E-Mail Address: SPIARCH@YAHOO.COM

I / We, owners of the above-mentioned property, authorize the applicant stated above, to act in my behalf in order to acquire a Beach and Dune permit for the construction proposed below. (owner initials here) VK

X Owner(s) Signature(s): Vinod Kasan  
Date: 2/22/18

Applicant Signature: Dawn P. Listi  
Date: 2/22/18

## Project Description

Describe with as much as detail as possible, the construction proposed. If more room is needed, please include an additional page. Include the number of habitable units, amenities, swimming pools, fences, kinds of fences, whether footings and/or retaining walls will be installed, and locations of proposed landscaping and parking.

- ① RAISED WALK ACCESS OVER WOOD PILING. EXISTING PILINGS MAY BE EXTENDED TO ADJUST TO NEW WALKWAY ELEVATION. THE CONSTRUCTION WILL NOT IMPACT THE DUNES
- ② CONSTRUCTION OF NEW THREE STORY PARKING STRUCTURE AND FIVE STORY HOTEL.

Total Square Footage of Footprint of Habitable Structure: NO FOOTPRINT ON GROUND LEVEL

Total Area of Impervious Surface (i.e. retaining walls, walkways, drives, patios, etc.): 1,000 SF

Percentage Impervious Surface ((impervious surface / habitable footprint) \* 100): 5% 20% OF FRONT AREA IS LANDSCAPING

Please Note: the percentage of impervious surface cannot exceed 5% in an eroding area.

Approximate Duration of Construction: 18 MONTHS

## Financial Plan for the Removal of All Hard Structures

All properties which are allowed to build retaining walls on their property are allowed to do so with the condition that a financial plan for the removal of the retaining wall is submitted to the Public Works Department of the City of South Padre Island. Removal of the retaining wall at the owner's expense may be required if/once the retaining wall comes into regular contact with wave action for twenty (20) out of thirty (30) consecutive days. The City accepts the submission of a Retaining Wall Covenant or other financial guarantee insuring the removal of the retaining wall if the required conditions are met.

Type of Plan Submitted: \_\_\_\_\_ Date Submitted: \_\_\_\_\_

### Drainage

Describe the impact that the proposed construction will have on the natural drainage pattern on the site and adjacent lots.

- No change in the drainage on site.  
 The proposed construction will change the grading and the drainage on the subject property. (An explanation will be required detailing where the water will drain.)

Explanation / Other Information: \_\_\_\_\_  
\_\_\_\_\_

### Impacts to Beach / Dune System

Answer each question as completely as possible in narrative form

1. What damage will this proposed construction have on the dune vegetation located at the project site?

- No damage to dune vegetation whatsoever.  
 The proposed construction will impact \_\_\_\_\_ % of the dune vegetation site. (An explanation of the "Impact" will be required.)  
 The proposed construction will require the removal and relocation of \_\_\_\_\_ % of the dune vegetation on site. (The submission of a mitigation plan will be required.)

Explanation / Other Information: \_\_\_\_\_  
\_\_\_\_\_

2. How will the proposed construction alter the dune size/shape at the project site?

- No change to dune size/shape whatsoever.  
 The proposed construction will change \_\_\_\_\_ % of the size/shape of dunes on site. (Details will be required.)  
 The proposed construction will require the removal and relocation of \_\_\_\_\_ % of the dunes on site. (The submission of a mitigation plan will be required.)

Explanation / Other Information: \_\_\_\_\_  
\_\_\_\_\_

3. How will the proposed construction change the hydrology of the dunes at the project site?

- No change to dune hydrology whatsoever.  
 The proposed construction will impact dune hydrology on site. (Details will be required.)

Explanation / Other Information: \_\_\_\_\_  
\_\_\_\_\_

4. Describe alternatives to the proposed construction or method of construction which will cause fewer or no adverse effects on dunes and dune vegetation.

N/A

5. Describe alternatives to the proposed construction or method of construction which will cause fewer or no adverse impairment to beach access.

N/A

## Mitigation Plan

Describe the methods which you will use to avoid, minimize, mitigate and/or compensate for any adverse effects on dunes or dune vegetation

Explanation / Other Information:

RAISED WALL ACCESS 8' OVER NATURAL GRADE,  
BOTTOM AREA OF WALL ACCESS WILL REMAIN OPEN  
BUILDING RAISED OVER NATURAL GRADE

Financial Plan for Dune Mitigation:

If required by the City Council, a financial guarantee (irrevocable letter of credit or a performance bond, etc.) may be necessary to insure the mitigation of dunes/dune vegetation takes place as proposed and required of the applicant.

Type of Plan Submitted:

Date of Submission:

## Checklist of Additional Required Application Information

An accurate map, plat or site plan showing:

- 1. Legal description of the property (lot, block, subdivision) and the immediately adjoining property.
- 2. Location of all existing structures - including the habitable and inhabitable structures, swimming pools, decks, fences, parking areas, landscape areas, etc.
- 3. Location of the Historical Building Line on the subject property and the extension of the line on the properties immediately adjoining the subject property to the north and to the south.
- 4. Location and elevation of existing retaining walls - both on the subject property and those properties immediately adjoining the subject property to the north and to the south.
- 5. Location of proposed structure(s) - if proposing the construction of a retaining wall, please also include the proposed elevation of the retaining wall.
- 6. Location of proposed driveways, parking areas (showing the # of proposed parking spaces) and landscape areas.
- 7. Location of all existing and proposed beach access paths and/or dune walkovers.
- 8. Location and extent of any man-made vegetated mounds, restored dunes, fill activities, or any other pre-existing human modifications on the tract
- 9. Topographical survey of the site identifying all elevations, existing contours of the project area (including dunes and scales) and the proposed contours of the final grade.

Other required application information:

- 1. A grading and layout plan showing proposed contours for the final grade.
- 2. The floor plan(s) and elevation(s) of the structure proposed to be constructed or expanded.
- 3. Photographs of the site which clearly show the current location of the vegetation line & existing dunes on the tract within the last 6 months.
- 4. Copy of the Flood Rate Map showing the location of the subject property. (FEMA.GOV - Map Search)
- 5. Copy of the Historical Erosion Rate Map as determined by the University of Texas at Austin, Bureau of Economic Geology (beg.utexas.edu)
- 6. Application Fee of \$180 for Staff Approved applications and \$300 for City Council Approved applications

Your application is not complete unless all information requested above is submitted.

Application submissions require only three (3) copies of the complete information plus a digital copy.



APPROXIMATE SCALE

0

2000

NATIONAL FLOOD INSURANCE PROGRAM

**FIRM**  
FLOOD INSURANCE RATE MAP

CAMERON COUNTY,  
TEXAS  
(UNINCORPORATED AREAS)

PANEL 300 OF 400  
THIS MAP IS FOR PANELS NOT PRINTED

COMMUNITY NUMBER  
480101 03001  
MAP REVISED:  
MARCH 9, 1999



Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using F-WIT On-Line. This map does not reflect changes or endorsements which may have been made subsequent to the date on the title block. For the latest product information about National Flood Insurance Program flood maps, check the FEMA Flood Map Store at [www.fema.gov](http://www.fema.gov).

FLOOD INSURANCE NOT AVAILABLE FOR SITE  
NEWLY BUILT OR SUBSTANTIALLY IMPROVED ON  
NOVEMBER 16, 1981 - NOT USED IN A MANNER  
WITH THE PURPOSE OF THE OTHERWISE PROVIDED

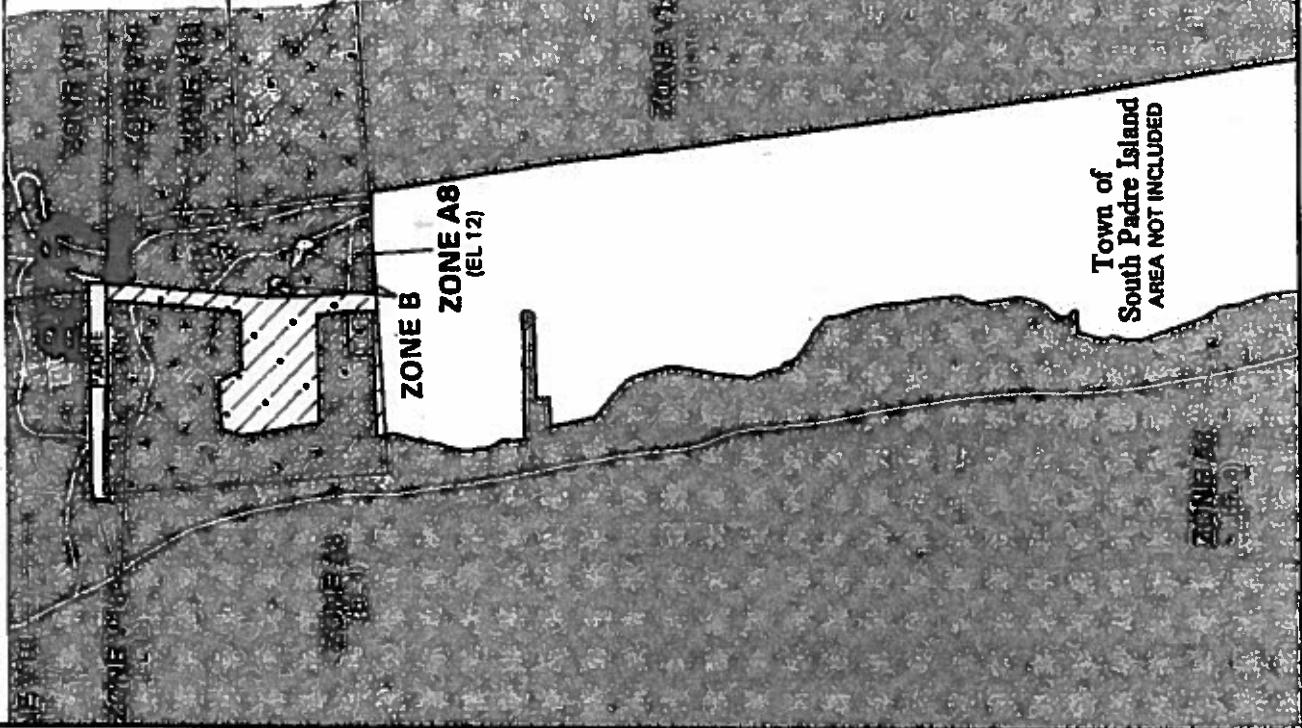
ZONE V10  
(EL 16)

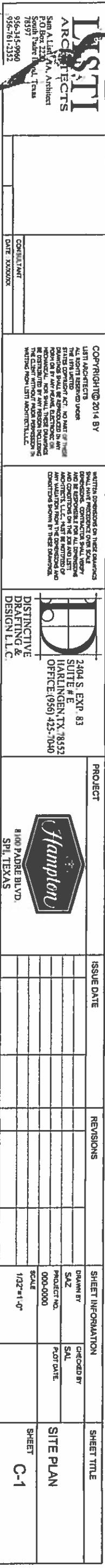
ZONE B  
ZONE A8  
(EL 12)

ZONE V12  
(EL 16)

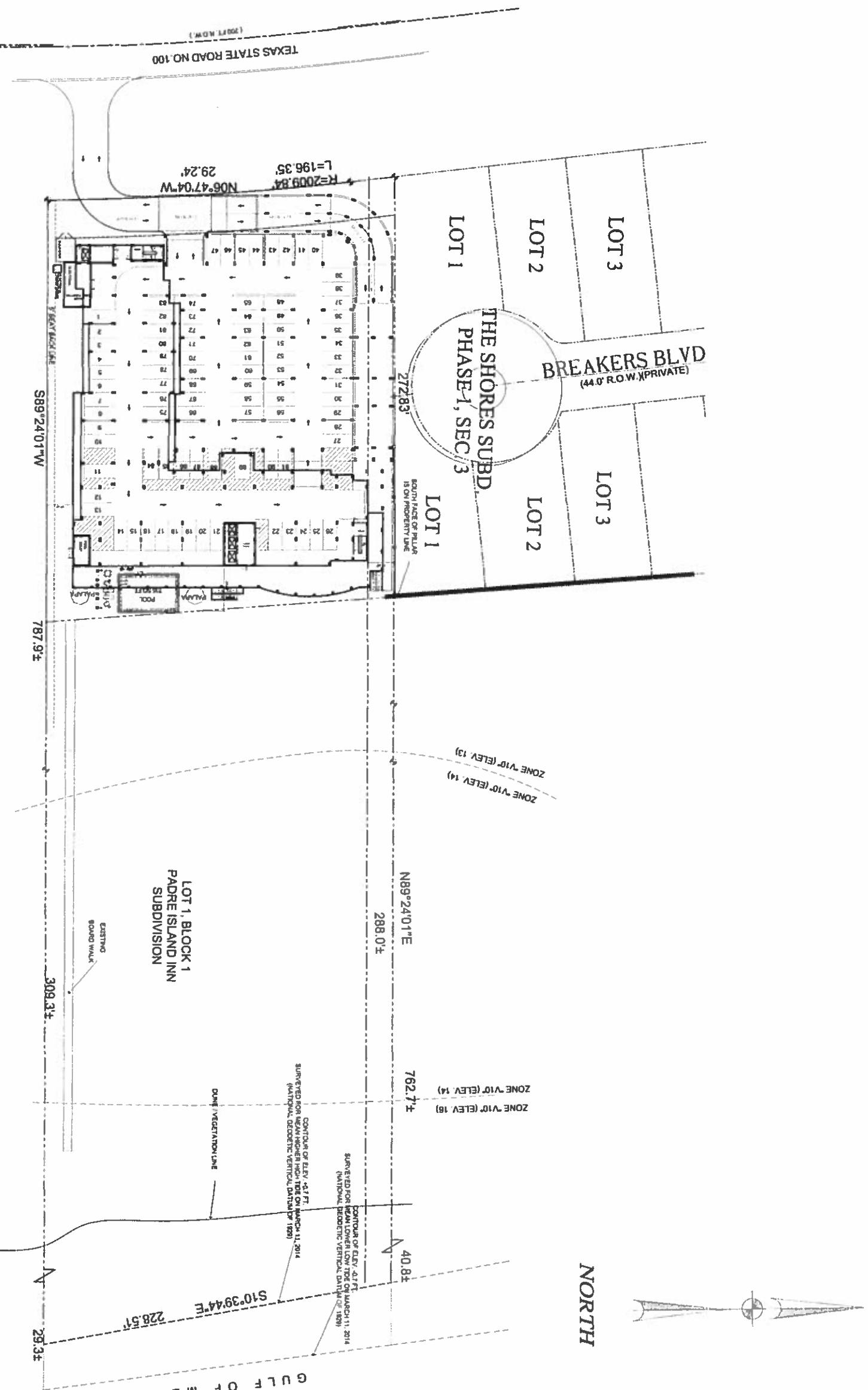
Town of  
South Padre Island  
AREA NOT INCLUDED

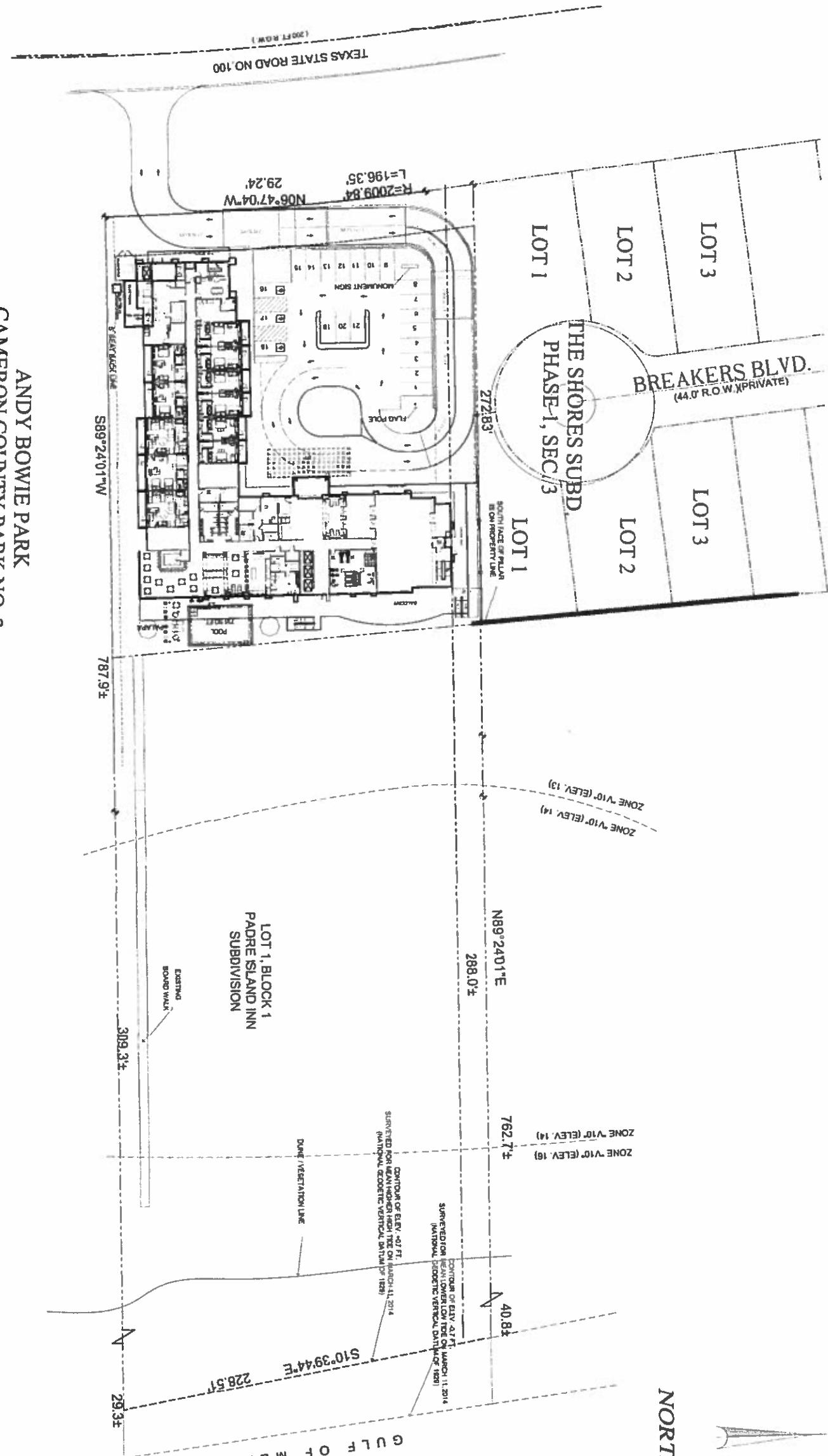
G U L F





**ANDY BOWIE PARK  
CAMERON COUNTY PARK NO. 2**





**ANDY BOWIE PARK**  
**CAMERON COUNTY PARK NO. 2**

**1** NOTED 1st. LEVEL PARKING PLAN

A1.05 SCALE 1/8" = 1'-0"

**LISI**

ARCHITECTS

Sam A. Lisi, AIA, Architect

P.O. Box 2210

South Padre Island, Texas

78597

956-445-9960

956-616-2312

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LISI ARCHITECTS  
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TO MAKE PROFITABLE USE THEREOF.

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WATERPROOF PAPER

IN COLOR

BY LISI ARCHITECTS

PRINTED ON  
WATERPROOF PAPER

PROJECT  
*Holiday Inn*

ISSUE DATE

REVISIONS

SHEET INFORMATION

DRAWN BY

SAZ

CHECKED BY

SAL

PROJECT NO.

000-0000

PILOT DATE

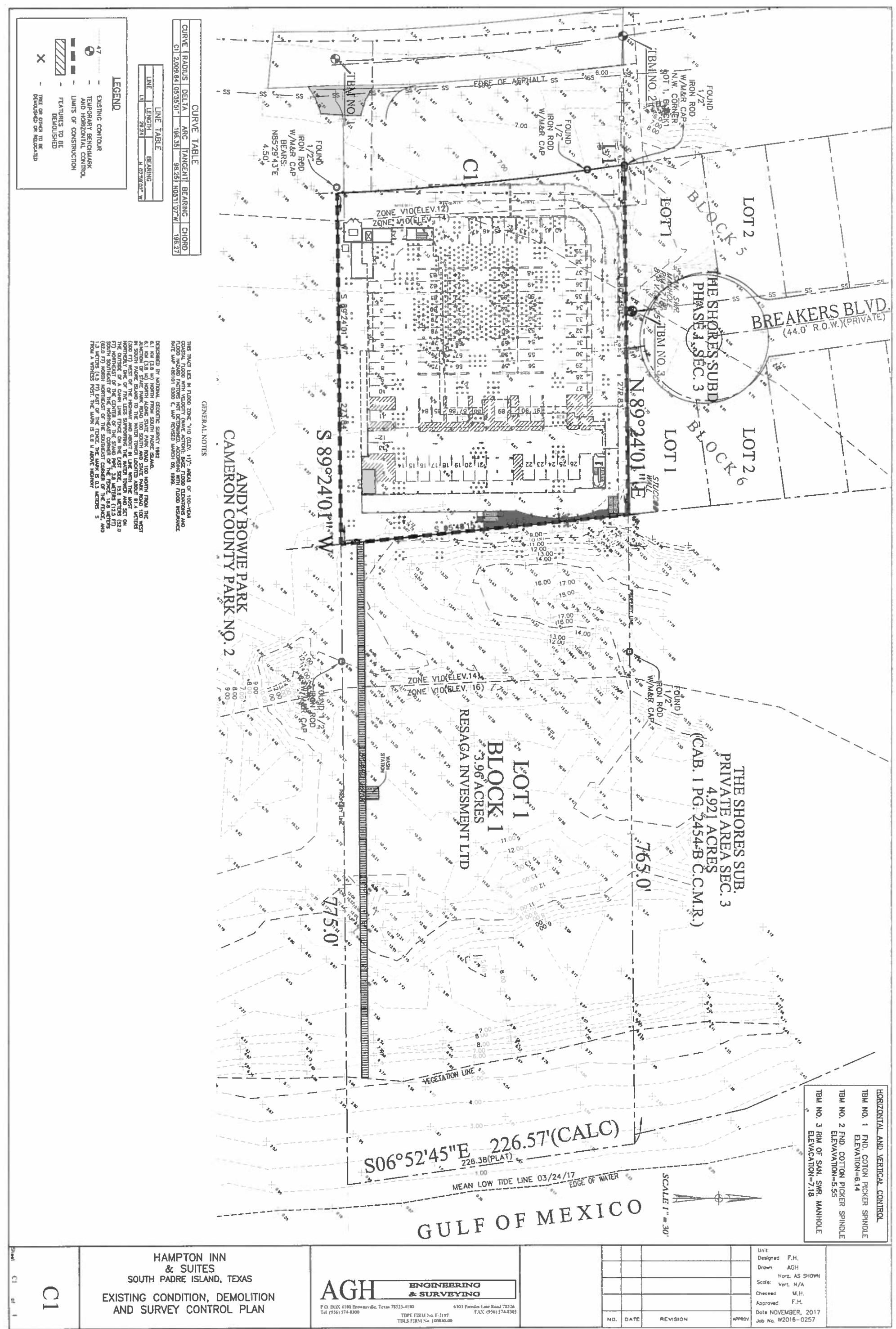
1/8=1'-0"

SCALE

DATE X-XXXXX

NOTED

1/8=1'-0"



HAMPTON INN  
& SUITES  
H PADRE ISLAND, TEXAS  
CONDITION, DEMOLITION,  
SURVEY CONTROL PL

SOUTH PADRE ISLAND, TEXAS  
EXISTING CONDITION, DEMOLITION  
AND SURVEY CONTROL PLAN

AGH

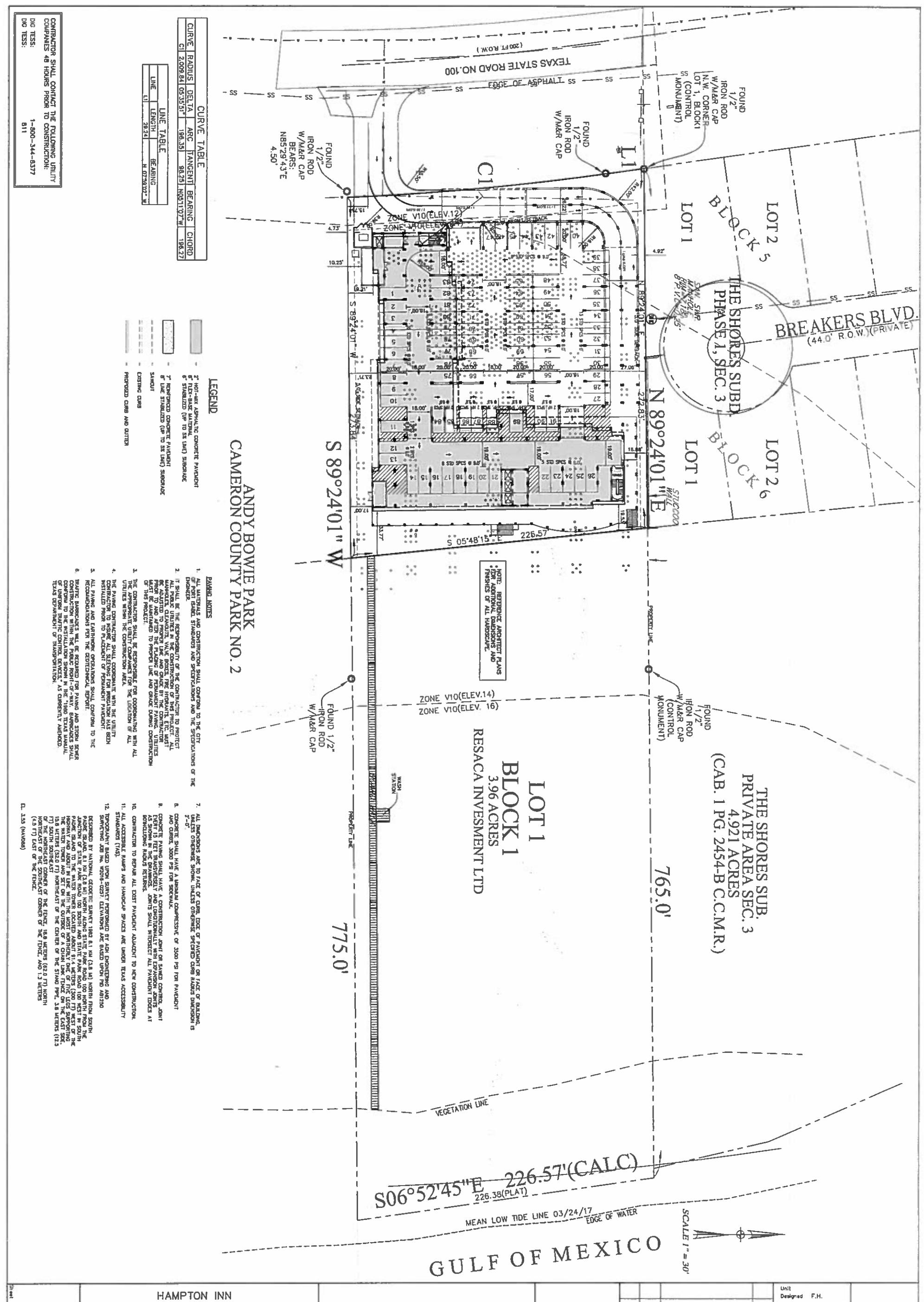
P.O. Box 4180 Brownsville, Texas 78523-4180  
Tel (956) 574-8300

**ENGINEERING  
& SURVEYING**

P.O. Box 4180 Brownsville, Texas 78523-4180  
Tel (956) 574-8300 6105 Padre Lane Road 78536  
DRAFT FIRM No. F-3197 FAX (956) 574-8302

**HORIZONTAL AND VERTICAL CONTROL.**

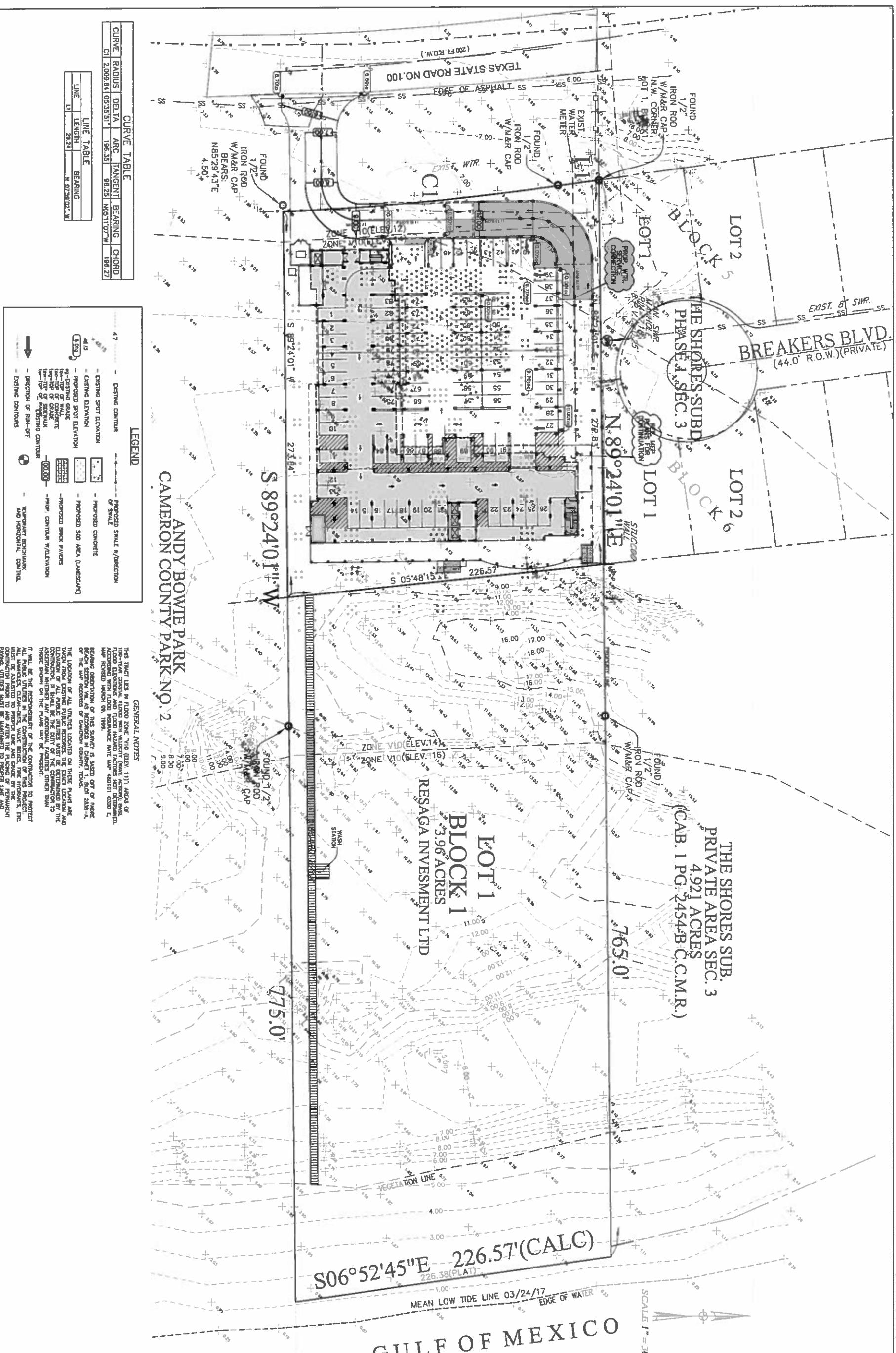
<b>TBM NO. 1</b>	<b>FND. COTON PICKER SPINDLE</b>
	<b>ELEVATION = 6.14</b>
<b>TBM NO. 2</b>	<b>FND. COTTON PICKER SPINDLE</b>
	<b>ELEVATION = 5.55</b>
<b>TBM NO. 3</b>	<b>RIM OF SAN. SWR. MANHOLE</b>
	<b>ELEVATION = 7.18</b>



HAMPTON INN  
& SUITES  
SOUTH PADRE ISLAND, TEXAS  
DIMENSIONAL  
CONTROL PLAN

**AGH** ENGINEERING & SURVEYING  
P.O. BOX 4180 Brownsville, Texas 78523-4180  
Tel. (956) 574-8300 6105 Padre Line Road 78523  
TEPE FIRM NO. F-3197 FAX. (956) 574-8344

Unit F.H.  
Designed A.G.H.  
Drawn Horz. AS SHOWN  
Scale: Vert. N/A  
Checked M.H.  
Approved F.H.  
Date NOVEMBER, 2017  
Job No. W2016-0257



				Unit
				Designed F.H.
				Drawn A.G.H.
				Scale: Horz. AS SHOWN
				Scale: Vert. N/A
				Checked M.H.
				Approved F.H.
				Date NOVEMBER, 2017
				Job No. W2016-0257
NO.	DATE	REVISION	APPROV.	

HAMPTON INN  
& SUITES  
SOUTH PADRE ISLAND, TEXAS  
GRADING DRAINAGE  
AND UTILITY PLAN  
FIRST PARKING LEVEL

AGH

P.O. BOX 4180 Brownsville, Texas 78523-4180  
Tel. (936) 574-8300

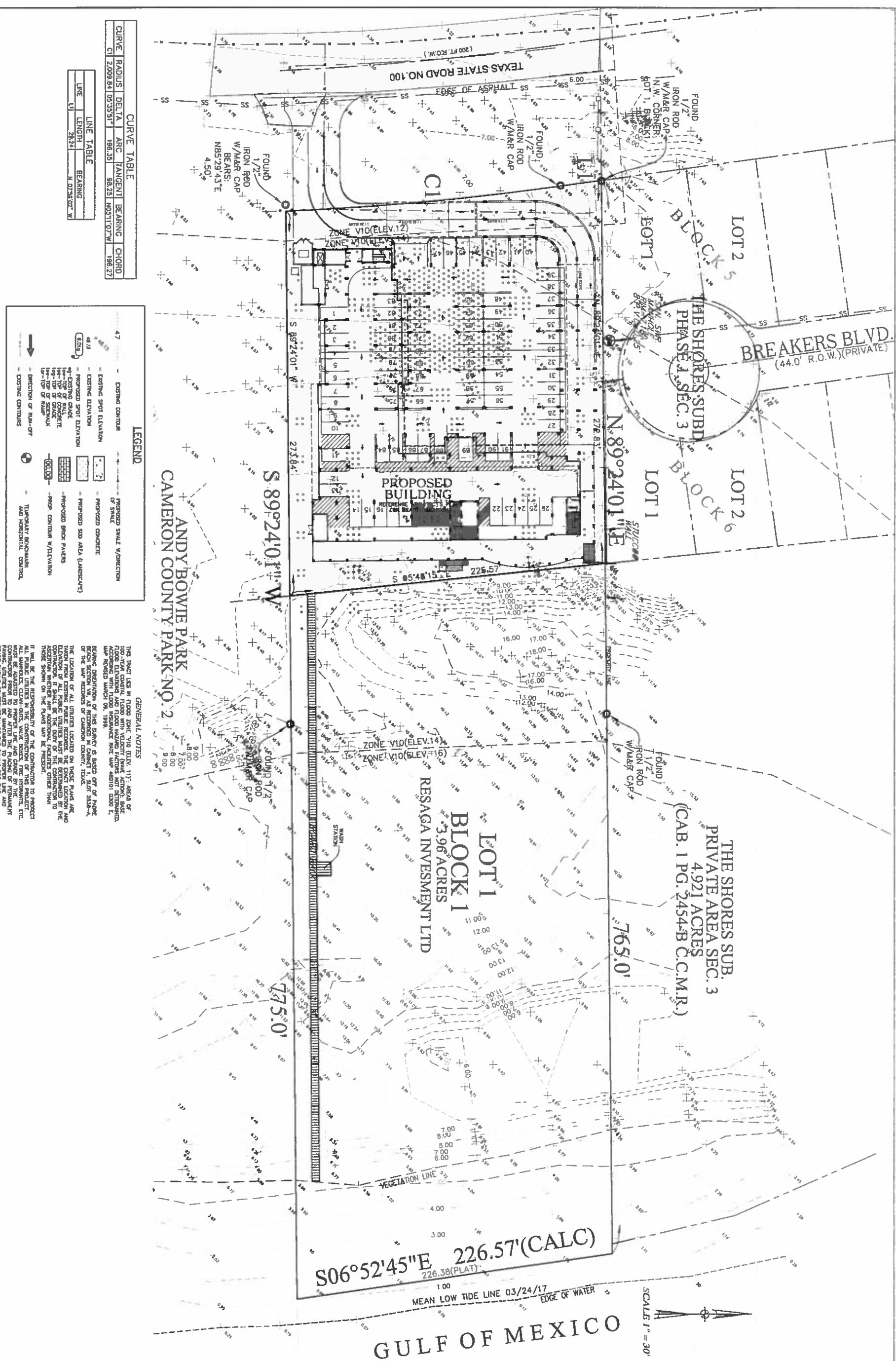
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**ENGINEERING  
& SURVEYING**

4-190 6305 Paradise Lane Road 78326  
TYPE FIRM No. F-5197 FAX (956) 374-8303

CONTRACTOR SHALL CONTACT THE FOLLOWING UNITS

DIG TESS:  
DIG TESS:  
1-800-344-8377  
B11

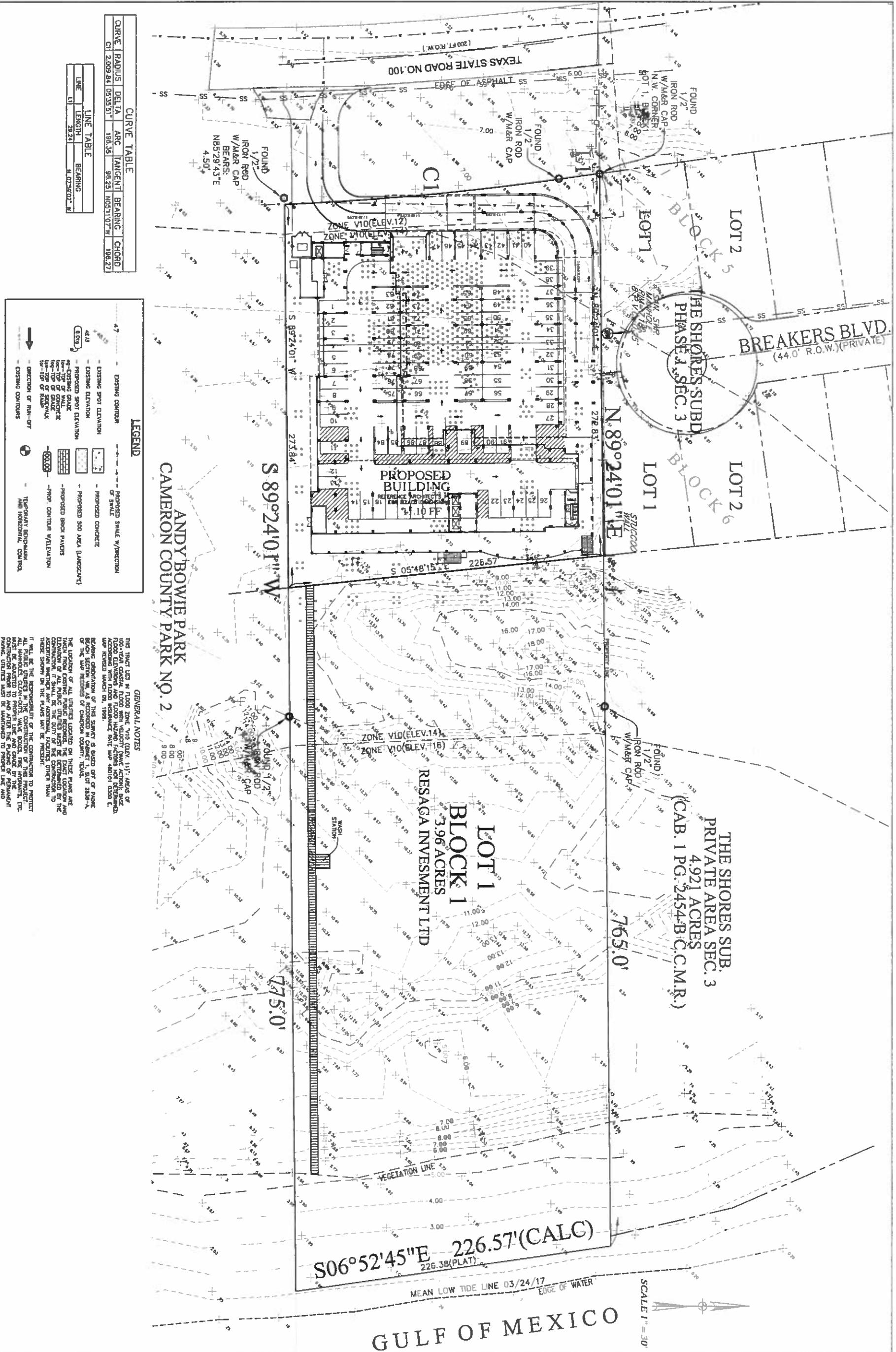


HAMPTON INN  
& SUITES  
SOUTH PADRE ISLAND, TEXAS  
GRADING DRAINAGE  
AND UTILITY PLAN  
PROPERTY LINE

**AGH** ENGINEERING & SURVEYING  
P.O. BOX 4180 Brownsville, Texas 78523-4180  
Tel. (956) 574-8300 6305 Pardon Line Road 78526  
TYPE FIRM No. F-5197 FAX. (956) 574-8300  
TITLE FIRM No. 100840-00

Unit	
Designed	F.H.
Drawn	AGH
Scale:	Horz. AS SHOWN
	Vert. N/A
Checked	M.H.
Approved	F.H.
Date NOVEMBER, 2017	
Job No. W2016-0257	

**CONTRACTOR SHALL CONTACT THE FOLLOWING UTILITY COMPANIES 48 HOURS PRIOR TO CONSTRUCTION:**  
**DIG TESS: 1-800-344-9377**  
**DIG TEES: 811**



HAMPTON INN  
& SUITES  
SOUTH PADRE ISLAND, TEXAS  
GRADING DRAINAGE  
AND UTILITY PLAN  
PROPERTY LINE

AGH

P.O. Box 4100 Brownsville, Texas 78523-4100  
Tel. (956) 574-2300

---

**ENGINEERING  
& SURVEYING**

6305 Paredes Lane Road 78326  
FAX (956) 574-8303

Unit F.H.  
Designed AGH  
Drawn Horz. AS SHOWN  
Scale Vert. N/A  
Checked M.H.  
Approved F.H.  
Date NOVEMBER, 2017  
Job No. W2016-0257

CONTRACTOR SHALL CONTACT THE FOLLOWING UTILITY  
COMPANIES 48 HOURS PRIOR TO CONSTRUCTION:  
DIG TESS:  
1-800-344-8377  
811



LOT 2  
LOT 2  
LOT 1

**THE SHORES SUB.  
PRIVATE AREA SEC. 3  
4.921 ACRES  
(CAB. 1 PG. 2454-B C.C.M.R.)**

NO.	DATE	REVISION	APPROV.

LEGEND	
- - - - -	EXISTING CONTOUR
- - - - -	EXISTING EDGE OF ASPHALT
— — — — —	PROPOSED CURB
— — — — —	REINFORCED FILTER BARRIER (RFB)
— — — — —	BALED HAY
— — — — —	LIMITS OF CONSTRUCTION

**THE SHORES SUB.  
BLOCK 1  
3.96 ACRES**

**LOT 1  
BLOCK 1  
3.96 ACRES**

**RESAGA INVESTMENT LTD**

1. IT IS THE INTENT OF THE INFORMATION PROVIDED ON THIS SHEET AND WITHIN THE SPECIFICATIONS TO BE USED AS THE GENERAL GUIDELINES OF THE STORM WATER POLLUTION PREVENTION PLAN FOR THIS PROJECT TO ESTABLISH A LOW-IMPACT DESIGN. THE CONTRACTOR SHALL PREPARE THE STORM WATER POLLUTION PREVENTION PLAN AND BE SOLELY RESPONSIBLE FOR ITS IMPLEMENTATION.
2. THE STORM WATER POLLUTION PREVENTION PLAN SHALL BE ACCOMPLISHED BY THE CONTRACTOR WITHIN 30 DAYS OF COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR MAY NOT COMMENCE CONSTRUCTION UNTIL THE STORM WATER POLLUTION PREVENTION PLAN HAS BEEN APPROVED BY THE OWNER.
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15. THE CONTRACTOR SHALL PROVIDE A REINFORCED FILTER BARRIER (RFB) AS SHOWN ON THIS SHEET.
16. THE CONTRACTOR SHALL PROVIDE A BALED HAY BARRIER ONLY AND MAY NOT USE THE CONTRACTOR'S OWN HAY. BALED HAY BARRIERS ONLY AND MAY NOT BE SUPPORTED BY THE CONTRACTOR.

CURVE TABLE			
CURVE	RADIUS	DETA	ARC TANGENT BEARING CHORD
CI	209.84	053551°	198.35 98.25 N051107W 198.27

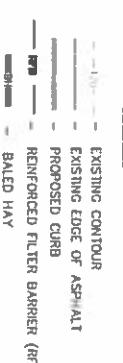
LINE	LENGTH	BEARING
L1	29.24	N 073802° W

Unit Designated	F.H.	AGH
Scrub	Horiz. AS SHOWN	
Checked	Vert. N/A	M.H.
Approved		F.H.

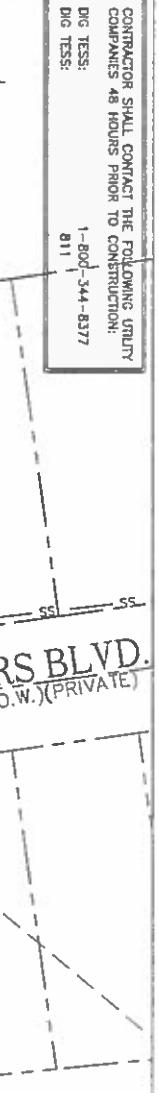
Date NOVEMBER, 2017

Job No. W2016-0257

- - - - - EXISTING CONTOUR  
— - - - - PROPOSED CURB  
— — — — — INLET PROTECTION  
— — — — — REINFORCED FILTER BARRIER (RFB)  
— — — — — BALED HAY  
— — — — — LIMITS OF CONSTRUCTION



Sheet	Page	of
C6	1	1



LOT 2  
LOT 2  
LOT 1

**ANDY BOWIE PARK  
CAMERON COUNTY PARK NO. 2**

**LOT 1  
BLOCK 1  
3.96 ACRES**

**RESAGA INVESTMENT LTD**

1. THE LENGTH OF THE INFORMATION PROVIDED ON THIS SHEET AND WITHIN THE SPECIFICATIONS TO BE USED AS THE GENERAL GUIDELINES OF THE STORM WATER POLLUTION PREVENTION PLAN FOR THIS PROJECT TO ESTABLISH A LOW-IMPACT DESIGN. THE CONTRACTOR SHALL PREPARE THE STORM WATER POLLUTION PREVENTION PLAN AND BE SOLELY RESPONSIBLE FOR ITS IMPLEMENTATION.
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LOT 2  
LOT 2  
LOT 1

**HAMPTON INN & SUITES  
SOUTH PADRE ISLAND, TEXAS  
SUGGESTED EROSION CONTROL PLAN**

**LOT 1  
BLOCK 1  
3.96 ACRES**

**RESAGA INVESTMENT LTD**

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LOT 2  
LOT 2  
LOT 1

**IMPERIAL REINFORCED FILTER BARRIER (REFB)**

**LOT 1  
BLOCK 1  
3.96 ACRES**

**RESAGA INVESTMENT LTD**

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LOT 2  
LOT 2  
LOT 1

**ANDY BOWIE PARK  
CAMERON COUNTY PARK NO. 2**

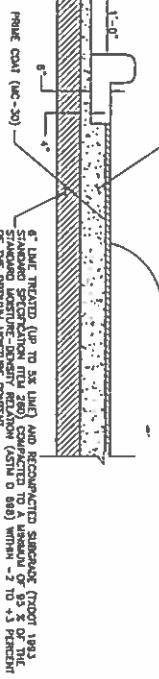
**LOT 1  
BLOCK 1  
3.96 ACRES**

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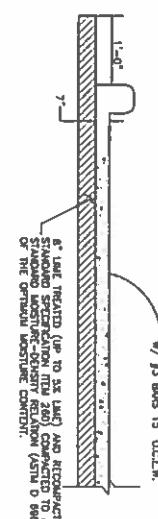
6" FLX-BASE MATERIAL

2" HOT-MIX ASPHALT CONCRETE PAVEMENT



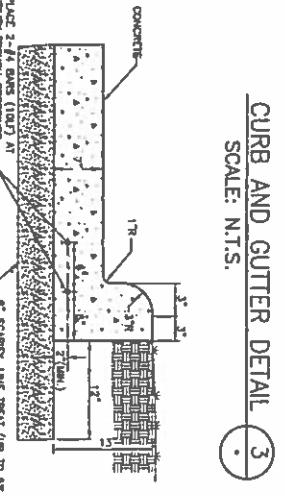
### TYPICAL LIGHT DUTY ASPHALT SECTION ①

SCALE: N.T.S.



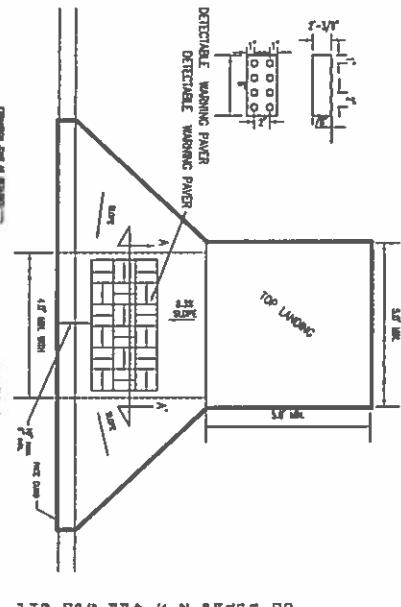
### TYPICAL HEAVY DUTY CONCRETE SECTION ②

SCALE: N.T.S.



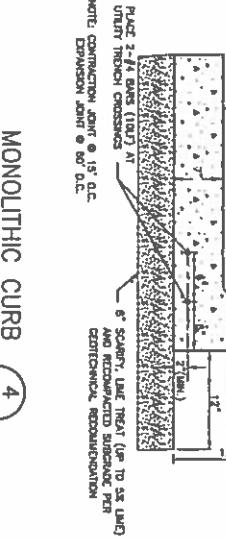
### CURB AND GUTTER DETAIL ③

SCALE: N.T.S.



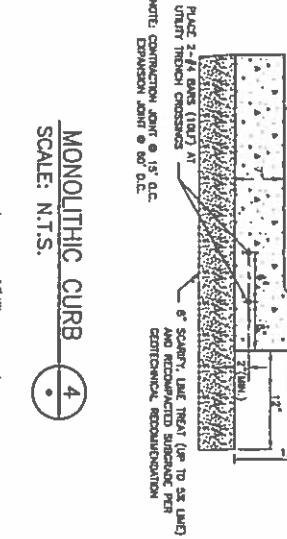
### PARKING LOT BUMPER CURB ⑨

SCALE: N.T.S.



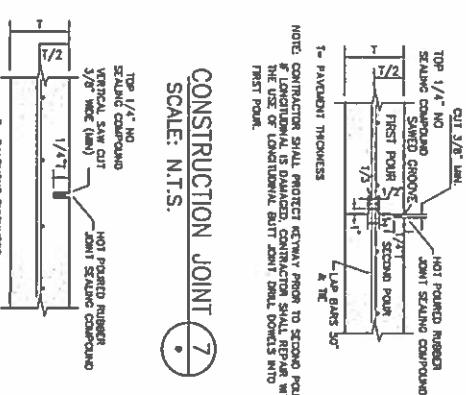
### VALLEY GUTTER SECTION ⑭

SCALE: N.T.S.



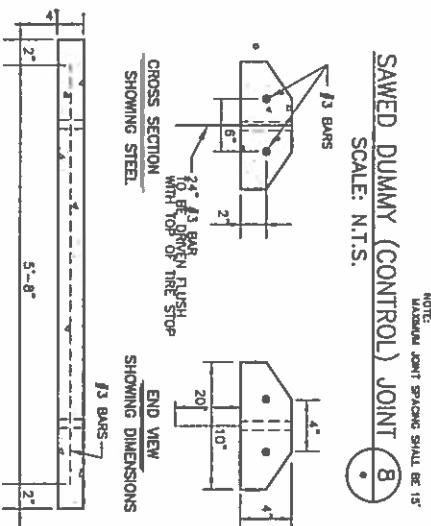
### CONSTRUCTION JOINT ⑦

SCALE: N.T.S.



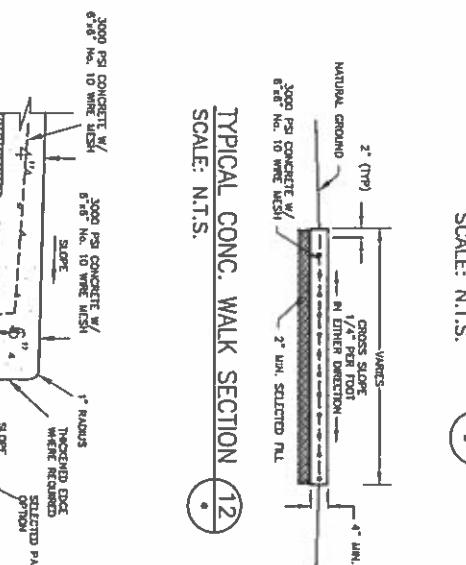
### SAWED DUMMY (CONTROL) JOINT ⑧

SCALE: N.T.S.



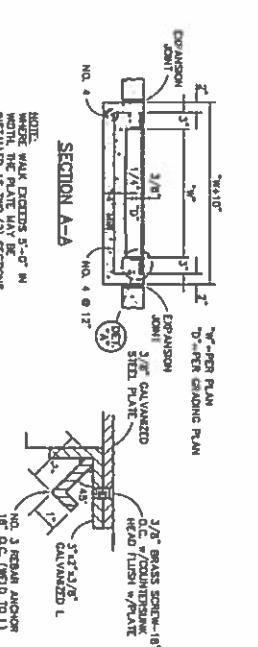
### TYPICAL CONC. WALK SECTION ⑫

SCALE: N.T.S.



### STREET END BARRICADE ⑯

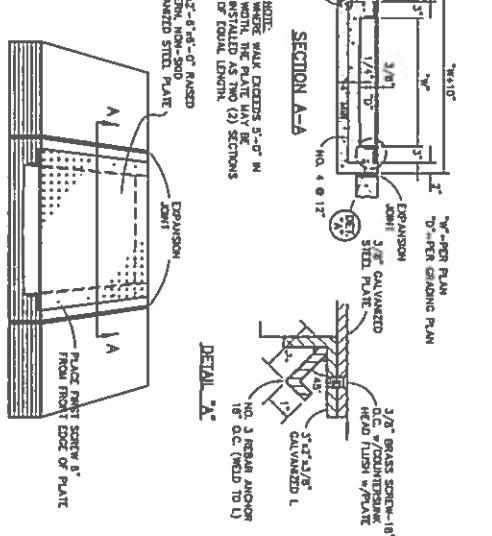
SCALE: N.T.S.



### SECTION A-A

### FLUME AT SIDEWALK ⑰

SCALE: N.T.S.



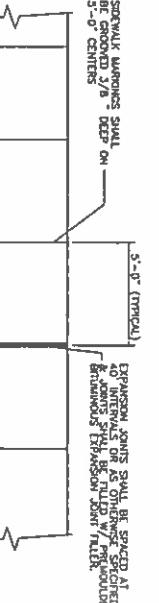
### DETAIL A-A

REVISION

DATE

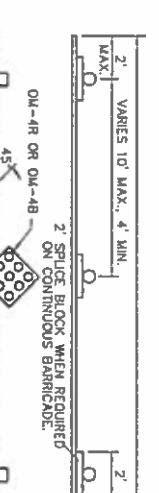
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APPROV



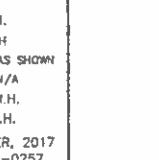
### SIDEWALK PLAN ⑪

SCALE: N.T.S.



### VALLEY GUTTER SECTION ⑮

SCALE: N.T.S.



### PARKING CONTROL SIGN DETAIL ⑯

SCALE: N.T.S.

F.H.  
AGH  
Hors AS SHOWN  
Scale:  
Vert. N/A  
M.H.  
F.H.  
Approved  
Date NOVEMBER, 2017  
Job No. W2016-0257

REVISION

DATE

NO.

APPROV

HAMPTON INN & SUITES  
SOUTH PADRE ISLAND, TEXAS  
PAVING DETAILS

AGH

Engineering & Surveying

TYPE FIRM No. E-5197

TELE FIRM No. 10094000

P.O. BOX 4100 Brownsville, Texas 78523-4100  
Tel (956) 574-8300

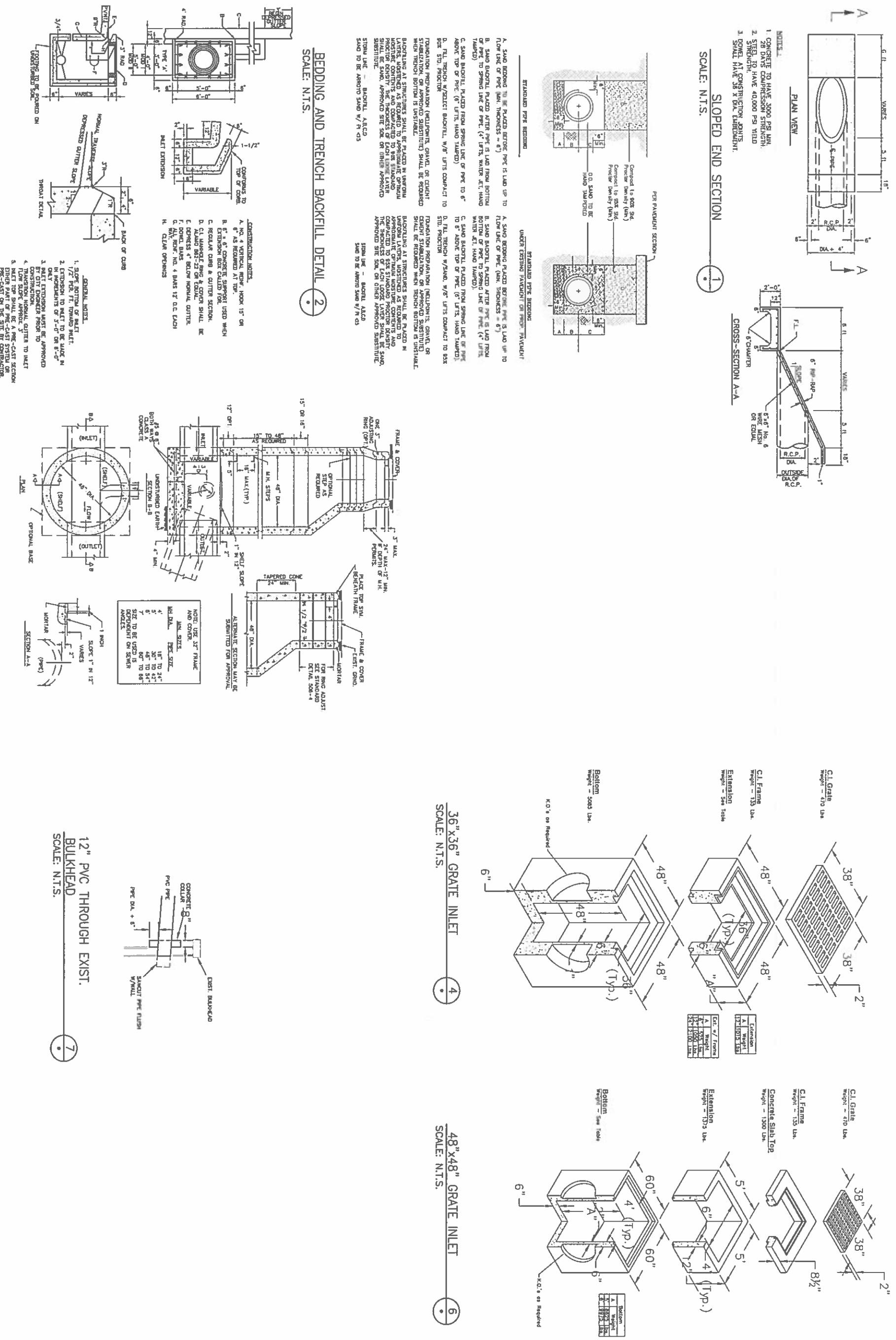
FAX (956) 574-8303

REVISION

DATE

NO.

APPROV



HAMPTON INN & SUITES  
SOUTH PADRE ISLAND, TEXAS  
DRAINAGE DETAILS

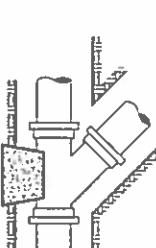
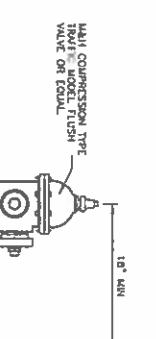
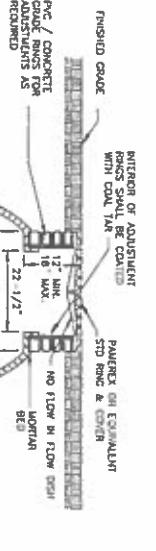
AGH

P.O. BOX 4100 Brownsville, Texas 78521-4100  
Tel (956) 574-8300

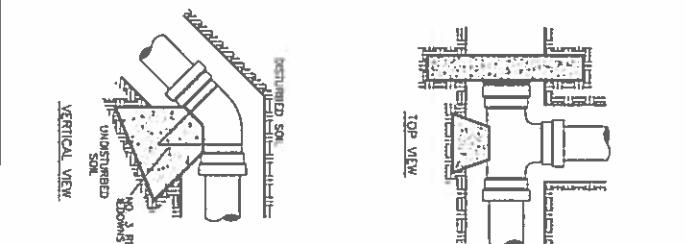
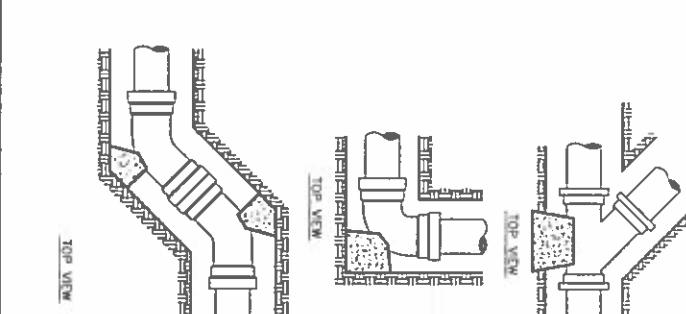
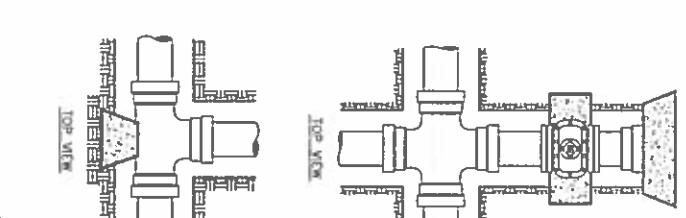
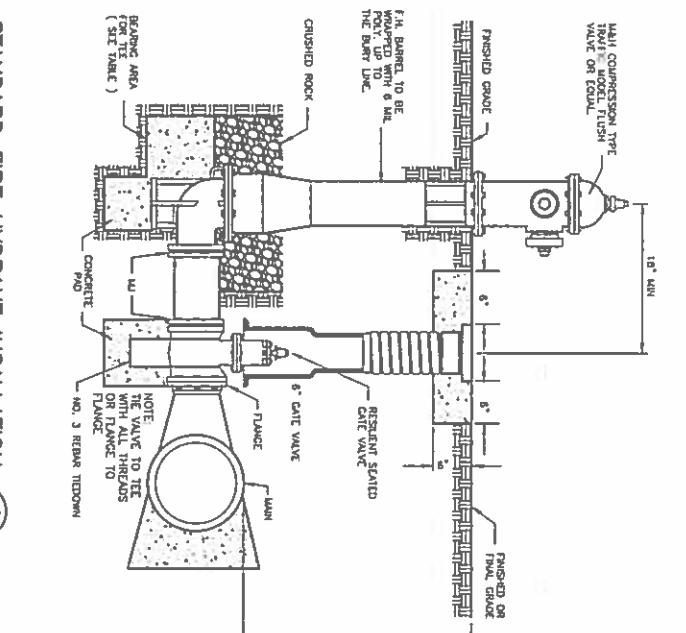
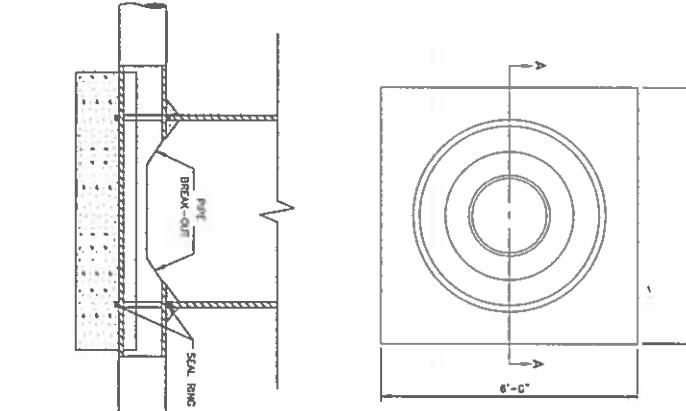
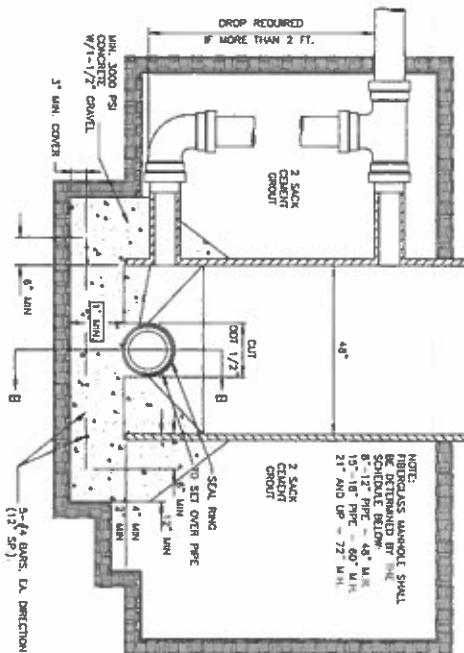
ENGINEERING & SURVEYING  
P.O. Box 4100 Brownsville, Texas 78521-4100  
Tel (956) 574-8300  
TIPS FIRM No. F-3197  
TELS FIRM No. 100640-00

Unit Designed	F.H.
Drawn	AGH
Horz. AS SHOWN	
Scale	
Vert. N/A	
Checked	M.H.
Approved	F.H.
Date	
Revision	
APPROV.	

NO. DATE APPROV.

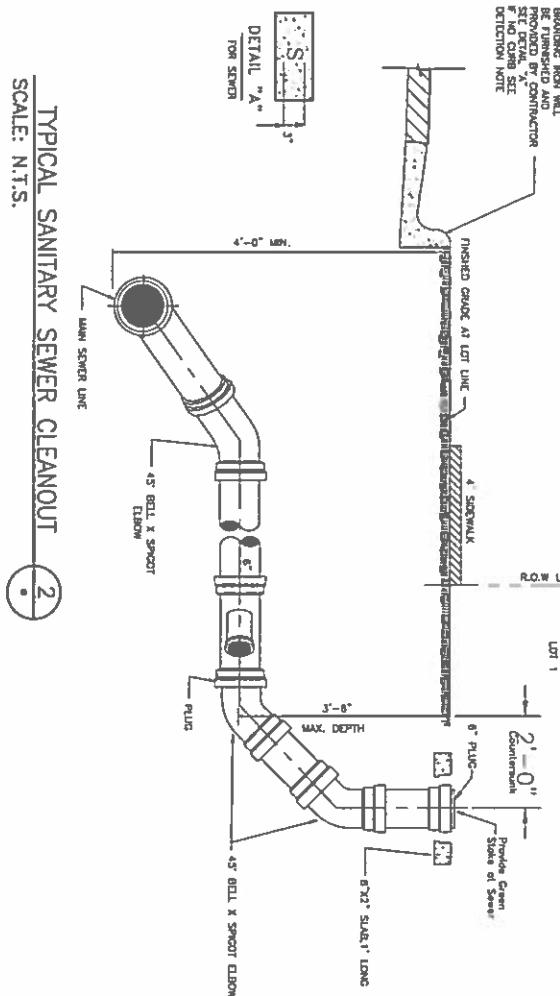


Unit	Designed	F.H.
Drawn	AGH	
Scale	AS SHOWN	
Checked	M.H.	
Approved	F.H.	
Date	NOVEMBER, 2017	
Job No.	W2016-0257	



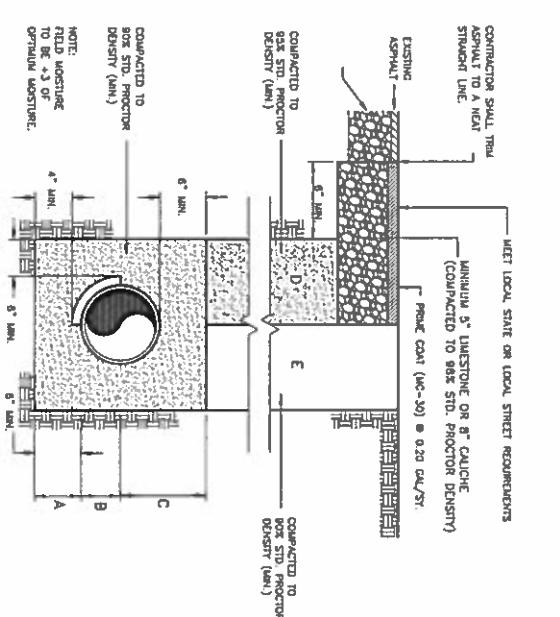
### TYPICAL FIBERGLASS MANHOLE WITH DROP STRUCTURE

SCALE: N.T.S.



### STANDARD FIRE HYDRANT INSTALLATION

SCALE: N.T.S.



PIPE SIZE	GENERAL DATA FOR BLOCKING STANDARD FITTING				
	THRUST IN TENSILE, BENDING, TORSION, PERS AND BEARING				
PLUG	TEE	90° BEND	45° BEND	22-1/2° BEND	11 1/4° BEND
4"	0.63	0.63	0.66	0.46	0.25
5"	1.40	1.40	2.00	1.08	0.55
6"	2.50	2.50	3.95	1.92	0.99
7"	3.93	3.93	6.66	3.00	1.53
8"	5.63	5.65	8.00	4.33	2.21
10"	7.70	7.70	10.88	5.60	3.00
12"	10.05	10.05	14.21	7.60	3.85
15"	12.70	12.70	17.80	8.74	4.96
18"	15.71	15.71	22.22	12.02	6.13
24"	22.67	22.67	32.00	17.31	8.63
27"	26.63	26.63	40.46	21.91	11.17
30"	30.35	30.35	50.00	27.00	13.79
36"	50.90	50.90	72.98	38.85	19.90
42"	69.27	69.27	97.97	53.02	27.05
45"	90.48	90.48	127.95	69.25	35.30
54"	114.51	114.51	161.94	87.64	44.68
					22.48

### THRUST BLOCK DETAILS

SCALE: N.T.S.

GENERAL DATA FOR BLOCKING STANDARD FITTING					
THRUST IN TENSILE, BENDING, TORSION, PERS AND BEARING					
PIPE SIZE	PLUG	TEE	90° BEND	45° BEND	22-1/2° BEND
4"	0.63	0.63	0.66	0.46	0.25
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8"	5.63	5.65	8.00	4.33	2.21
10"	7.70	7.70	10.88	5.60	3.00
12"	10.05	10.05	14.21	7.60	3.85
15"	12.70	12.70	17.80	8.74	4.96
18"	15.71	15.71	22.22	12.02	6.13
24"	22.67	22.67	32.00	17.31	8.63
27"	26.63	26.63	40.46	21.91	11.17
30"	30.35	30.35	50.00	27.00	13.79
36"	50.90	50.90	72.98	38.85	19.90
42"	69.27	69.27	97.97	53.02	27.05
45"	90.48	90.48	127.95	69.25	35.30
54"	114.51	114.51	161.94	87.64	44.68
					22.48

GENERAL DATA FOR BLOCKING STANDARD FITTING

THRUST IN TENSILE, BENDING, TORSION, PERS AND BEARING

PIPE SIZE

PLUG

TEE

90° BEND

45° BEND

22-1/2° BEND

### TYPICAL SANITARY SEWER CLEANOUT

SCALE: N.T.S.



DETAIL "A"

FOR SENDER

MAIN SEWER LINE

ALL VALVE LOCATIONS

45° BELL X SPOT

ELBOW

PLUG

6" PLUG

Size of Cleanout

Contractor shall install

straight to a neat

surface.

SEE DETAIL "A"

NOTICE:

FIELD MOISTURE

TO BE +3 OF

OPTIMUM MOISTURE.

NOTICE:

FIELD MOISTURE

TO BE STD. PROCTOR

DENSITY (INCH)

NOTICE:

FIELD MOISTURE

TO BE STD. PROCTOR

DENSITY (INCH)

NOTICE:

FIELD MOISTURE

TO BE STD. PROCTOR

DENSITY (INCH)

NOTICE:

FIELD MOISTURE

TO BE STD. PROCTOR

DENSITY (INCH)

NOTICE:

FIELD MOISTURE

TO BE STD. PROCTOR

DENSITY (INCH)

NOTICE:

FIELD MOISTURE

TO BE STD. PROCTOR

DENSITY (INCH)

NOTICE:

FIELD MOISTURE

TO BE STD. PROCTOR

DENSITY (INCH)

NOTICE:

FIELD MOISTURE

TO BE STD. PROCTOR

DENSITY (INCH)

NOTICE:

FIELD MOISTURE

TO BE STD. PROCTOR

DENSITY (INCH)

NOTICE:

FIELD MOISTURE

TO BE STD. PROCTOR

DENSITY (INCH)

NOTICE:

FIELD MOISTURE

TO BE STD. PROCTOR

DENSITY (INCH)

NOTICE:

FIELD MOISTURE

TO BE STD. PROCTOR

DENSITY (INCH)

NOTICE:

FIELD MOISTURE

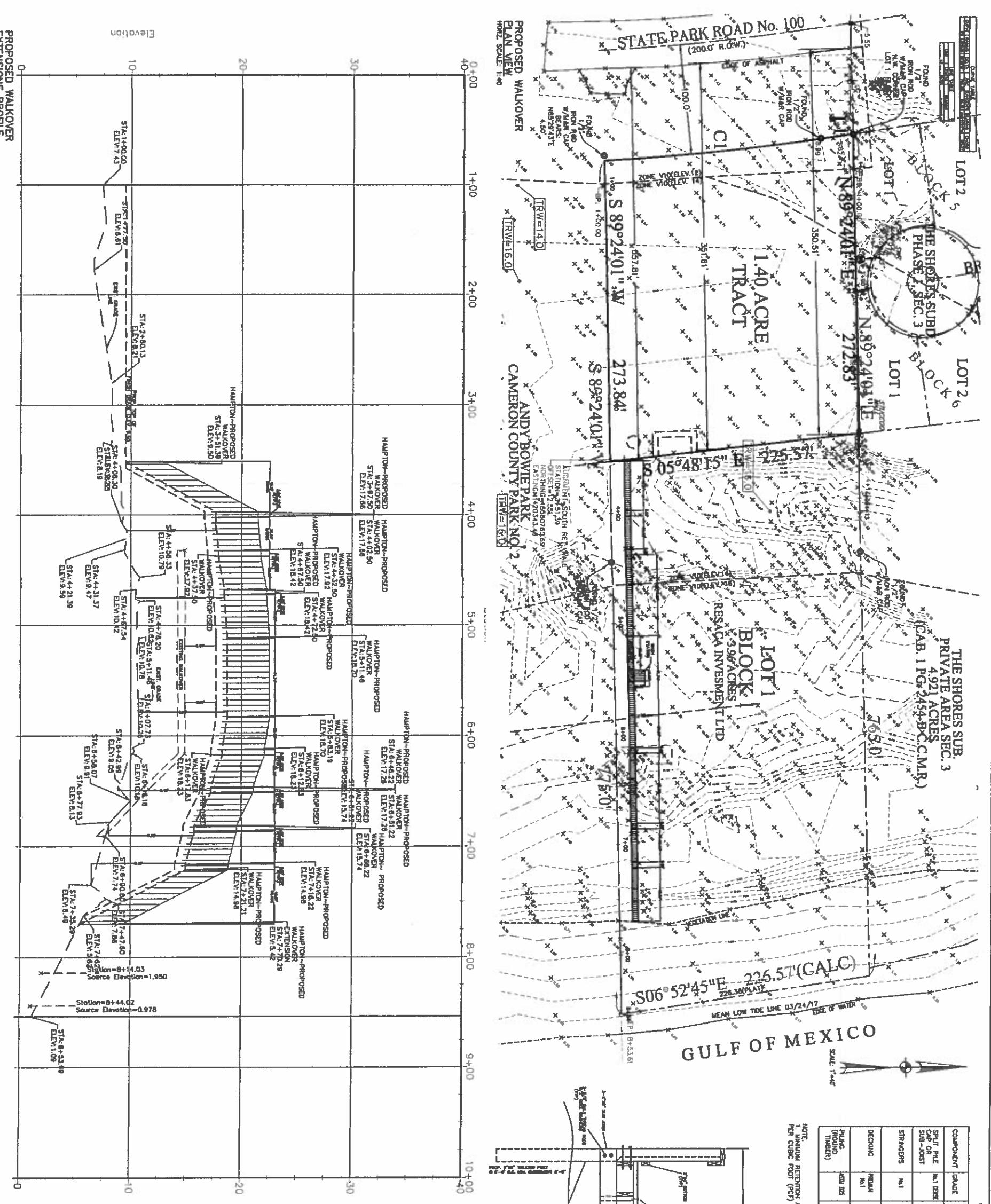
TO BE STD. PROCTOR

DENSITY (INCH)

NOTICE:

FIELD MOISTURE

TO BE STD.



1 MINIMUM RETENTION ASSAY (E.G. RETENTION .80) EXPRESSED AS POUNDS OF PRESERVATIVE PER CUBIC FOOT (PCF) OF WOOD.

COMPONENT	GRADE	SURFACE TONE	MOISTURE CONTENT	PRESERVATIVE RETENTION, SALTWATER
SPLIT PILE CAP OR SUB-JOIST	MUL. DENSE	SABLOON	5-DRY 1%	AD ADD. 3% CO. AD COA OR 120 OZONE ADM USA, SE, SC 100% (SALT WATER SPLASH)
STRANGERS	No.1	50% DRY	5-DRY 1%	AD ADD. 3% CO. AD COA OR 120 OZONE ADM USA, SE, SC 100% (SALT WATER SPLASH)
DECKING	PROMIN No.1	RDD SAS	5-DRY 1%	ADM COA, ADM ADM USA & C18
PLUNG (ROUND TIMBER)	ADM 105	N/A	40-25% OR LESS	10 COA, 200 OZONE (ADM, SE, SC & C18) 10 COA & 200 OZONE (USA, SE, SC & C18)

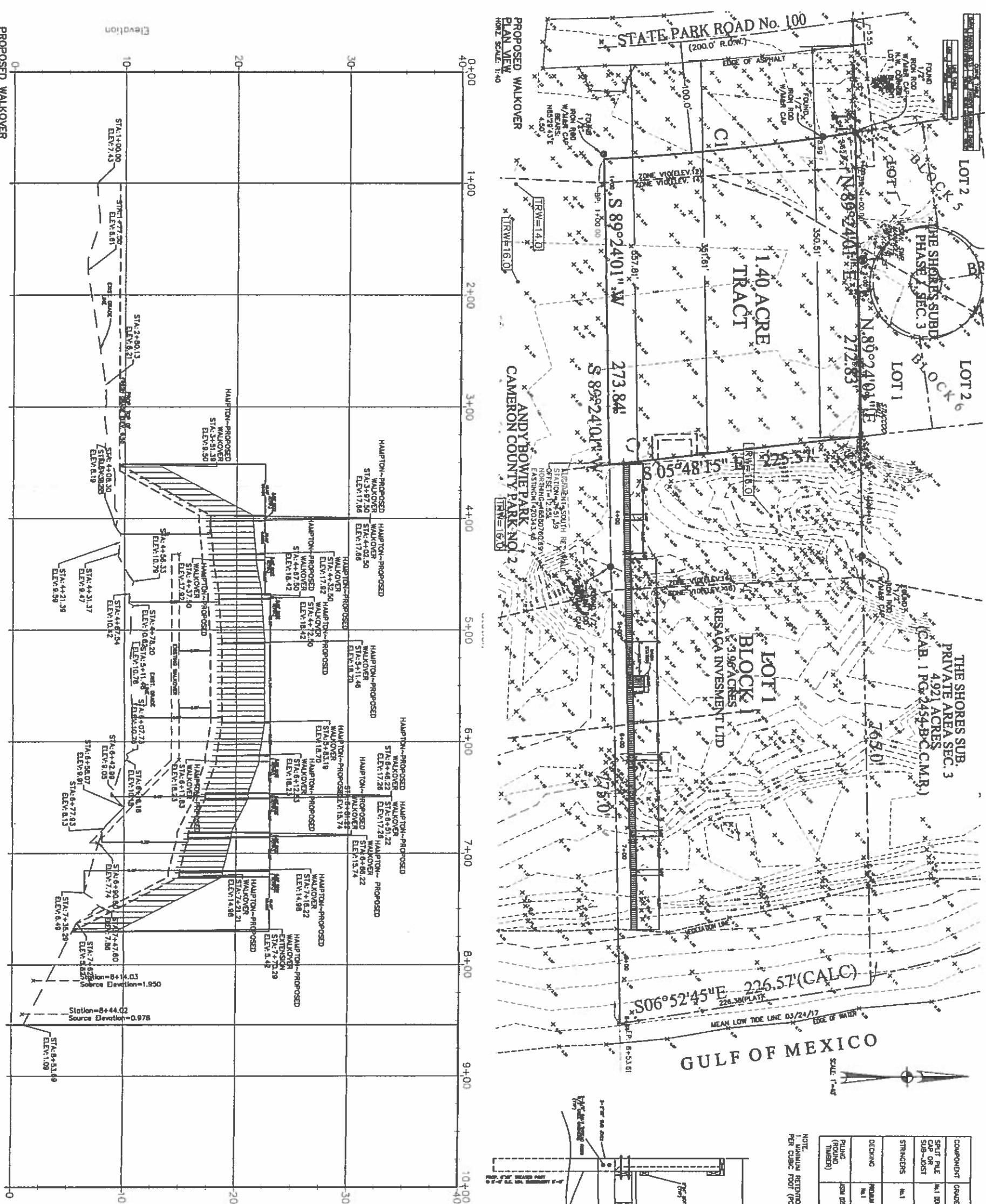


HAMPTON INN  
& SUITES  
SOUTH PADRE ISLAND, TEXAS

## **PROPOSED WALKOVER**

AGH

**ENGINEERING & SURVEYING**  
P.O. BOX 4100 • BIRMINGHAM, AL 35241-4100 • 800-544-2323  
Tlx 710435-232300 • FAX 710435-2323



PER CUBIC FOOT (PCF) OF WOOD.

COMPONENT	GRADE	SERVICE TIME	WATER CONTROL	PRESERVATIVE RETENTION SALTWATER
SPLIT PILE CAP OR SUB-DIST	No. 1 DECKING	SABUCH	5-70 yrs ON LESS	AD. ADD. 31 C. 60 CO. & 112 CRUSCO ADM. USA. 50. 50. 50. 50. 50. 50. 50. 50. 50.
STRINGS	No. 1	50/52	5-70 yrs ON LESS	AD. ADD. 31 C. 60 CO. & 112 CRUSCO ADM. USA. 50. 50. 50. 50. 50. 50. 50. 50. 50.
DECKING	NOTCH No. 1	800 500	5-70 yrs ON LESS	ADM. 31CA. ADM. ADM. 42CA. 61CA.
PILING (ROUND TIMBER)	ASST. SIZE	4/4	10-250 yrs ON LESS	21 COA 240 CRUSCO 50. 50. 50. 50. 10 COA & 200 CRUSCO 50. 50. 50. 50.

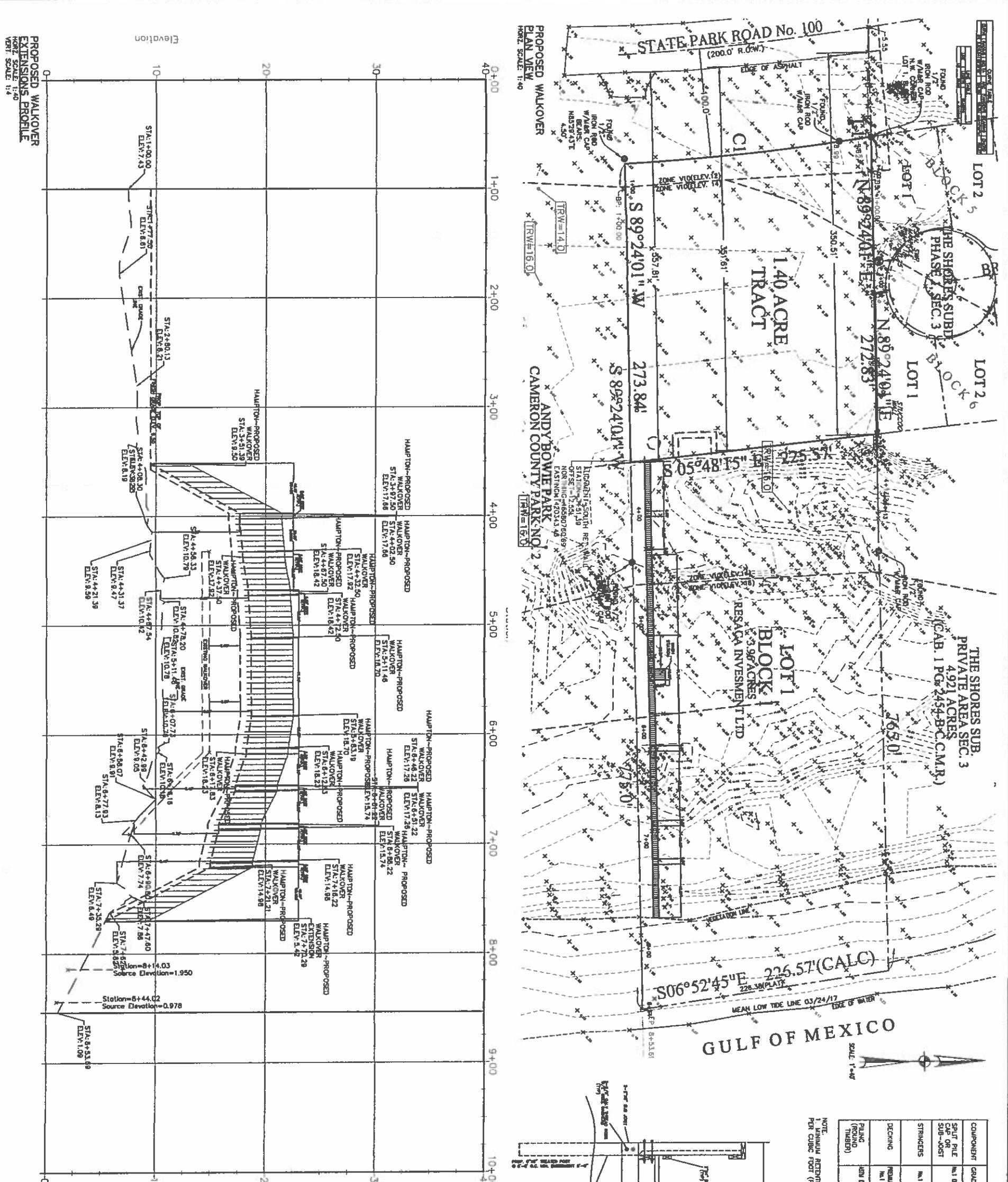


HAMPTON INN  
& SUITES  
SOUTH PADRE ISLAND, TEXAS

## **PROPOSED WALKOVER**

**AGH**  
ENGINEERING & SURVEYING

**ENGINEERING & SURVEYING**  
P.O. Box 4200 Beaumont, Texas 77424-4200  
Tel (409) 874-6300 FAX (409) 874-6305  
E-Mail [ESB@AOL.COM](mailto:ESB@AOL.COM)



Unit	State Type / FHL	Permit No. Date Issued	Date 08-11-2017
Designated F.H.	Chaired F.H.	Att. No.	W2016-0257
Green AGR	Approved AS SHOWN	Sheet	1 of 1
4			
3			
2			
1	REMOVE PROPOSED RETAINING WALL	08/11/17	



HAMPTON INN  
& SUITES  
SOUTH PADRE ISLAND, TEXAS

**PROPOSED  
WALKOVER**

AGH

**ENGINEERING & SURVEYING**  
P.O. BOX 41950 Mississauga, Ont. L4W 2S6  
Tel. (905) 274-6360

**Item No. 7**

**CITY OF SOUTH PADRE ISLAND  
SHORELINE TASKFORCE  
MEETING  
AGENDA REQUEST FORM**

**MEETING DATE:** April 23, 2018

**NAME & TITLE:** Brandon Hill, Shoreline Director

**DEPARTMENT:** Shoreline department

**ITEM**

Discussion and action to recommend to City Council the approval of a Beach and Dune Permit for 1010 Padre Boulevard South Padre Island Texas. (Hill)

**ITEM BACKGROUND**

The applicant wants to replace and extend beach mats (Mobi mats) at two existing walkways, extending them to the Line of Vegetation.

**BUDGET/FINANCIAL SUMMARY**

None

**COMPREHENSIVE PLAN GOAL**

Chapter III. Parks and Resources

GOAL 1: The City shall ensure protection and conservation of natural resources, such as beaches, dunes, wetlands, Laguna Madre waterfront and native flora and fauna, allowing for their sustainable use and enjoyment by future generations.

Objective 1.1 Beach and dunes shall be protected from both natural and artificial erosion.

**LEGAL REVIEW**

Sent to Legal: YES: \_\_\_\_\_ NO: X  
Approved by Legal: YES: \_\_\_\_\_ NO: X

Comments:

**RECOMMENDATIONS/COMMENTS**

Staff recommends the approval.



**TEXAS GENERAL LAND OFFICE**  
GEORGE P. BUSH, COMMISSIONER

April 18, 2018

**Via Electronic Mail**

Brandon Hill  
Shoreline Management Director  
City of South Padre Island  
4601 Padre Blvd.  
South Padre Island, Texas 78597-3410

**Beachfront Construction Certificate & Dune Protection Permit in the City of South Padre Island**

**Site Address:** 1000 and 1010 Padre Boulevard, South Padre Island

**Legal Description:** Sunchase Condos, Apt 100, Padre Island Unsubdivided Lot AN-7, Block A

**Lot Applicant:** Raul Lopez

**GLO ID No.:** BDSPI-18-0074

Dear Mr. Hill:

The General Land Office (GLO) has reviewed the application for a dune protection permit and beachfront construction certificate for the above-referenced location. The applicant proposes to place additional Mobi-mats in two existing beach access pathways without causing adverse effects to dunes and dune vegetation. Mobi-mats will not extend beyond the line of vegetation. According to the Bureau of Economic Geology, the area is considered accreting.

Based on the application materials forwarded to our office for review, we have the following comments:

- The permit applicant is not consistent with ownership records found in the Cameron County Central Appraisal District (CAD) system. The City must ensure the legal owner of the property has authorized the proposed construction prior to issuing the beachfront construction certificate and dune protection permit.
- During construction activities, the applicant must avoid any adverse effects to dunes or dune vegetation.<sup>1</sup>
- The proposed Mobi-mat placement must not result in the potential for increased flood damage to the proposed construction site or adjacent property, result in runoff or drainage patterns that aggravate erosion, adversely effect dune complexes or dune vegetation, or significantly increase the potential for washovers or blowouts to occur.<sup>2</sup>

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<sup>1</sup> 31 Tex. Admin. Code § 15.4(f)(3).

<sup>2</sup> 31 Tex. Admin. Code § 15.4(d).

If you have any questions, please contact me at (512) 463-0413 or at [natalie.bell@glo.texas.gov](mailto:natalie.bell@glo.texas.gov).

Sincerely,

A handwritten signature in black ink that reads "Natalie Bell". The signature is fluid and cursive, with "Natalie" on top and "Bell" below it.

Natalie Bell  
Beach Access & Dune Protection Program  
Coastal Resources Division  
Texas General Land Office

## MEMORANDUM

TO: Shoreline Task Force  
Natalie Bell, General Land Office

FROM: Brandon N. Hill, Shoreline Department Director

DATE: April, 11 2018

RE: Preliminary determination on proposed Mobi-mat addition to 1000 and 1010 Padre Blvd,  
South Padre Island Tx 78597

The enclosed application materials present plans for the placement of beach mats in the location of the previous mats. This application is to extend the mats to the line of vegetation. There are 5 mats on both the north and the South paths. Three more mats will be added to each path. As suggested by Brandon Hill, Shoreline Director, the next two mats will follow the current path and the third mat will be angled north on the current path. The area on the Gulf side of the mat will then be fenced off to allow the dunes to develop protective vegetation.

With consideration given to conformance with TAC regulations our preliminary determination is that:

1. The proposed activity will not reduce the size of the public beach. [TAC 15.5 (b)(1)]
2. The proposed activity does not appear to involve construction upon the public beach. [TAC 15.5 (c)(1)]
3. The proposed activity will not encroach upon the public beach. [TAC 15.5 (c)(1)]

With consideration given to the City's *Dune Protection and Beach Renourishment and Access Plan* [B&D Ord. Section 22-10]:

1. The proposed activity will not result in the potential for increased flood damage to the subject property or adjacent properties.
2. The proposed activity will not result in run-off or drainage patterns that aggravate erosion on and off the site.
3. The proposed activity will cause no changes to the existing dune hydrology east of the Historic Building Line.
4. The proposed activity will result in no adverse effects on dune complexes of vegetation.
5. The proposed activity will not significantly increase the potential for washover or blowouts.



---

Brandon N. Hill



# Beach & Dune Application

City of South Padre Island  
4601 Padre Blvd.  
South Padre Island, TX 78597  
Phone: (956) 761-3044  
Fax: (956) 761-3898

## Site for Proposed Work

Legal Description: \_\_\_\_\_ See attached. Physical Address: \_\_\_\_\_ 1000 and 1010 Padre Blvd., South Padre Island TX 78597

### Property Owner Information

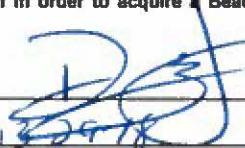
Name: Sunchase I, II, III, (aka Beachfront) and Sunchase IV  
Mailing Address: 1010 Padre Blvd.  
City: South Padre Island State: Texas  
Zip: 78597 Country: United States  
Phone Number: 956-761-1660  
Fax Number: 956-761-1401  
E-Mail Address: info@sunchasebeachfrontcondos.com

### Applicant / Agent for Owner

Name: Raul Lopez, complex Manager  
Mailing Address: 1010 Padre Blvd.  
City: South Padre Island State: Texas  
Zip: 78597 Country: United States  
Phone Number: 956-761-1660  
Fax Number: \_\_\_\_\_  
E-Mail Address: raul@bizrgv.rr.com

I / We, owners of the above-mentioned property, authorize the applicant stated above, to act in my behalf in order to acquire a Beach and Dune permit for the construction proposed below. (owner initials here) \_\_\_\_\_

Owner(s) Signature(s):   
Date: 05-25-08

Applicant Signature:   
Date: 05-25-08

### Project Description

Describe with as much as detail as possible, the construction proposed. If more room is needed, please include an additional page. Include the number of habitable units, amenities, swimming pools, fences, kinds of fences, whether footings and/or retaining walls will be installed, and locations of proposed landscaping and parking.

Replace the beach mats in the location of the previous mats. The mats in the picture were recently replaced and before we knew to request a permit for the replacement.

This application is to extend the mats to the length of the original mats which went to the edge of the dune vegetation. There are 5 mats on both the north and the south paths.

Three more mats should be added to each path. As suggested by Brandon Hill, Shoreline Management Director, the first two mats will follow the current path and the

third mat will be angled north on the current path. The area on the Gulf side of the mat will then be fenced off to allow the dunes to develop protective vegetation.

Total Square Footage of Footprint of Habitable Structure: \_\_\_\_\_ 0

Total Area of Impervious Surface (i.e. retaining walls, walkways, drives, patios, etc.): \_\_\_\_\_ 0

Percentage Impervious Surface ((impervious surface / habitable footprint)\* 100): \_\_\_\_\_ 0

Please Note: the percentage of impervious surface cannot exceed 5% in an eroding area.

Approximate Duration of Construction: \_\_\_\_\_ A few hours by the complex staff. This will be done ASAP once the permit is received and the mats acquired.

## Financial Plan for the Removal of All Hard Structures

All properties which are allowed to build retaining walls on their property are allowed to do so with the condition that a financial plan for the removal of the retaining wall is submitted to the Public Works Department of the City of South Padre Island. Removal of the retaining wall at the owner's expense may be required if once the retaining wall comes into regular contact with wave action for twenty (20) out of thirty (30) consecutive days. The City accepts the submission of a Retaining Wall Covenant, or other financial guarantee, insuring the removal of the retaining wall if the required conditions are met.

Type of Plan Submitted: \_\_\_\_\_ N/A Date Submitted: \_\_\_\_\_

### Drainage

Describe the impact that the proposed construction will have on the natural drainage pattern on the site and adjacent lots.

- No change in the drainage on site.  
 The proposed construction will change the grading and the drainage on the subject property. (An explanation will be required detailing where the water will drain.)

Explanation / Other Information: \_\_\_\_\_  
\_\_\_\_\_

### Impacts to Beach / Dune System

Answer each question as completely as possible in narrative form.

1. What damage will this proposed construction have on the dune vegetation located at the project site?

- No damage to dune vegetation whatsoever.  
 The proposed construction will impact \_\_\_\_\_ % of the dune vegetation site. (An explanation of the "impact" will be required.)  
 The proposed construction will require the removal and relocation of \_\_\_\_\_ % of the dune vegetation on site. (The submission of a mitigation plan will be required.)

Explanation / Other Information: \_\_\_\_\_  
\_\_\_\_\_

2. How will the proposed construction alter the dune size/shape at the project site?

- No change to dune size/shape whatsoever.  
 The proposed construction will change \_\_\_\_\_ % of the size/shape of dunes on site. (Details will be required.)  
 The proposed construction will require the removal and relocation of \_\_\_\_\_ % of the dunes on site. (The submission of a mitigation plan will be required.)

Explanation / Other Information: \_\_\_\_\_  
\_\_\_\_\_

3. How will the proposed construction change the hydrology of the dunes at the project site?

- No change to dune hydrology whatsoever.  
 The proposed construction will impact dune hydrology on site. (Details will be required.)

Explanation / Other Information: \_\_\_\_\_  
\_\_\_\_\_

4. Describe alternatives to the proposed construction or method of construction which will cause fewer or no adverse effects on dunes and dune vegetation.

\_\_\_\_\_  
\_\_\_\_\_

5. Describe alternatives to the proposed construction or method of construction which will cause fewer or no adverse impairment to beach access.

\_\_\_\_\_  
\_\_\_\_\_

## Mitigation Plan

Describe the methods which you will use to avoid, minimize, mitigate and/or compensate for any adverse effects on dunes or dune vegetation.

Explanation / Other Information: N/A

### Financial Plan for Dune Mitigation:

If required by the City Council, a financial guarantee (irrevocable letter of credit or a performance bond, etc.) may be necessary to insure the mitigation of dunes/dune vegetation takes place as proposed and required of the applicant.

Type of Plan Submitted: \_\_\_\_\_ Date of Submission: \_\_\_\_\_

## Checklist of Additional Required Application Information

### An accurate map, plat or site plan showing:

- 1. Legal description of the property (lot, block, subdivision) and the immediately adjoining property.
- 2. Location of all existing structures - including the habitable and inhabitable structures, swimming pools, decks, fences, parking areas, landscape areas, etc.
- 3. Location of the Historical Building Line on the subject property and the extension of the line on the properties immediately adjoining the subject property to the north and to the south.
- 4. Location and elevation of existing retaining walls - both on the subject property and those properties immediately adjoining the subject property to the north and to the south.
- 5. Location of proposed structure(s) - if proposing the construction of a retaining wall, please also include the proposed elevation of the retaining wall.
- 6. Location of proposed driveways, parking areas (showing the # of proposed parking spaces) and landscape areas.
- 7. Location of all existing and proposed beach access paths and/or dune walkovers.
- 8. Location and extent of any man-made vegetated mounds, restored dunes, fill activities, or any other pre-existing human modifications on the tract.
- 9. Topographical survey of the site identifying all elevations, existing contours of the project area (including dunes and scales) and the proposed contours of the final grade.

### Other required application information:

- 1. A grading and layout plan showing proposed contours for the final grade.
- 2. The floor plan(s) and elevation(s) of the structure proposed to be constructed or expanded.
- 3. Photographs of the site which clearly show the current location of the vegetation line & existing dunes on the tract within the last 6 months.
- 4. Copy of the Flood Rate Map showing the location of the subject property. (FEMA.GOV - Map Search)
- 5. Copy of the Historical Erosion Rate Map as determined by the University of Texas at Austin, Bureau of Economic Geology. (beg.utexas.edu)
- 6. Application Fee of \$180 for Staff Approved applications and \$300 for City Council Approved applications.

Your application is not complete unless all information requested above is submitted.

Application submissions require only three (3) copies of the complete information plus a digital copy.

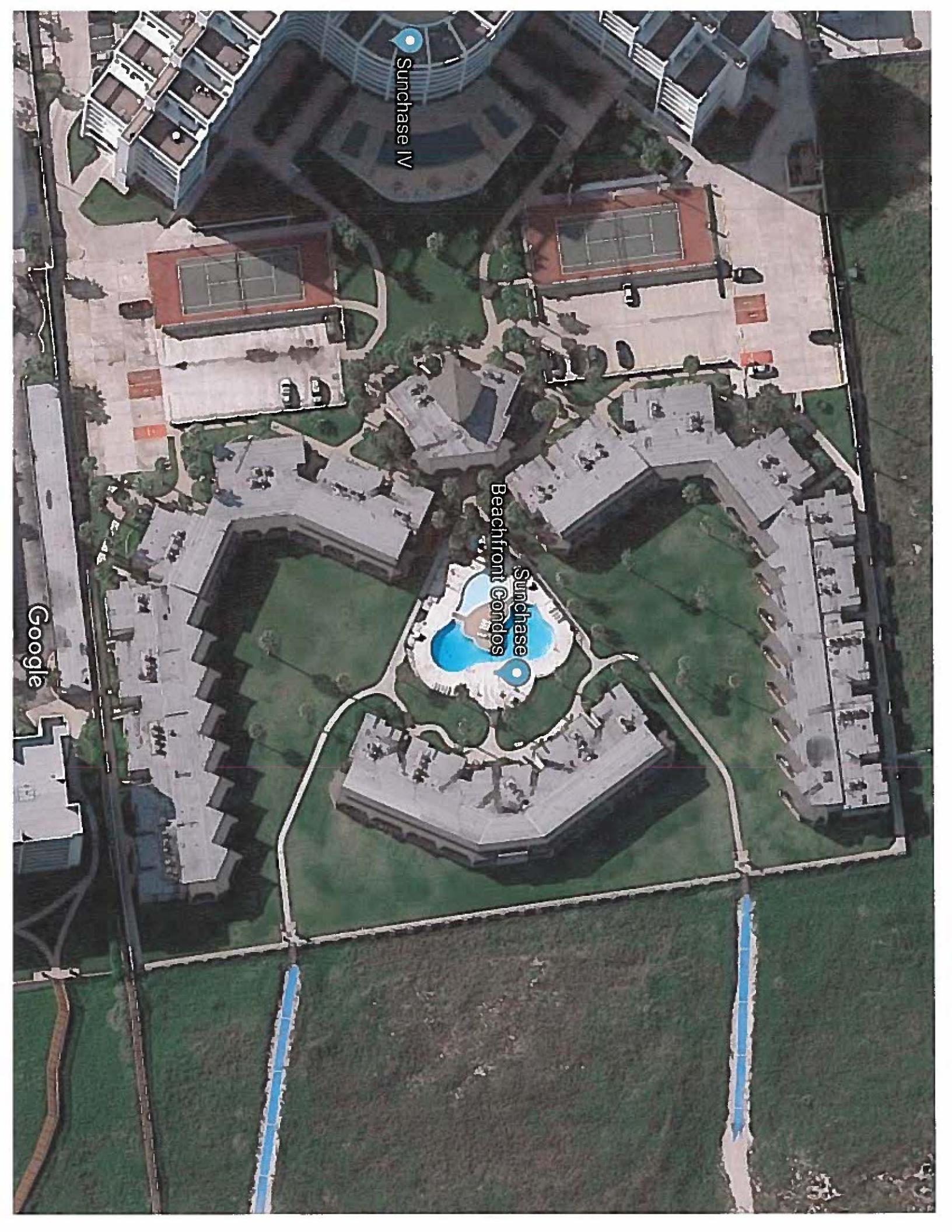


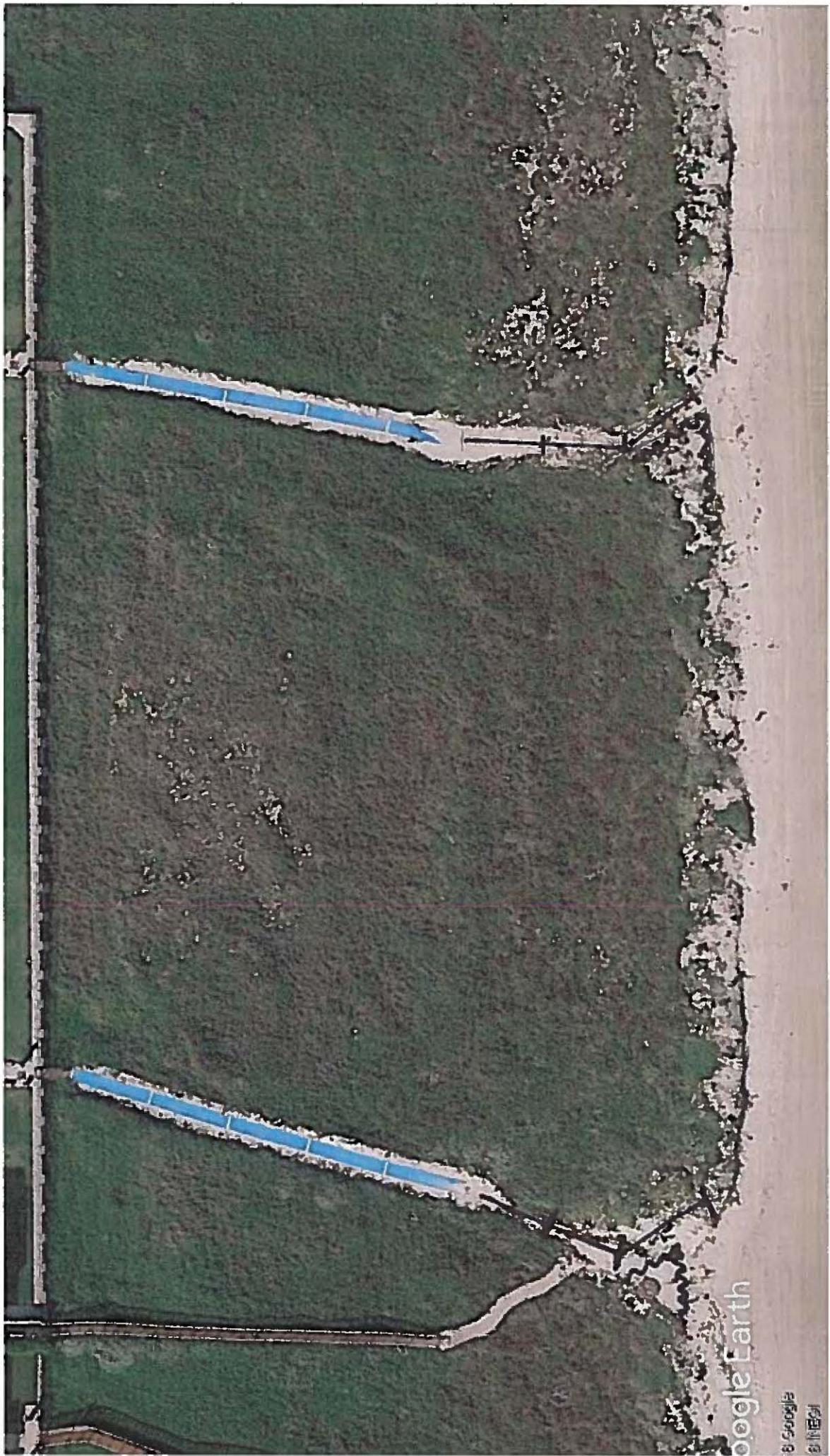
Sunchase IV



Sunchase  
Beachfront Condos

Google





Google Earth

B. Google  
© 2007

 SITE PLAN

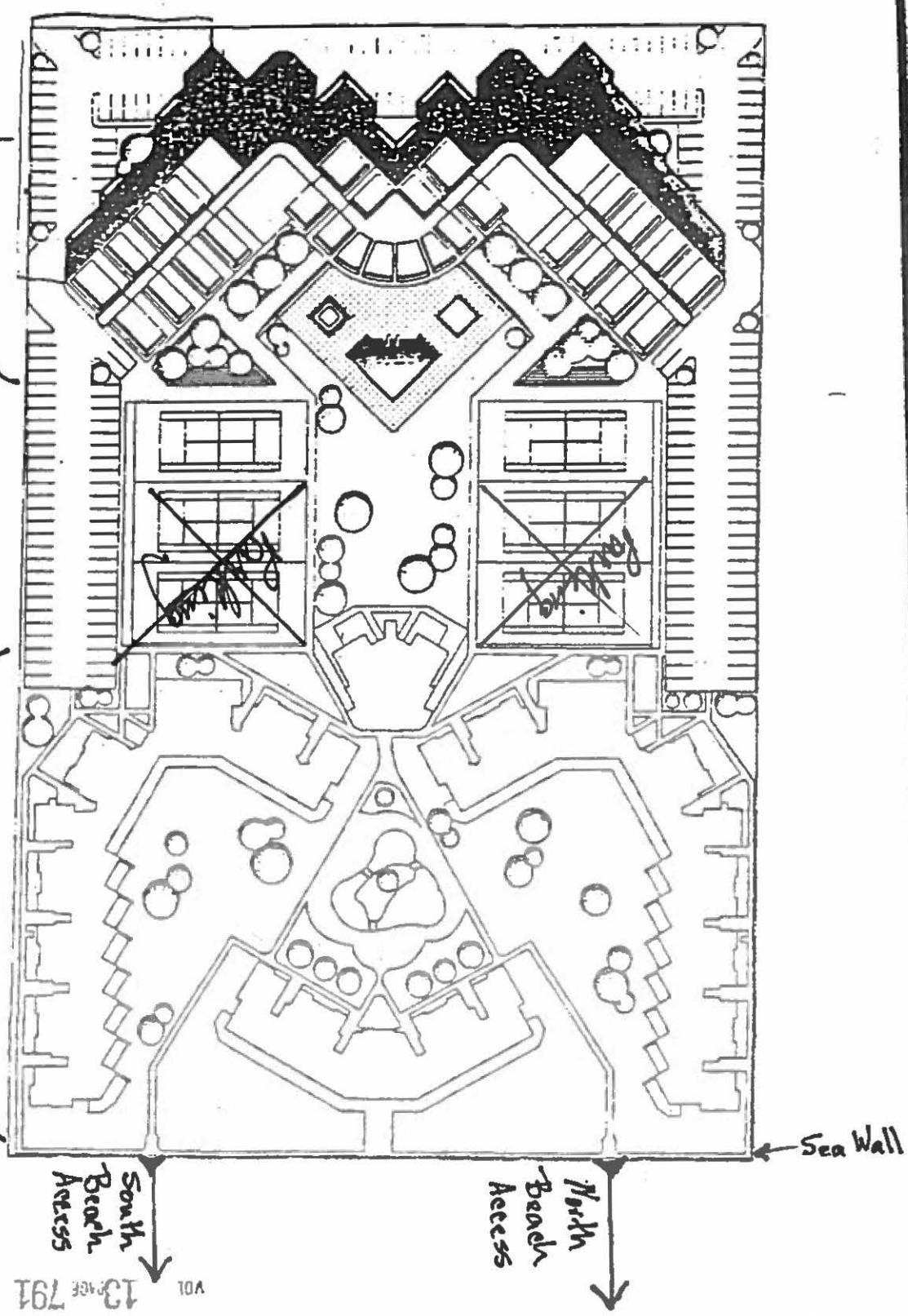
Surchase IV Condominiums

South Padre Island, Texas

2012200

Surchase IV Condominiums

(aka Beachfront)



vol 14 set 575

BEING 2.818 acres of land, more or less, of SunChase Properties, Phase IV, out of 16.54 acre Hervey Re-Subdivision, as recorded in Volume 15, Page 36 of the Cameron County Map Records, Cameron County, Texas, said Hervey Re-Subdivision being dissolved, vacated and abandoned by Resolution No. 17 of the Town of South Padre Island on September 5, 1973, said 2.818 acres of land, more or less, being more particularly located and described as follows:

BEGINNING at a point in the north line of the said Hervey Re-Subdivision, said point being N. 82° 58' E., a distance of 200.00 feet from the intersection of the said north line of the Hervey Re-Subdivision and the east right-of-way line of Park Road 100 (Padre Boulevard), said PLACE OF BEGINNING being the northwest corner of the herein described Phase IV;

THENCE, along and with the north line of the said Hervey Re-Subdivision, N. 82° 58' E., a distance of 244.00 feet to a point for a corner of the herein described Phase IV;

THENCE, S. 7° 02' E., a distance of 199.48 feet to a point for a corner of the herein described Phase IV;

THENCE, S. 48° 50' 23" E., a distance of 70.21 feet to a point for a corner of the herein described Phase IV;

THENCE, S. 29° 48' 50" W., a distance of 78.04 feet to a point for a corner of the herein described Phase IV;

THENCE, S. 7° 02' E., a distance of 179.27 feet to a point for a corner of the herein described Phase IV, said corner being located on the south line of the said 16.54 acre Hervey Re-Subdivision;

THENCE, along and with said line S. 83° 38' W., a distance of 244.03 feet to a point for a corner of the herein described Phase IV, said corner being N. 83° 38' E., a distance of 200.01 feet from the intersection point of the south line of the said 16.54 acre Hervey Re-Subdivision and the east right-of-way line of Park Road 100 (Padre Boulevard);

THENCE, parallel to and 200.00 feet from the east right-of-way line of said Park Road 100 (Padre Boulevard), N. 7° 02' W., a distance of 490.69 feet to the PLACE OF BEGINNING, containing 2.818 acres of land, more or less.

EXHIBIT A



# FEMA Flood Map Service Center: Search By Address

Navigation

Search

Languages

MSC Home  
(/msc.fema.gov/portal/)

MSC Search by Address  
(/msc.fema.gov/portal/search)

MSC Search All Products  
(/msc.fema.gov/portal/advanceSearch)

MSC Products and Tools  
(/msc.fema.gov/portal/resources/productsandtools)

Hazus  
(/msc.fema.gov/portal/resources/hazus)

LOMC Batch Files  
(/msc.fema.gov/portal/resources/lomc)

Product Availability  
(/msc.fema.gov/portal/productAvailability)

MSC Frequently Asked Questions (FAQs)  
(/msc.fema.gov/portal/resources/faq)

MSC Email Subscriptions  
(/msc.fema.gov/portal/subscriptionHome)

Contact MSC Help  
(/msc.fema.gov/portal/resources/contact)  
[https://msc.fema.gov/portal/downloadProduct?  
filepath=/48/P/Firm/48061C0510F.png&productTypeID=FINAL\\_PRODUCT&productSubTypeID=FIRM\\_PANEL](https://msc.fema.gov/portal/downloadProduct?filepath=/48/P/Firm/48061C0510F.png&productTypeID=FINAL_PRODUCT&productSubTypeID=FIRM_PANEL)

Enter an address, place, or coordinates: [?](#)

1000 padre blvd , 78597

[Search](#)

Whether you are in a high risk zone or not, you may need [flood insurance](https://www.fema.gov/national-flood-insurance-program) (<https://www.fema.gov/national-flood-insurance-program>) because most homeowners insurance doesn't cover flood damage. If you live in an area with low or moderate flood risk, you are 5 times more likely to experience flood than a fire in your home over the next 30 years. For many, a National Flood Insurance Program's flood insurance policy could cost less than \$400 per year. Call your insurance agent today and protect what you've built.

Learn more about [steps you can take](https://www.fema.gov/what-mitigation) (<https://www.fema.gov/what-mitigation>) to reduce the risk flood damage.

## Search Results—Products for CAMERON COUNTY UNINCORPORATED AREAS

Show ALL Products » (<https://msc.fema.gov/portal/availabilitySearch?addcommunity=480101&communityName=CAM>)

The flood map for the selected area is number **48061C0510F**, effective on **02/16/2018** [?](#)

### DYNAMIC MAP



### MAP IMAGE



[https://msc.fema.gov/portal/downloadProduct?  
filepath=/48/P/Firm/48061C0510F.png&productTypeID=FINAL\\_PRODUCT&productSubTypeID=FIRM\\_PANEL](https://msc.fema.gov/portal/downloadProduct?filepath=/48/P/Firm/48061C0510F.png&productTypeID=FINAL_PRODUCT&productSubTypeID=FIRM_PANEL)

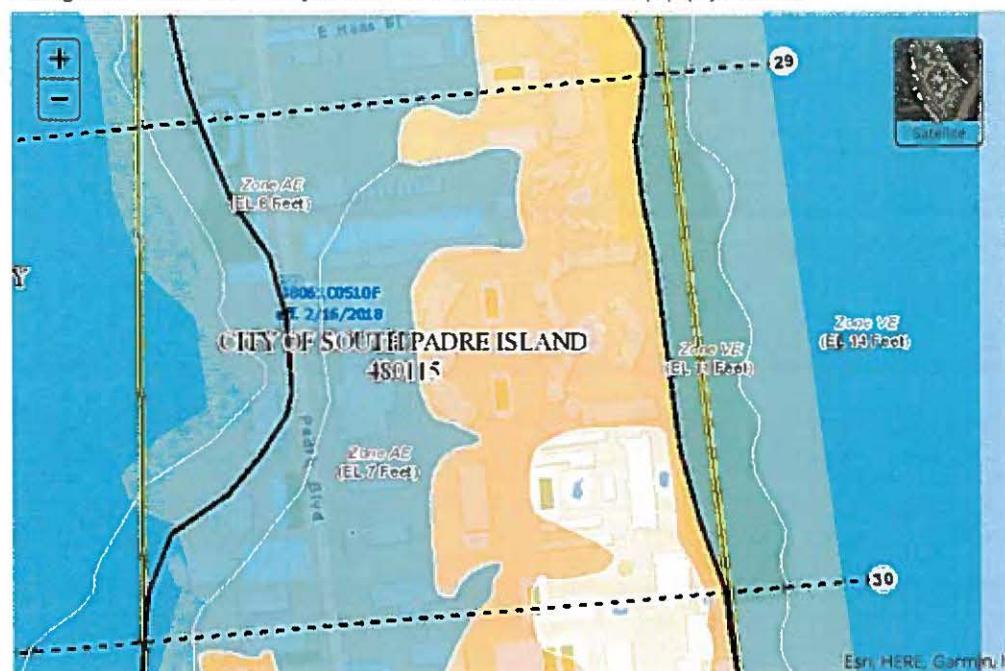
[Changes to this FIRM](#) [?](#)

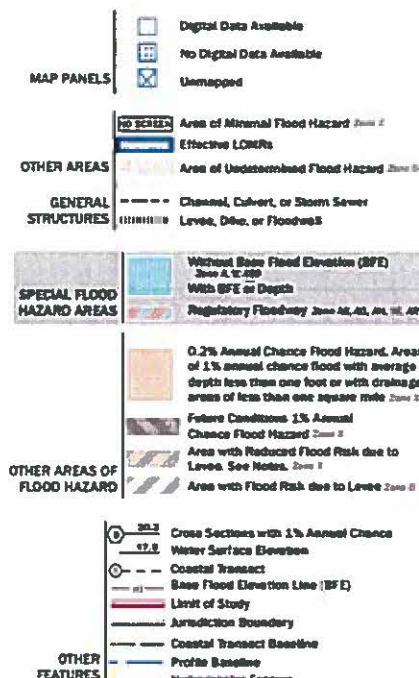
[Revisions \(0\)](#)

[Amendments \(0\)](#)

[Revalidations \(0\)](#)

You can choose a new flood map or move the location pin by selecting a different location on the locator map below or by entering a new location in the search field above. NOTE: Please be sure to enable popups for this site.





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 (<https://www.linkedin.com/shareArticle?mini=true&url=https://msc.fema.gov/portal/search&title=FEMA Flood Map Service>)  
 (<https://www.fema.gov/about-agency>)  (<https://www.fema.gov/privacy-policy>)  (<https://www.fema.gov/oig>)  (<https://www.oig.dhs.gov/strategic-plan>)  (<https://www.fema.gov/strategic-plan>)  (<https://www.whitehouse.gov>)  (<https://dhs.gov>)  (<https://ready.gov>)  (<https://usa.gov>)  (<https://disasterassistance.gov>)



Official website of the Department of Homeland Security

**Item No. 8**

**CITY OF SOUTH PADRE ISLAND  
SHORELINE TASKFORCE  
MEETING  
AGENDA REQUEST FORM**

**MEETING DATE:** April 23, 2017

**NAME & TITLE:** Brandon Hill, Shoreline Director

**DEPARTMENT:** Shoreline department

**ITEM**

Discussion and action to create a subcommittee to explore restroom facility solutions on the shoreline. (Hill)

**ITEM BACKGROUND**

**BUDGET/FINANCIAL SUMMARY**

None

**COMPREHENSIVE PLAN GOAL**

GOAL 1: The City shall maintain a “Home Rule” type of government and allow for a more stable environment for effective decision-making.

**LEGAL REVIEW**

Sent to Legal: YES: \_\_\_\_\_ NO: \_\_\_\_\_  
Approved by Legal: YES: \_\_\_\_\_ NO: \_\_\_\_\_

Comments:

**RECOMMENDATIONS/COMMENTS**

**Item No. 9**

**CITY OF SOUTH PADRE ISLAND  
SHORELINE TASK FORCE  
MEETING  
AGENDA REQUEST FORM**

**MEETING DATE:** April 23, 2018

**NAME & TITLE:** Brandon Hill, Shoreline Director

**DEPARTMENT:** Shoreline

**ITEM**

Discussion and action to Recommend to City Council Ordinance No. 18-14 amending Chapter 22 of the Code of Ordinances by amending Section 22-3 providing for amended terms, revising chairpersons voting authority and creating the position of vice chairman for the Shoreline Task Force.

**ITEM BACKGROUND**

It has come to the City Staff's attention that Chapter 22 is currently incongruent with our other City Boards. This minor edit to Section 22-3 will bring the SLTF in line with all of the other advisory boards currently utilized in the City.

Current Chapter 22 Section 22-3 ordinance reads:

The City Council may appoint seven (7) individuals to serve on the Shoreline Task Force. The appointment of individuals shall be for two (2) year terms, such terms to be staggered, and all terms shall expire on September 30 of the year said members term is scheduled to expire or until their successor is appointed. The Task Force shall elect one of the members as Chairperson, and the Chairperson may not make or second motions and may only vote to break a tie vote and if the Chairperson is absent the members shall appoint a temporary Chairperson to preside at the meeting. The initial members appointed by the City Council shall have three (3) members appointed for a one (1) year term and four (4) members appointed for a two (2) year term, and thereafter all appointments will be for a two year term.

Modified Chapter 13 Section 13-24(E) ordinance as follows:

The City Council may appoint seven (7) individuals to serve on the Shoreline Task Force. The appointment of individuals shall be for two (2) year terms, such terms to be staggered, and all terms shall expire on December 31 of the year said members term is scheduled to expire or until their successor is appointed. The Task Force shall elect one of the members as Chairperson and another as vice-Chairperson, and if the Chairperson is absent the vice-Chairperson shall preside at the meeting. The Chairperson will function as a voting member of the SLTF. The initial members appointed by the City Council shall have three (3) members appointed for a one (1) year term and four (4) members

appointed for a two (2) year term, and thereafter all appointments will be for a two year term.

**BUDGET/FINANCIAL SUMMARY**

No budgetary impact is expected.

**COMPREHENSIVE PLAN GOAL**

**Chapter VII. Governance and Community Relations**

**GOAL 1:** The City shall maintain a “Home Rule” type of government and allow for a more stable environment for effective decision-making.

**LEGAL REVIEW**

Sent to Legal: YES: X NO: \_\_\_\_\_  
Approved by Legal: YES: X NO: \_\_\_\_\_

Comments:

**RECOMMENDATIONS/COMMENTS**

Staff recommends approval.

## **ORDINANCE 2018-14**

**AN ORDINANCE AMENDING CHAPTER 22 OF THE CODE OF  
ORDINANCES OF THE CITY OF SOUTH PADRE ISLAND, TEXAS, BY  
AMENDING SECTION 22-3 PROVIDING FOR AMENDED TERMS,  
REVISING CHAIRPERSONS VOTING AUTHORITY AND CREATING  
THE POSITION OF VICE CHAIRMAN.**

**NOW THEREFORE:**

**BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF SOUTH PADRE  
ISLAND, TEXAS:**

### **SECTION 1 CODE AMENDMENT**

Chapter 22, Section 22-3 of the Code of Ordinances of the City of South Padre Island is hereby amended to read as follows:

**Sec. 22-3. - Shoreline task force-appointment.**

The City Council may appoint seven (7) individuals to serve on the Shoreline Task Force. The appointment of individuals shall be for two (2) year terms, such terms to be staggered, and all terms shall expire on December 31 of the year said members term is scheduled to expire or until their successor is appointed. The Task Force shall elect one of the members as Chairperson and another as vice-Chairperson, and if the Chairperson is absent the vice-Chairperson shall preside at the meeting. The Chairperson will function as a voting member of the SLTF. The initial members appointed by the City Council shall have three (3) members appointed for a one (1) year term and four (4) members appointed for a two (2) year term, and thereafter all appointments will be for a two-year term.

### **SECTION 2 CUMULATIVE AND REPEALER CLAUSE**

That this ordinance shall be cumulative of all provisions of the City's codes and ordinances except where the provisions of this Ordinance are in direct conflict with the provisions of such ordinance in which event the conflicting provisions of such ordinance are hereby repealed.

### **SECTION 3 SEVERABILITY**

That it is hereby declared to be the intention of the City Council of the City that the phrases, clauses, sentences, paragraphs, and sections of this Ordinance are severable, and if any phrase, clause, sentence, paragraph or section of this Ordinance should be declared unconstitutional by

the valid judgment or decree of any court of competent jurisdiction, such unconstitutionality shall not affect any of the remaining phrases, clauses, sentences, paragraphs or sections of the Ordinance, since the same would have been enacted by the City Council without incorporation in this ordinance of any such unconstitutional phrases, clause, sentence, paragraph or section.

**SECTION 4**  
**EFFECTIVE DATE**

This ordinance shall be effective upon final passage and publication as required by the City Charter and State law.

PASSED, APPROVED AND ADOPTED on First Reading, this 18th day of April 2018.

PASSED, APPROVED AND ADOPTED on Second Reading, this 2nd day of May 2018.

**ATTEST:**

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SUSAN HILL, CITY SECRETARY

**CITY OF SOUTH PADRE**

**ISLAND, TEXAS**

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DENNIS STAHL, MAYOR