

**NOTICE OF MEETING  
CITY OF SOUTH PADRE ISLAND  
SHORELINE TASK FORCE**

**NOTE: One or more members of the City of South Padre Island City Council may attend this meeting; if so, this statement satisfies the requirements of the OPEN MEETINGS ACT.**

NOTICE IS HEREBY GIVEN THAT THE SHORELINE TASK FORCE OF THE CITY OF SOUTH PADRE ISLAND, TEXAS, WILL HOLD A MEETING ON:

**MONDAY, APRIL 23, 2018  
3:00 P.M. AT THE MUNICIPAL BUILDING,  
CITY COUNCIL CHAMBERS, 2<sup>ND</sup> FLOOR  
4601 PADRE BOULEVARD, SOUTH PADRE ISLAND, TEXAS**

1. Call to Order.
2. Pledge of Allegiance.
3. Public Comments and Announcements: *This is an opportunity for citizens to speak to Task Force relating to agenda or non-agenda items. Speakers are required to address the Shoreline Task Force at the podium and give their name before addressing their concerns. [Note: State law will not permit the Shoreline Task Force to discuss debate or consider items that are not on the agenda. Citizen Comments may be referred to City Staff or may be placed on the agenda of a future Shoreline Task Force meeting]*
4. Approval of the April 9, 2018 meeting minutes.
5. PowerPoint presentation on Shoreline Department Projects (Hill).
  - Shoreline Master Plan
  - Dune Planting
  - Nearshore Berm nourishment
6. Discussion and action to recommend to City Council the approval of a Beach and Dune Permit for 8100 Padre Boulevard South Padre Island Texas. (Hill)
7. Discussion and action to recommend to City Council the approval of a Beach and Dune Permit for 1010 Padre Boulevard South Padre Island Texas. (Hill)
8. Discussion and action to create a subcommittee to explore restroom facility solutions on the shoreline. (Hill)
9. Discussion and action to Recommend to City Council Ordinance No. 18-14 amending Chapter 22 of the Code of Ordinances by amending Section 22-3 providing for amended terms, revising chairpersons voting authority and creating the position of vice chairman for the Shoreline Task Force. (Hill)
10. Adjournment

DATED THIS THE 18 TH DAY OF APRIL 2018

  
\_\_\_\_\_  
Susan Hill, City Secretary

I, THE UNDERSIGNED AUTHORITY, DO HEREBY CERTIFY THAT THE ABOVE NOTICE OF MEETING OF THE SHORELINE TASK FORCE OF THE CITY OF SOUTH PADRE ISLAND, TEXAS IS A TRUE AND CORRECT COPY OF SAID NOTICE AND THAT I POSTED A TRUE AND CORRECT COPY OF SAID NOTICE ON THE BULLETIN BOARD AT CITY HALL/MUNICIPAL BUILDING ON **APRIL 18, 2018** AT/OR BEFORE **5:00 P.M.** AND REMAINED SO POSTED CONTINUOUSLY FOR AT LEAST 72 HOURS PRECEDING THE SCHEDULED TIME OF SAID MEETING.

  
\_\_\_\_\_  
Susan Hill, City Secretary

THIS FACILITY IS WHEELCHAIR ACCESSIBLE, AND ACCESSIBLE PARKING SPACES ARE AVAILABLE. REQUESTS FOR ACCOMMODATIONS OR INTERPRETIVE SERVICES MUST BE MADE 48 HOURS PRIOR TO THIS MEETING. PLEASE CONTACT BUILDING OFFICIAL, DAVID TRAVIS; ADA DESIGNATED RESPONSIBLE PARTY AT (956) 761-8103.

**CITY OF SOUTH PADRE ISLAND  
SHORELINE TASKFORCE  
MEETING  
AGENDA REQUEST FORM**

**MEETING DATE:** April 23, 2017

**NAME & TITLE:** Brandon Hill, Shoreline Director

**DEPARTMENT:** Shoreline department

**ITEM**

Approval of March 26, 2018 regular meeting minutes.

**ITEM BACKGROUND**

**BUDGET/FINANCIAL SUMMARY**

None

**COMPREHENSIVE PLAN GOAL**

**LEGAL REVIEW**

Sent to Legal: YES: \_\_\_\_\_

NO: \_\_\_\_\_

Approved by Legal: YES: \_\_\_\_\_

NO: \_\_\_\_\_

Comments:

**RECOMMENDATIONS/COMMENTS**

**MINUTES  
CITY OF SOUTH PADRE ISLAND  
SHORELINE TASK FORCE**

**MONDAY, APRIL 9, 2018**

**I. Call to Order.**

The Shoreline Task Force of the City of South Padre Island, Texas held a regular meeting on Monday, April 9, 2017, at the Municipal Complex Building, 2<sup>nd</sup> Floor, 4601 Padre Boulevard, South Padre Island Texas. Chairman Neil Rasmussen called the meeting to order at 3:00 p.m. A quorum was present: Task Force Member Virginia Guillot, Norma Trevino, and Troy Giles. Task Force Members absent were Stormy Wall, Thoren Thorbjøen, and Kerry Schwartz.

City staff members present were: Assistant City Manager Darla Jones, Shoreline Management Director Brandon Hill, and Administrative Assistant Marta Martinez. Also present was Council Member Ken Medders

**II. Pledge of Allegiance.**

Chairman Rasmussen led the Pledge of Allegiance.

**III. Public Comments and Announcements.**

None

**IV. Approval of the March 26, 2018 meeting minutes.**

Task Force Member Norma Trevino made a motion, seconded by Virginia Guillot to approve minutes as submitted. Motion passed unanimously.

**V. Power Point presentation on Shoreline Department Projects. (Hill)**

Shoreline Management Director Brandon Hill gave a presentation on Shoreline Department Projects. No action was taken.

**VI. Discussion on beach access walkway/walkover best management practices. (Hill)**

Shoreline Management Director Brandon Hill gave a presentation regarding walkway/walkover best management practices. No action was taken.

**VII. Discussion on portable toilet facilities on the beach and/or beach accesses.  
(Hill)**

Shoreline Management Director Brandon Hill gave a presentation on the beach and/or beach accesses. No action was taken.

**VIII. Adjournment.**

There being no further business, Chairman Neil Rasmussen adjourned the meeting at 4:06 p.m.

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Marta Martinez, Secretary

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Neil Rasmussen, Chairman

**CITY OF SOUTH PADRE ISLAND  
SHORELINE TASKFORCE  
MEETING  
AGENDA REQUEST FORM**

**MEETING DATE:** April 23, 2018

**NAME & TITLE:** Brandon Hill, Shoreline Director

**DEPARTMENT:** Shoreline department

**ITEM**

Power Point presentation on Shoreline Department Projects

**ITEM BACKGROUND**

- Shoreline Master Plan
- Dune Planting
- Nearshore Berm Nourishment

**BUDGET/FINANCIAL SUMMARY**

None

**COMPREHENSIVE PLAN GOAL**

Chapter III. Parks and Resources

GOAL 1: The City shall ensure protection and conservation of natural resources, such as beaches, dunes, wetlands, Laguna Madre waterfront and native flora and fauna, allowing for their sustainable use and enjoyment by future generations.

Objective 1.1 Beach and dunes shall be protected from both natural and artificial erosion.

**LEGAL REVIEW**

Sent to Legal:	YES: _____	NO: <u>  X  </u>
Approved by Legal:	YES: _____	NO: <u>  X  </u>

Comments:

**RECOMMENDATIONS/COMMENTS**



# Shoreline Department

## Project Review

# Ongoing Efforts

- Shoreline Master Plan
- Dune Planting Success
- Nearshore Berm Nourishment

# Shoreline Master Plan

- Ongoing: Community Feedback Survey
  - ▣ [www.surveymonkey.com/r/southpadreisland](http://www.surveymonkey.com/r/southpadreisland)
  
- Upcoming: one-on-one Stakeholder Interviews
  - ▣ May 2018

# Shoreline Master Plan

- As of 4/18/18
  - 396 people have responded
  - 72 have signed up for a one-on-one interview

# Dune Ridge Construction Permitting Process

- Post-implementation at Isla Del Sol



# Dune Ridge Construction Permitting Process



- 165 Students
- 2,000 plants
- 7,500 square feet  
(about  $\frac{1}{4}$  of impacted area)

# Nearshore Berm Nourishment

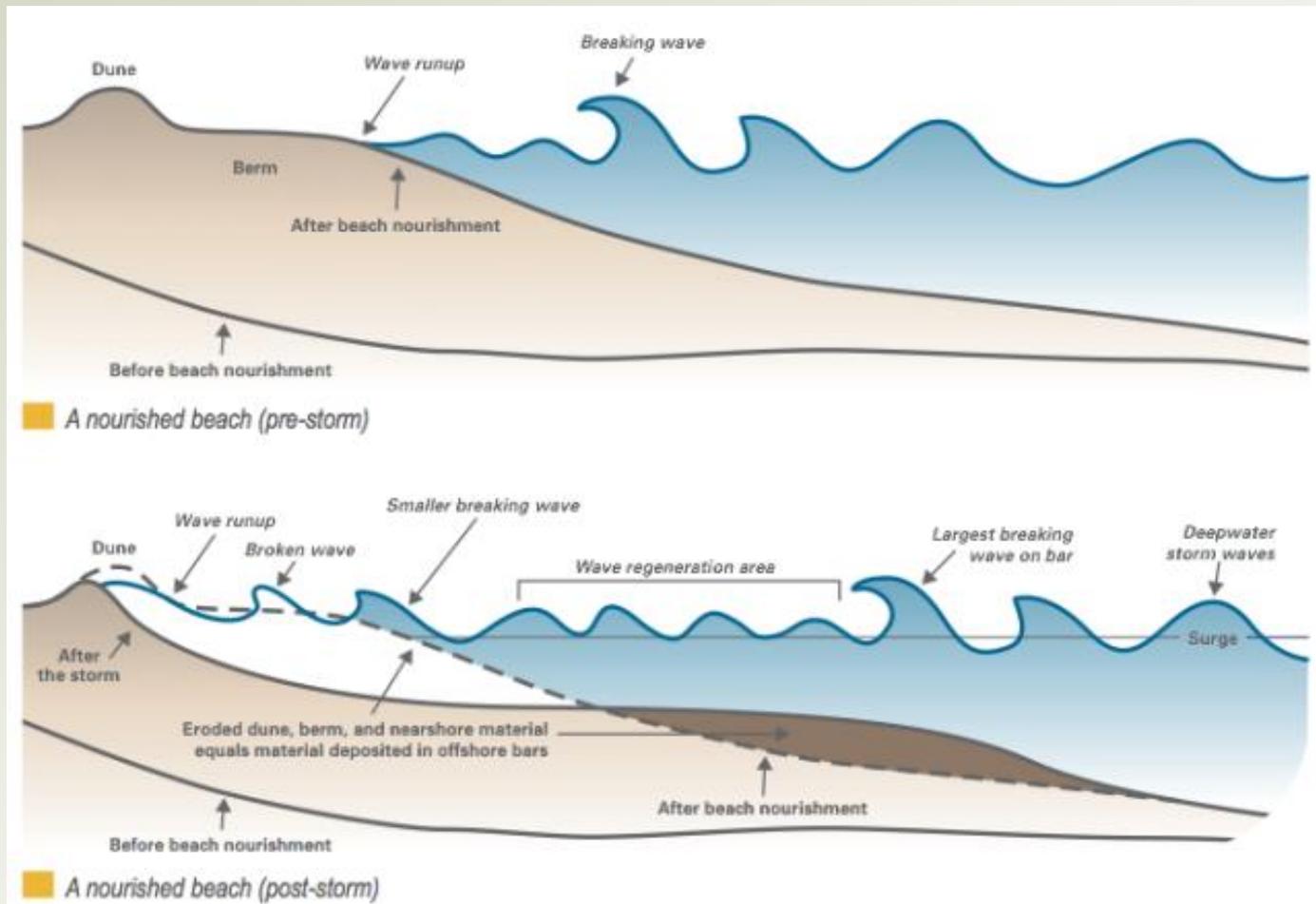
Hopper Dredge McFarland  
Scheduled Arrival 4/27/2018



# Onshore Mechanical Placement

A photograph showing a large-scale construction project on a beach. Several large, dark, cylindrical pipes are laid out in a long line across the sand. In the background, there are several multi-story buildings under construction, a tall crane, and a body of water with waves. The sky is overcast.

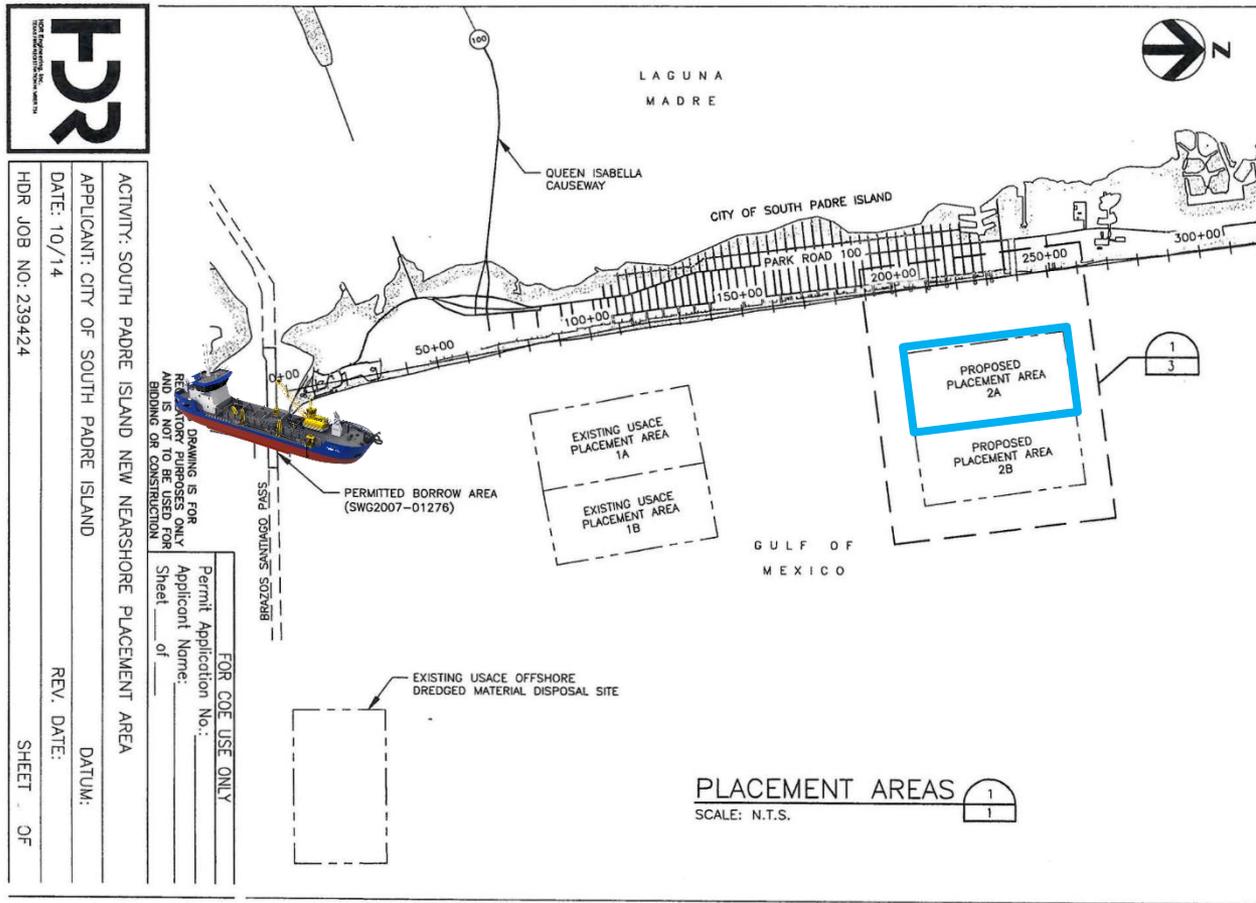
# Onshore Nourishment



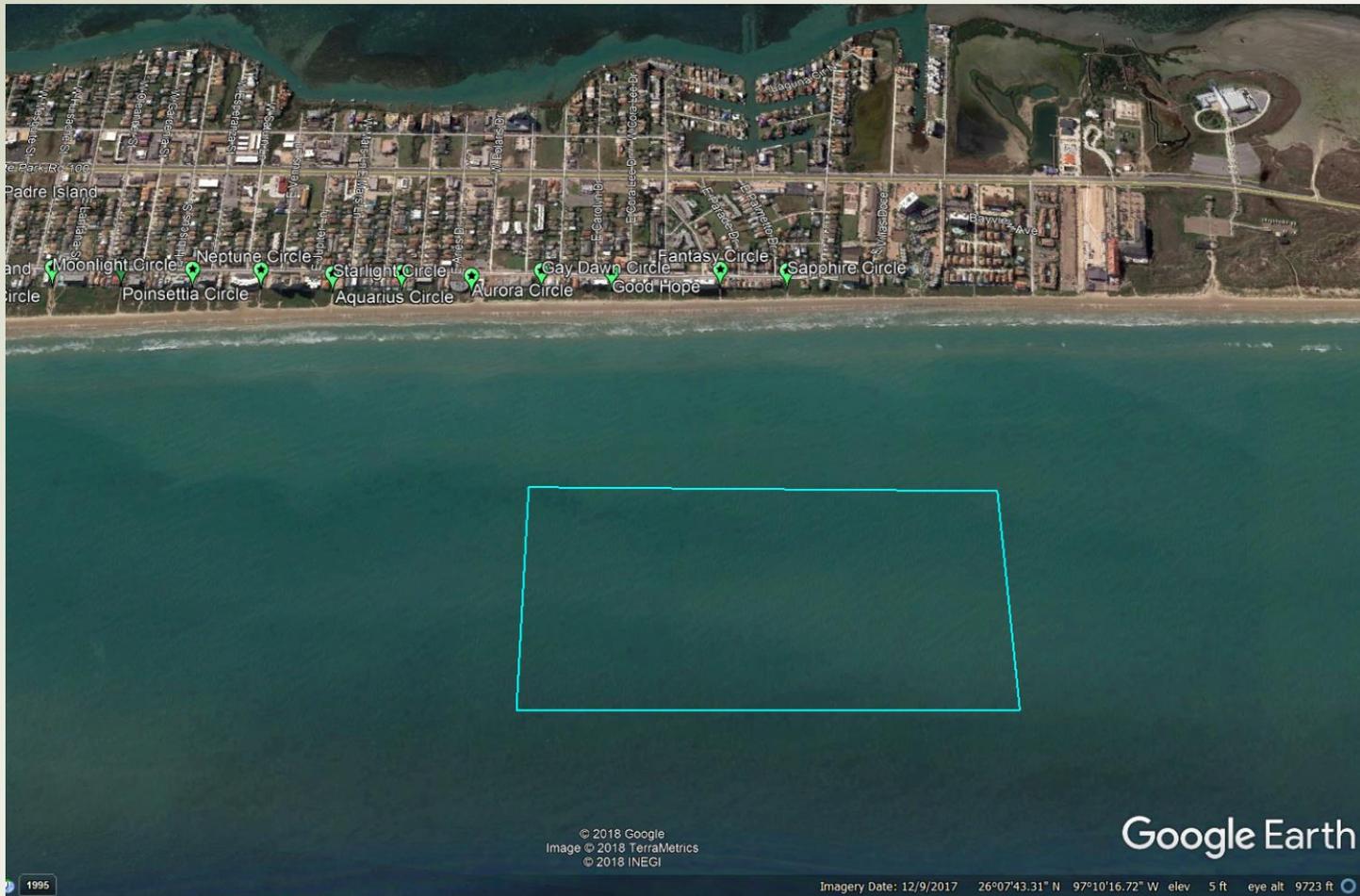
# Nearshore Berm Nourishment



# Nearshore Berm Nourishment



# Nearshore Berm Nourishment



Thank you



South  
Padre  
ISLAND

**CITY OF SOUTH PADRE ISLAND  
SHORELINE TASKFORCE  
MEETING  
AGENDA REQUEST FORM**

**MEETING DATE:** April 23, 2018

**NAME & TITLE:** Brandon Hill, Shoreline Director

**DEPARTMENT:** Shoreline department

**ITEM**

Discussion and action to recommend to City Council the approval of a Beach and Dune Permit for 8100 Padre Boulevard South Padre Island Texas. (Hill)

**ITEM BACKGROUND**

The Applicant proposes the large scale construction of a five story hotel with a parking structure underneath the foot print of the hotel and an elevated beach access walkover extending to the line of vegetation.

**BUDGET/FINANCIAL SUMMARY**

None

**COMPREHENSIVE PLAN GOAL**

Chapter III. Parks and Resources

GOAL 1: The City shall ensure protection and conservation of natural resources, such as beaches, dunes, wetlands, Laguna Madre waterfront and native flora and fauna, allowing for their sustainable use and enjoyment by future generations.

Objective 1.1 Beach and dunes shall be protected from both natural and artificial erosion.

**LEGAL REVIEW**

Sent to Legal: YES: \_\_\_\_\_ NO:   X    
Approved by Legal: YES: \_\_\_\_\_ NO:   X  

Comments:

**RECOMMENDATIONS/COMMENTS**

Staff recommends the approval.

## MEMORANDUM

TO: Shoreline Task Force  
Natalie Bell, General Land Office

FROM: Brandon N. Hill, Shoreline Director

DATE: February 23, 2018

RE: Preliminary determination on proposed construction Lot 1 Block 1, South Padre Island Subdivision. 8100 Padre Blvd.

The enclosed application materials present plans for the Proposed Construction of a hotel, parking lot, deck, dune walkover, pool, and all accompanying Hotel aspects.

With consideration given to conformance with TAC regulations our preliminary determination is that:

1. The proposed activity will not reduce the size of the public beach. [TAC 15.5 (b)(1)]
2. The proposed activity does not appear to involve construction upon the public beach. [TAC 15.5 (c)(1)]
3. The proposed activity will not encroach upon the public beach. [TAC 15.5 (c)(1)]
4. The proposed activity will not close any existing public beach accesses within the area, nor will the construction close or prevent the use of any existing public beach parking spaces. [TAC 15.5 (d)(1)]

With consideration given to the City's *Dune Protection and Beach Renourishment and Access Plan* [B&D Ord. Section 22-10]:

1. The proposed activity will not result in the potential for increased flood damage to the subject property or adjacent properties.
2. The proposed activity will not result in run-off or drainage patterns that aggravate erosion on and off the site.
3. The proposed activity will cause no changes to the existing dune hydrology east of the Historic Building Line.
4. The proposed activity will result in no adverse effects on dune complexes of vegetation.
5. The proposed activity will not significantly increase the potential for washover or blowouts.



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Brandon N. Hill



TEXAS GENERAL LAND OFFICE  
GEORGE P. BUSH, COMMISSIONER

March 20, 2018

Via Electronic Mail

Brandon Hill  
Shoreline Management Department  
City of South Padre Island  
P.O. Box 3410  
South Padre Island, Texas 78597-3410

**Beachfront Construction Certificate & Dune Protection Permit in the City of South Padre Island**

**Site Address:** 8100 Padre Boulevard, South Padre Island  
**Legal Description:** Lot 1, Block 1, Padre Island Inn Subdivision  
**Lot Applicant:** Sam Listi  
**GLO ID No.:** BDSPI-18-0038

Dear Mr. Hill:

The General Land Office (GLO) has reviewed the application materials for a dune protection permit and beachfront construction certificate for the above-referenced location. The applicant proposes the large-scale construction of a five-story hotel with parking underneath the footprint of the hotel, and a dune walkover to the public beach that will be 8-feet over the natural grade of the lot. The proposed construction is located landward of the Building Line for this property as identified in South Padre Island City Ordinance 17-02 and is approximately 325 feet landward of the line of vegetation. According to the Bureau of Economic Geology, the area is eroding at a rate of three to four feet per year.

Based on the materials forwarded to our office for review, we have the following comments:

- The seaward terminus of the dune walkover must be restricted to the greatest extent possible to the most landward point of the public beach<sup>1</sup> and must not interfere with or otherwise restrict public use of the beach at normal high tides.<sup>2</sup>
- The applicant must avoid any adverse effects to dunes or dune vegetation from construction of the dune walkover.
- The deck of the walkover must be of sufficient elevation to allow for the growth of dune vegetation and the migration of dunes to the greatest extent practicable.<sup>3</sup>
- The proposed dune walkover should be constructed to allow rain and sand to pass through the decking. The GLO recommends placing the slats that form the deck of the walkover at least ½-inch apart.
- Construction of the proposed dune walkover should conform to the GLO's guidelines provided in the Dune Protection and Improvement Manual for the Texas Gulf Coast, and can be found on the GLO

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<sup>1</sup> 31 Tex. Admin. Code § 15.7(g)(1).

<sup>2</sup> 31 Tex. Admin. Code § 15.7(g)(2).

<sup>3</sup> 31 Tex. Admin. Code § 15.7(g)(3).

website at: <http://www.glo.texas.gov/coast/coastal-management/forms/files/dune-protection-manual-gpb.pdf>

- Concrete may not be used to stabilize the base of the pilings for the dune walkover.<sup>4</sup>
- The proposed construction activities must not result in the potential for increased flood damage to the proposed construction site or adjacent property, result in runoff or drainage patterns that aggravate erosion, cause significant changes to dune hydrology, adversely effect dune complexes or dune vegetation, or significantly increase the potential for washovers or blowouts to occur.<sup>5</sup>
- The proposed construction activities must minimize impacts on natural hydrology and not cause erosion of adjacent properties, critical dune areas, or the public beach.<sup>6</sup>
- Construction activities must not impact the public's ability to access or use the beach.
- The City must ensure the proposed construction is consistent with FEMA minimum requirements or with the FEMA-approved local ordinance.<sup>7</sup>

If you have any questions, please contact me by phone at (512) 463-0413 or by email at [natalie.bell@glo.texas.gov](mailto:natalie.bell@glo.texas.gov).

Sincerely,



Natalie Bell  
Beach Access & Dune Protection Program  
Coastal Resources Division  
Texas General Land Office

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<sup>4</sup> 31 Tex. Admin. Code § 15.6(f)(3).

<sup>5</sup> 31 Tex. Admin. Code § 15.4(d).

<sup>6</sup> 31 Tex. Admin. Code § 15.6(g).

<sup>7</sup> 31 Tex. Admin. Code § 15.6 (e)(3).



# Beach & Dune Application

City of South Padre Island  
 4601 Padre Blvd.  
 South Padre Island, TX 78597  
 Phone (956) 761-3044  
 Fax: (956) 761-3898

Site for Proposed Work	
Legal Description:	<u>LOT 1 BLOCK 1 SOUTH PADRE ISLAND 8100 PADRE SUB. (VOL 28 PAGE 12 MRCCT)</u>

Property Owner Information	Applicant / Agent for Owner
Name: <u>VINWOOD KASAH</u>	Name: <u>SAM A. LISTI</u>
Mailing Address: <u>312 W. NOLANDA</u>	Mailing Address: <u>Box 2220</u>
City: <u>Mc PHARRIS</u> State: <u>TX</u>	City: <u>S. PADRE ISLAND</u> State: <u>TX</u>
Zip: <u>78589</u> Country: <u>US</u>	Zip: <u>78597</u> Country: <u>CAMERON</u>
Phone Number: <u>956 961 4878</u>	Phone Number: <u>956 345 9960</u>
Fax Number: <u>956 961 4090</u>	Fax Number: _____
E-Mail Address: <u>VIC@041HOTELS.COM</u>	E-Mail Address: <u>SPIARCH@YAHOO.COM</u>
<p>I / We, owners of the above-mentioned property, authorize the applicant stated above, to act in my behalf in order to acquire a Beach and Dune permit for the construction proposed below. (owner initials here _____)</p>	
<p>X Owner(s) Signature(s): <u>Vinwood Kasah</u></p> <p>Date: <u>2/22/18</u></p>	<p>Applicant Signature: <u>Sam A. Listi</u></p> <p>Date: <u>2/22/18</u></p>

Project Description
<p>Describe with as much as detail as possible, the construction proposed. If more room is needed please include an additional page. Include the number of habitable units, amenities, swimming pools, fences, kinds of fences, whether footings and/or retaining walls will be installed, and locations of proposed landscaping and parking.</p> <p><u>① RAISED WALK ACCESS OVER WOOD PILING. EXISTING PILING S MAY BE EXTENDED TO ADJUST TO NEW WALKWAY ELEVATION. THE CONSTRUCTION WILL NOT IMPACT THE DUNES</u></p> <p><u>② CONSTRUCTION OF NEW THREE STORY PARKING STRUCTURE AND FIVE STORY HOTEL.</u></p>
<p>Total Square Footage of Footprint of Habitable Structure: <u>NO FOOTPRINT ON GROUND LEVEL</u></p>
<p>Total Area of Impervious Surface (i.e. retaining walls, walkways, drives, patios, etc.): <u>± 1000 SF</u></p>
<p>Percentage Impervious Surface ((impervious surface / habitable footprint)* 100): <u>5%</u> <u>20% OF FRONT YARD IS LANDSCAPING</u></p>
<p>Please Note: the percentage of impervious surface cannot exceed 5% in an eroding area.</p>
<p>Approximate Duration of Construction: <u>18 MONTHS</u></p>

### Financial Plan for the Removal of All Hard Structures

All properties which are allowed to build retaining walls on their property are allowed to do so with the condition that a financial plan for the removal of the retaining wall is submitted to the Public Works Department of the City of South Padre Island. Removal of the retaining wall at the owner's expense may be required if/once the retaining wall comes into regular contact with wave action for twenty (20) out of thirty (30) consecutive days. The City accepts the submission of a Retaining Wall Covenant or other financial guarantee insuring the removal of the retaining wall if the required conditions are met.

Type of Plan Submitted: \_\_\_\_\_ Date Submitted: \_\_\_\_\_

### Drainage

Describe the impact that the proposed construction will have on the natural drainage pattern on the site and adjacent lots

- No change in the drainage on site.
- The proposed construction will change the grading and the drainage on the subject property. (An explanation will be required detailing where the water will drain.)

Explanation / Other Information: \_\_\_\_\_  
\_\_\_\_\_

### Impacts to Beach / Dune System

Answer each question as completely as possible in narrative form

1. What damage will this proposed construction have on the dune vegetation located at the project site?

- No damage to dune vegetation whatsoever.
- The proposed construction will impact \_\_\_\_\_ % of the dune vegetation site. (An explanation of the "impact" will be required.)
- The proposed construction will require the removal and relocation of \_\_\_\_\_ % of the dune vegetation on site. (The submission of a mitigation plan will be required.)

Explanation / Other Information: \_\_\_\_\_  
\_\_\_\_\_

2. How will the proposed construction alter the dune size/shape at the project site?

- No change to dune size/shape whatsoever.
- The proposed construction will change \_\_\_\_\_ % of the size/shape of dunes on site. (Details will be required.)
- The proposed construction will require the removal and relocation of \_\_\_\_\_ % of the dunes on site. (The submission of a mitigation plan will be required.)

Explanation / Other Information: \_\_\_\_\_  
\_\_\_\_\_

3. How will the proposed construction change the hydrology of the dunes at the project site?

- No change to dune hydrology whatsoever.
- The proposed construction will impact dune hydrology on site. (Details will be required.)

Explanation / Other Information: \_\_\_\_\_  
\_\_\_\_\_

4. Describe alternatives to the proposed construction or method of construction which will cause fewer or no adverse effects on dunes and dune vegetation.

N/A

5. Describe alternatives to the proposed construction or method of construction which will cause fewer or no adverse impairment to beach access.

N/A

### Mitigation Plan

Describe the methods which you will use to avoid, minimize, mitigate and/or compensate for any adverse effects on dunes or dune vegetation

Explanation / Other Information: RAISED WALK ACCESS 8' OVER NATURAL GRADE,  
BOTTOM AREA OF WALK ACCESS WILL REMAIN OPEN  
BUILDING RAISED OVER NATURAL GRADE

#### Financial Plan for Dune Mitigation:

If required by the City Council, a financial guarantee (irrevocable letter of credit or a performance bond, etc.) may be necessary to insure the mitigation of dunes/dune vegetation takes place as proposed and required of the applicant.

Type of Plan Submitted: \_\_\_\_\_ Date of Submission: \_\_\_\_\_

### Checklist of Additional Required Application Information

#### An accurate map, plat or site plan showing:

- 1. Legal description of the property (lot, block, subdivision) and the immediately adjoining property.
- 2. Location of all existing structures - including the habitable and inhabitable structures, swimming pools, decks, fences, parking areas, landscape areas, etc.
- 3. Location of the Historical Building Line on the subject property and the extension of the line on the properties immediately adjoining the subject property to the north and to the south.
- 4. Location and elevation of existing retaining walls - both on the subject property and those properties immediately adjoining the subject property to the north and to the south.
- 5. Location of proposed structure(s) - if proposing the construction of a retaining wall, please also include the proposed elevation of the retaining wall.
- 6. Location of proposed driveways, parking areas (showing the # of proposed parking spaces) and landscape areas.
- 7. Location of all existing and proposed beach access paths and/or dune walkovers.
- 8. Location and extent of any man-made vegetated mounds, restored dunes, fill activities, or any other pre-existing human modifications on the tract.
- 9. Topographical survey of the site identifying all elevations, existing contours of the project area (including dunes and scales) and the proposed contours of the final grade.

#### Other required application information:

- 1. A grading and layout plan showing proposed contours for the final grade.
- 2. The floor plan(s) and elevation(s) of the structure proposed to be constructed or expanded.
- 3. Photographs of the site which clearly show the current location of the vegetation line & existing dunes on the tract within the last 6 months.
- 4. Copy of the Flood Rate Map showing the location of the subject property. (FEMA.GOV - Map Search)
- 5. Copy of the Historical Erosion Rate Map as determined by the University of Texas at Austin, Bureau of Economic Geology (beg.utexas.edu)
- 6. Application Fee of \$180 for Staff Approved applications and \$300 for City Council Approved applications

Your application is not complete unless all information requested above is submitted.

Application submissions require only three (3) copies of the complete information plus a digital copy.



APPROXIMATE SCALE

0

2000

FLOOD INSURANCE NOT AVAILABLE FOR ST  
NEWLY BUILT OR SUBSTANTIALLY IMPROVED ON  
NOVEMBER 16, 1991 - NOT USED IN A MANNER  
WITH THE PURPOSE OF THE OTHERWISE PROTEC

ZONE V10  
(EL 16)

ZONE B  
ZONE A8  
(EL 12)

G U L F

Town of  
South Padre Island  
AREA NOT INCLUDED

NATIONAL FLOOD INSURANCE PROGRAM

**FIRM**  
FLOOD INSURANCE RATE MAP

CAMERON COUNTY,  
TEXAS  
(UNINCORPORATED AREAS)

PANEL 300 OF 400

SEE MAP INDEX FOR PANELS NOT PRINTED

THIS MAP ACCURATELY REPRESENTS THE RESULTS OF  
SURVEYING AND MAPPING OF THE FLOOD HAZARD  
INFORMATION FOR THE NATIONAL FLOOD INSURANCE  
PROGRAM.

COMMUNITY-PANEL NUMBER  
480101 0300 E

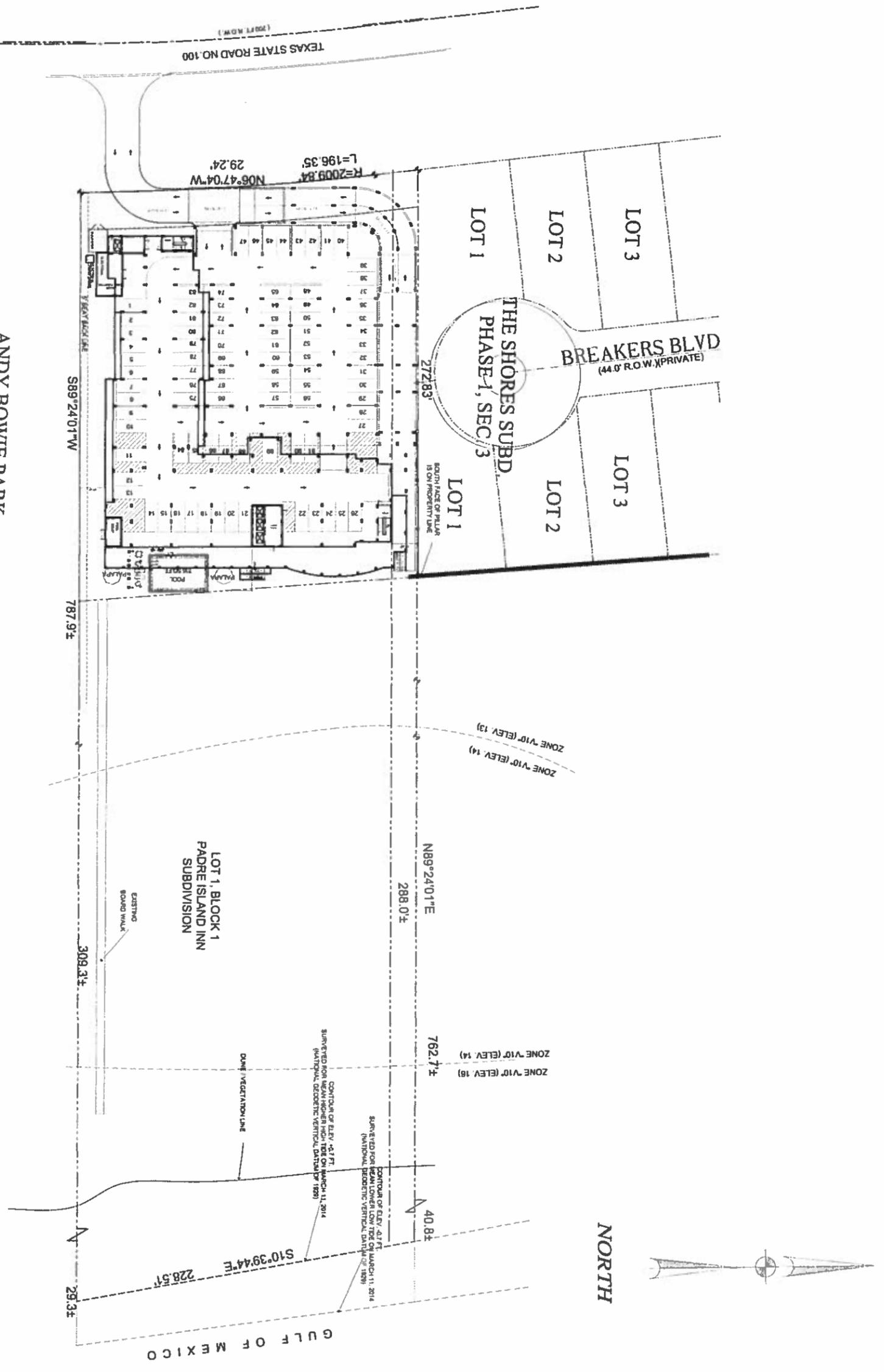
MAP REVISED:  
MARCH 9, 1999



Federal Emergency Management Agency

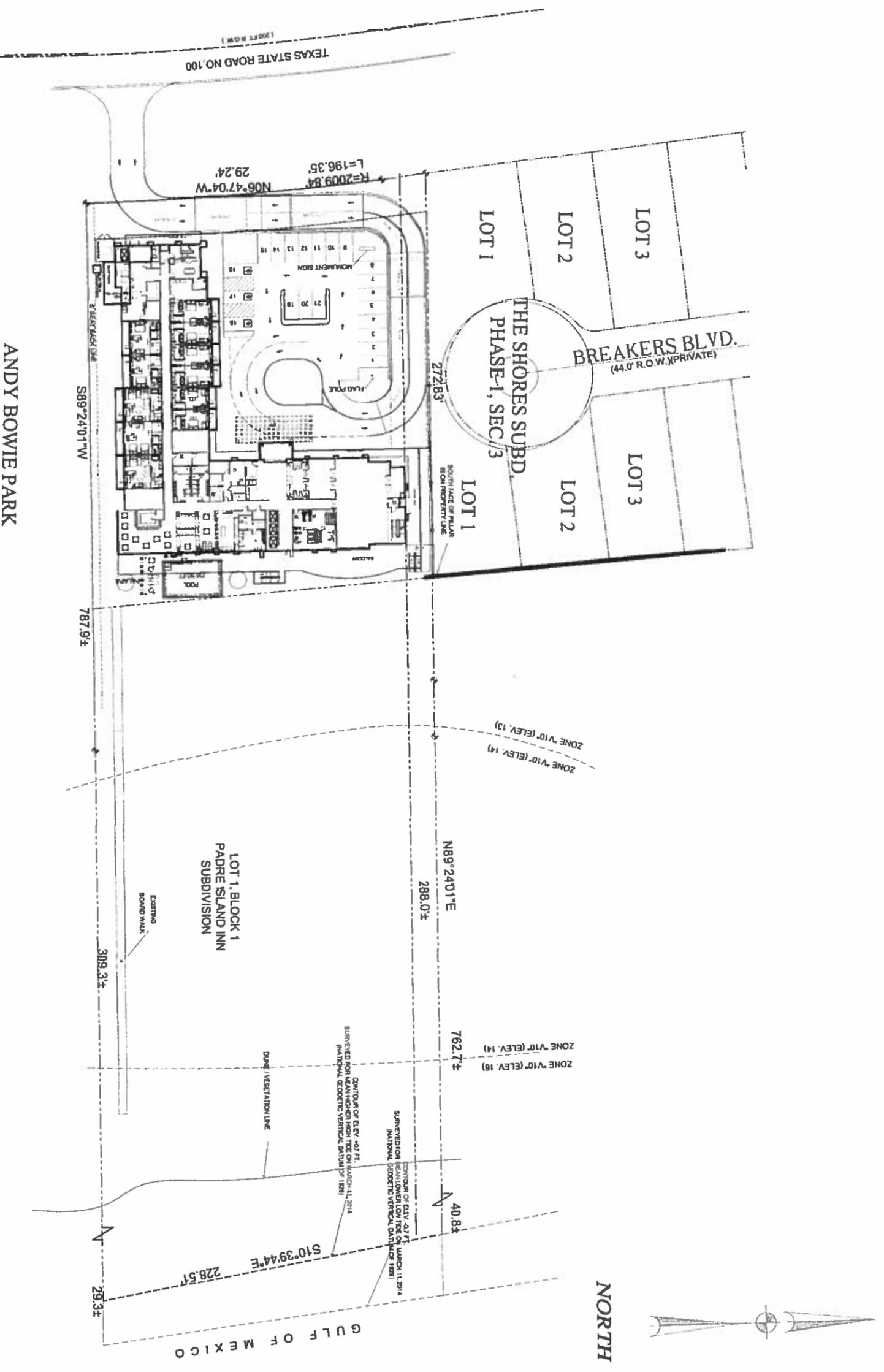
FOR STRUCTURES  
BUILT ON AND AFTER  
JULY 16, 1996

This is an official copy of a portion of the above referenced flood map. It  
was contracted using F-MIT On-Line. This map does not reflect changes  
or amendments which may have been made subsequent to the date on the  
title block. For the latest product information about National Flood Insurance  
Program flood maps, check the FEMA Flood Map Store at [www.nrc.fema.gov](http://www.nrc.fema.gov)



**ANDY BOWIE PARK  
CAMERON COUNTY PARK NO. 2**

<b>LISTI ARCHITECTS</b> 3801 A. Light, P.A., Architect P.O. Box 222 South Padre Island, Texas 78597 956-345-9900 956-1612352		COPY RIGHTS © 2014 BY LISTI ARCHITECTS ALL RIGHTS RESERVED UNDER THE 1976 UNITED STATES COPYRIGHT ACT. NO PART OF THIS DRAWING SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF LISTI ARCHITECTS, L.L.C.		WITHIN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTOR SHALL VERIFY DIMENSIONS ON THE JOB AND LISTI ARCHITECTS, L.L.C. SHALL BE NOTIFIED OF ANY DISCREPANCIES IMMEDIATELY. DIMENSIONS SHOWN BY THESE DRAWINGS SHALL PREVAIL OVER DIMENSIONS SHOWN BY THESE DIMENSIONS.		<b>DISTINCTIVE DRAFTING &amp; DESIGN L.L.C.</b> 2404 S. EXP. 83 SUITE # E HARLINGEN, TX 78552 OFFICE: (956) 425-7040		<b>Hampton</b> 8100 PADRE BLVD. SPT, TEXAS		PROJECT: _____ ISSUE DATE: _____ REVISIONS: _____ SHEET INFORMATION: DRAWN BY: SAZ PROJECT NO.: 000-0000 SCALE: 1/32" = 1'-0"		SHEET TITLE: SITE PLAN SHEET: C-1	
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ANDY BOWIE PARK  
CAMERON COUNTY PARK NO. 2

<p><b>LISTI ARCHITECTS</b> Sam A. Listi, AIA, Architect P.O. Box 2220 South Padre Island, Texas 78597 956-345-9960 956-761-2352</p>		<p>CONSULTANT DATE: 10/20/2014</p>		<p>COPYRIGHT © 2014 BY LISTI ARCHITECTS ALL RIGHTS RESERVED UNDER THIS AGREEMENT. NO PART OF THESE DRAWINGS SHALL BE REPRODUCED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF LISTI ARCHITECTS, L.L.C.</p>		<p>PERMITTING AGENCIES ON THESE DRAWINGS SHALL HAVE EXPRESSED OR IMPLIED APPROVAL. CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE SITE PRIOR TO CONSTRUCTION. LISTI ARCHITECTS, L.L.C. SHALL BE ADVISED OF ANY VARIATIONS FROM THE DRAWINGS AND CONDITIONS SHOWN BY THESE DRAWINGS.</p>		<p>DISTINCTIVE DRAFTING &amp; DESIGN, L.L.C. 2404 S. EXP. 83 SUITE # E HARLINGEN, TX 78552 OFFICE: (956) 425-7040</p>		<p>PROJECT <b>Hampton</b> 8100 PADRE BLVD. SPT, TEXAS</p>		<p>ISSUE DATE</p>		<p>REVISIONS</p>		<p>SHEET INFORMATION DRAWN BY: SAZ PROJECT NO: 000-0000 SCALE: 1/32"=1'-0"</p>		<p>CHECKED BY: SAL PLOT DATE:</p>		<p>SHEET TITLE SITE PLAN (PLAZA LEVEL) SHEET C-2</p>	
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**LISTTI ARCHITECTS**  
 Sam Albert, AIA, Architect  
 P.O. Box 2220  
 Spring, Padre Island, Texas  
 956-345-0960  
 956-361-2326

DATE: 10/09/10

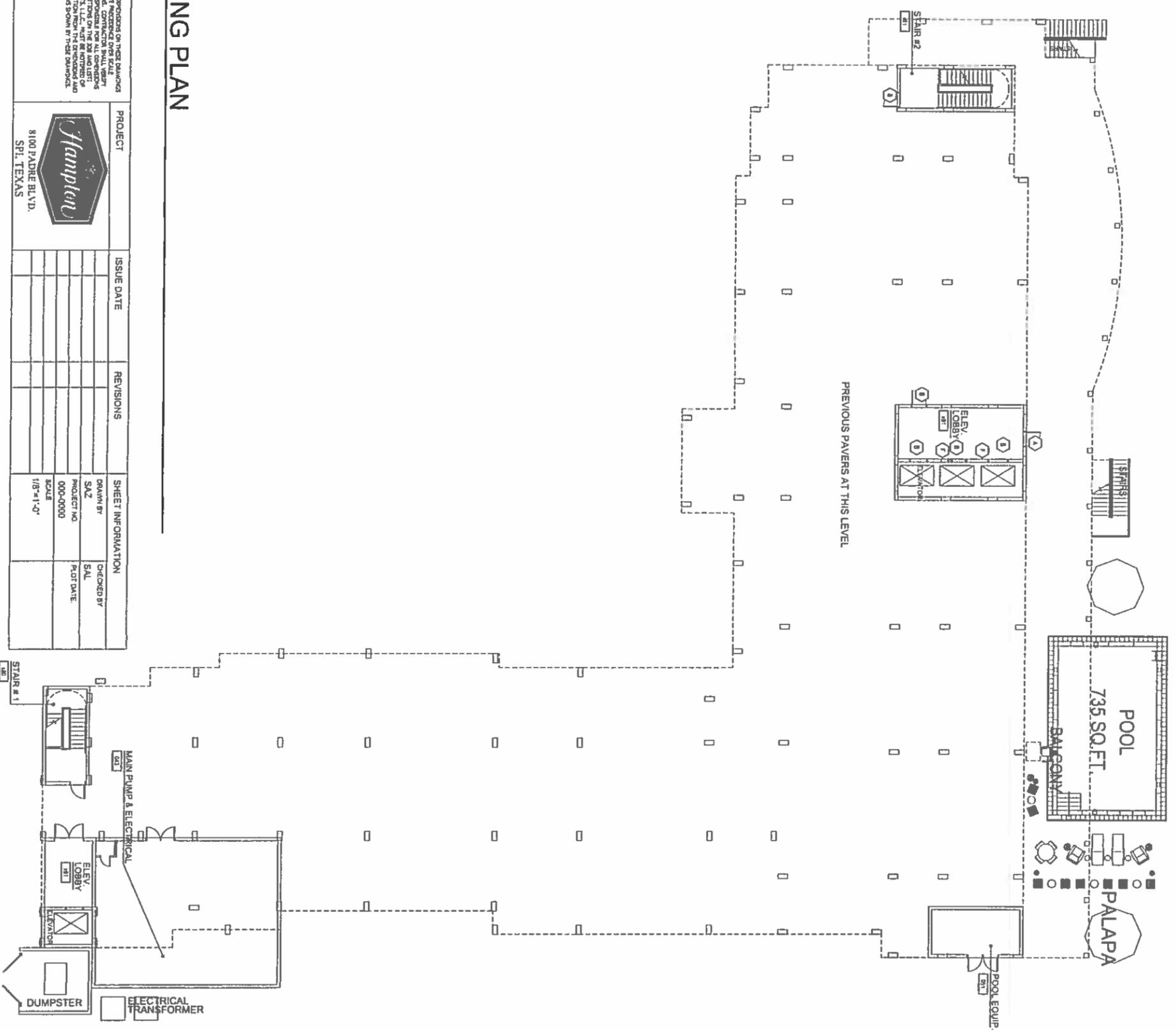
COPYRIGHT © 2014 BY LISTTI ARCHITECTS  
 ALL RIGHTS RESERVED UNDER THE TEXAS STATE PATENT AND COPYRIGHT ACT. NO PART OF THESE DRAWINGS SHALL BE REPRODUCED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT PERMISSION IN WRITING FROM LISTTI ARCHITECTS, L.L.C.

WRITTEN SPECIFICATIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON THE JOB AND LISTTI ARCHITECTS, L.L.C. MUST BE NOTIFIED OF ANY DISCREPANCIES IMMEDIATELY. DISCREPANCIES SHOWN BY THESE DIMENSIONS SHALL BE THE RESPONSIBILITY OF THE CLIENT WITHOUT PERMISSION IN WRITING FROM LISTTI ARCHITECTS, L.L.C.

**PROJECT**  
  
 8100 PADRE BLVD.  
 SPT, TEXAS

ISSUE DATE	REVISIONS	SHEET INFORMATION
		DRAWN BY: SAZ
		PROJECT NO: 000-0000
		SCALE: 1/8"=1'-0"
		CHECKED BY: SAL
		PLOT DATE:

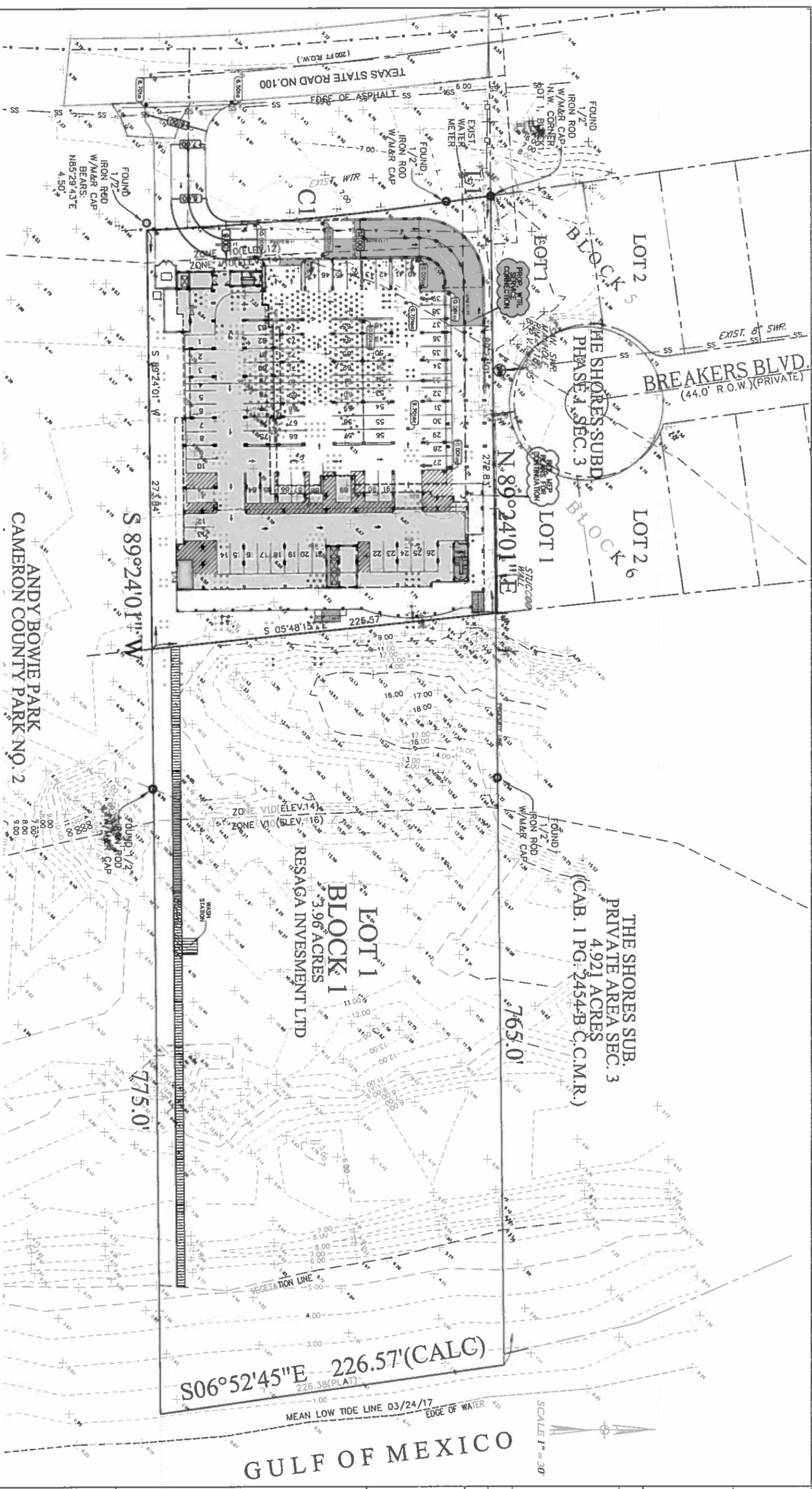
**1 NOTED 1st. LEVEL PARKING PLAN**  
 A1.05 SCALE 3/32" = 1'-0"



**SHEET TITLE**  
 NOTED PLANS  
 CENTER LOADED LOBBY  
 SHEET  
**A1.05**







**CURVE TABLE**

CURVE	RADIUS	DELTA	ARC	TANGENT	BEARING	CHORD
C1	2,009.841	05°35'51"	196.35	98.25	N05°11'07" W	196.27

**LINE TABLE**

LINE	LENGTH	BEARING
L1	28.24	N 07°29'02" W

**LEGEND**

	EXISTING CONTOUR		PROPOSED SHALE W/DIRECTION OF SHALE
	EXISTING SPOT ELEVATION		PROPOSED CONCRETE
	PROPOSED SPOT ELEVATION		PROPOSED 300 AREA (LANDSCAPE)
	EXISTING GRADE		PROPOSED BRICK PAVERS
	PROPOSED GRADE		PROPOSED CURB W/ELEVATION
	EXISTING UTILITY		TEMPORARY BENCHMARK AND HORIZONTAL CONTROL
	PROPOSED UTILITY		

**GENERAL NOTES**

THIS TRACT LIES IN FLOOD ZONE VIO (ELEV. 11) AREA OF THE 1981 FLOOD HAZARD MAP. THE PROPOSED GRADING AND FLOOD ELEVATIONS AND FLOOD HAZARD FACTORS HAVE BEEN DETERMINED ACCORDING TO THE FLOOD HAZARD MAP REVISION NO. 1, APRIL 1981, AND REVISION NO. 2, APRIL 1981.

THE LOCATION OF ALL UTILITIES LOCATED ON THESE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS. THE EXACT LOCATION AND DEPTH OF ALL UTILITIES MUST BE DETERMINED BY THE CONTRACTOR PRIOR TO AND AFTER THE PLACING OF PERMANENT CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES PRIOR TO CONSTRUCTION.

IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL EXISTING UTILITIES AND STRUCTURES ON THIS TRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES PRIOR TO CONSTRUCTION.

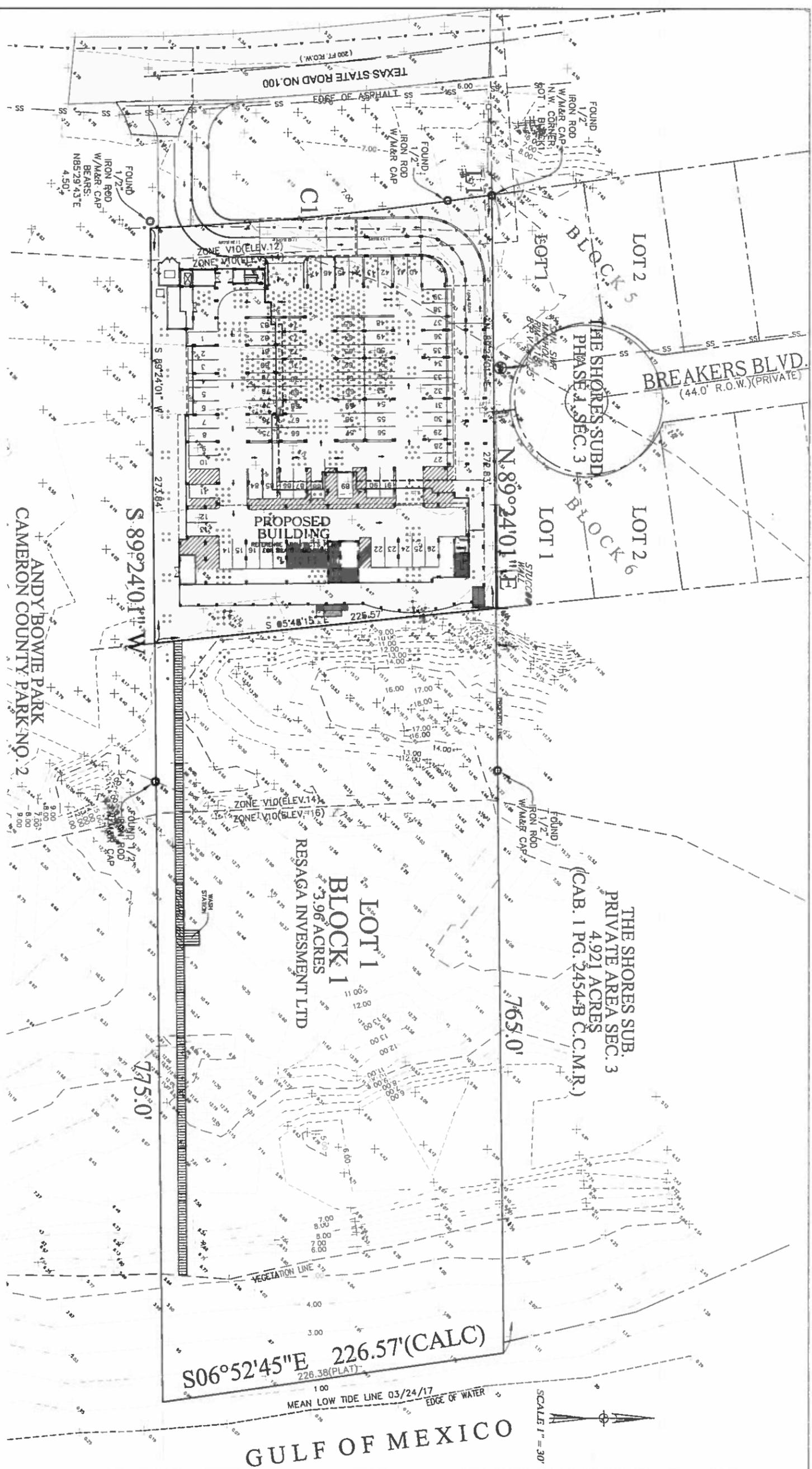
TOPOGRAPHY BASED UPON SURVEY BY AGH ENGINEERING AND SURVEYING.

CONTRACTOR SHALL CONTACT THE FOLLOWING UTILITY COMPANIES 48 HOURS PRIOR TO CONSTRUCTION:

DIG TESS: 1-800-344-8377

DIG TESS: 811

<p><b>C3</b></p>	<p><b>HAMPTON INN &amp; SUITES</b> SOUTH PADRE ISLAND, TEXAS GRADING DRAINAGE AND UTILITY PLAN FIRST PARKING LEVEL</p>	<p><b>AGH ENGINEERING &amp; SURVEYING</b></p> <p>P.O. BOX 4180 Brownsville, Texas 78523-4180 Tel: (936) 574-8300</p> <p>6305 Paradise Lane Road 78526 FAX: (936) 574-8305</p> <p>TYPE FIRM No. F-5197 TITLE FIRM No. 100840.00</p>	<table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>REVISION</th> <th>APPROV.</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	DATE	REVISION	APPROV.					<table border="1"> <tr> <td>UNIT</td> <td>Designed</td> <td>F.H.</td> </tr> <tr> <td></td> <td>Drawn</td> <td>AGH</td> </tr> <tr> <td></td> <td>Scale</td> <td>Horz. AS SHOWN Vert. N/A</td> </tr> <tr> <td></td> <td>Checked</td> <td>M.H.</td> </tr> <tr> <td></td> <td>Approved</td> <td>F.H.</td> </tr> <tr> <td></td> <td>Date</td> <td>NOVEMBER, 2017</td> </tr> <tr> <td></td> <td>Job No.</td> <td>W2016-0257</td> </tr> </table>	UNIT	Designed	F.H.		Drawn	AGH		Scale	Horz. AS SHOWN Vert. N/A		Checked	M.H.		Approved	F.H.		Date	NOVEMBER, 2017		Job No.	W2016-0257
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	Date	NOVEMBER, 2017																															
	Job No.	W2016-0257																															
<p>SCALE 1" = 30'</p>																																	



**CURVE TABLE**

CURVE	RADIUS	DELTA	ARC	TANGENT BEARING	CHORD
C1	2,009.84	05°35'51"	196.35	88.251 N05°11'07"W	196.27

**LINE TABLE**

LINE	LENGTH	BEARING
L1	23.24	N 07°29'02" W

**LEGEND**

	EXISTING CONTOUR		PROPOSED SHALE W/INCLINATION OF SHALE
	EXISTING SPOT ELEVATION		PROPOSED CONCRETE
	PROPOSED SPOT ELEVATION		PROPOSED SOD AREA (LANDSCAPE)
	EXISTING GRADE		PROPOSED BRICK PAVERS
	TOP OF CONCRETE		PROPOSED CONCRETE W/ELEVATION
	TOP OF ASPHALT		TEMPORARY BENCHMARK AND HORIZONTAL CONTROL
	DIRECTION OF RUN-OFF		
	EXISTING CONTOURS		

**GENERAL NOTES**

THIS TRACT LIES IN FLOOD ZONE V10 (ELEV. 11.7' AREA OF FLOOD CONTROL PLANNED WITH VADULTY FLOOD ACTING AS A FLOOD CONTROL BARRIER). THE FLOOD ZONE V10 (ELEV. 11.7') IS SHOWN ON THE MAP REVISED MARCH 04, 1998.

BEARING ORIENTATION OF THIS SURVEY IS BASED OFF OF PLANE SECTION 17E, AS RECORDED IN COUNTY 1, SECT 21&24-A OF THE SURVEY OF CAMERON COUNTY, TEXAS.

THE LOCATION OF ALL UTILITIES LOCATED ON THESE PLANS ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY. THE LOCATION OF ALL UTILITIES MUST BE DETERMINED BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION TO THE UTILITY LOCATIONS SHOWN ON THESE PLANS.

IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL UTILITIES IN THE CONSTRUCTION OF THIS PROJECT. ALL MANHOLES, CLEAN-OUTS, VALVE BOXES, FIRE HYDRANTS, ETC. SHALL BE PROTECTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD TO AND AFTER THE PLACEMENT OF THE UTILITY LINES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND FOR THE REPAIR OF ANY DAMAGE TO UTILITIES CAUSED BY THE CONSTRUCTION OF THIS PROJECT.

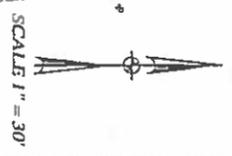
TOPOGRAHY BASED UPON SURVEY BY AGH ENGINEERING AND SURVEYING.

CONTRACTOR SHALL CONTACT THE FOLLOWING UTILITY COMPANIES 48 HOURS PRIOR TO CONSTRUCTION:

DIG TESS: 1-800-344-5377  
 DMC TESS: 811

S06°52'45"E 226.57'(CALC)  
 226.38'(PLAT)  
 1 00  
 MEAN LOW TIDE LINE 03/24/17  
 EDGE OF WATER

GULF OF MEXICO



C4

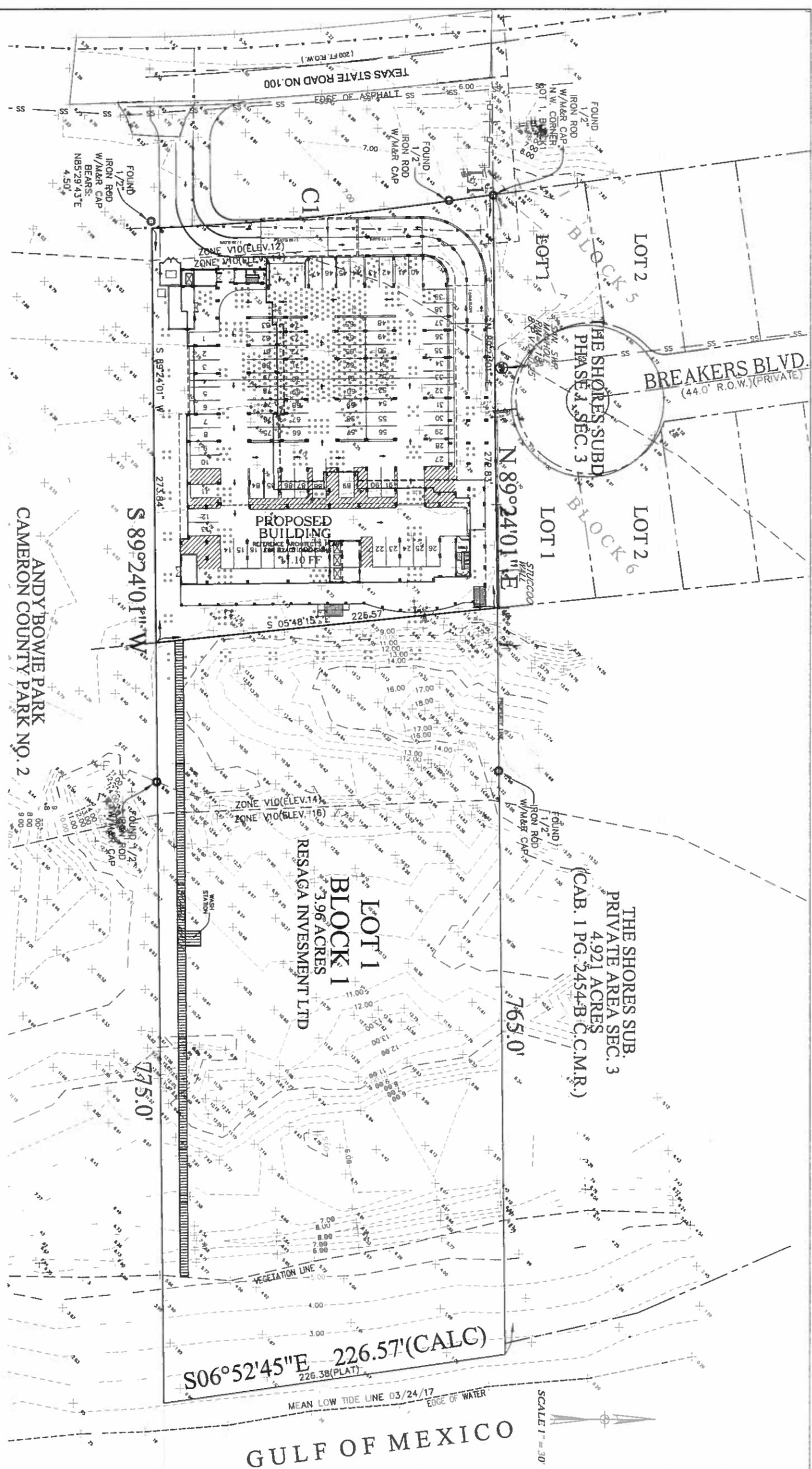
HAMPTON INN & SUITES  
 SOUTH PADRE ISLAND, TEXAS  
 GRADING DRAINAGE AND UTILITY PLAN  
 PROPERTY LINE

**AGH ENGINEERING & SURVEYING**

P.O. BOX 4180 Brownsville, Texas 78523-4180 6305 Paraden Lane Road 78526  
 Tel: (956) 574-8300 Fax: (956) 574-8303  
 TYPE FIRM No. F-5197 TELS FIRM No. 100840-00

NO.	DATE	REVISION	APPROV.

Unit Designed F.H.  
 Drawn AGH  
 Scale: Horiz. AS SHOWN  
 Vert. N/A  
 Checked M.H.  
 Approved F.H.  
 Date NOVEMBER, 2017  
 Job No. W2016-0257



**CURVE TABLE**

CURVE	RADIUS	DELTA	ARC	TANGENT	BEARING	CHORD
C1	2,009.84	05°35'51"	198.35	98.25	N05°31'07"W	198.27

**LINE TABLE**

LINE	LENGTH	BEARING
L1	29.24	N. 02°30'02" W.

**LEGEND**

	EXISTING CONTOUR		PROPOSED SHALE W/DIRECTION OF SHALE
	EXISTING SPOT ELEVATION		PROPOSED CONCRETE
	PROPOSED SPOT ELEVATION		PROPOSED SOD AREA (LANDSCAPE)
	EXISTING GRADE		PROPOSED BRICK PAVERS
	PROPOSED GRADE		PROPOSED CONCRETE W/VALLEY
	TOP OF CONCRETE		TEMPORARY BENCHMARK AND HORIZONTAL CONTROL
	TOP OF ASPHALT		
	DIRECTION OF RUN-OUT		
	EXISTING CONTOURS		

**GENERAL NOTES**

THIS TRACT LIES IN FLOOD ZONE V10 (ELEV. 11'). AREAS OF FLOOD ELEVATION AND FLOOD HAZARD FIELDS NOT EXTENDED. ACCORDING WITH FLOOD RESERVANCE RATE MAP 480101 0300 L. MAP REVISED MARCH 09, 1998.

BEARING ORIENTATION OF THIS SURVEY IS BASED OFF OF PLUMB LINE OF CONCRETE CURB AND GUTTER OF LOT 2&3-A. BEARING ORIENTATION OF CONCRETE CURB AND GUTTER OF LOT 2&3-A IS BASED OFF OF PLUMB LINE OF CONCRETE CURB AND GUTTER OF LOT 2&3-A.

THE LOCATION OF ALL UTILITIES LOCATED ON THESE PLANS ARE BASED OFF OF RECORD DRAWINGS AND FIELD SURVEY. THE LOCATION OF ALL UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO VERIFY THE LOCATION OF ALL UTILITIES SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES SHOWN ON THESE PLANS.

IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL UTILITIES IN THE CONSTRUCTION OF THIS PROJECT. ALL UTILITIES, CLEAN-OUTS, WAVE BOXES, FIRE HYDRANTS, ETC. SHALL BE PROTECTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD TO AND AFTER THE PLACING OF PERMANENT PAVING. UTILITIES MUST BE MAINTAINED TO PROPER LINE AND DEPTH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF ALL UTILITIES SHOWN ON THESE PLANS.

PROPOSALS BASED UPON SURVEY BY AGH ENGINEERING AND SURVEYING.

CONTRACTOR SHALL CONTACT THE FOLLOWING UTILITY COMPANIES 48 HOURS PRIOR TO CONSTRUCTION:

DIG TESS: 1-800-344-8377  
811

C5

HAMPTON INN & SUITES  
SOUTH PADRE ISLAND, TEXAS  
GRADING DRAINAGE AND UTILITY PLAN  
PROPERTY LINE

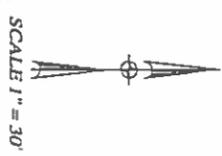
**AGH ENGINEERING & SURVEYING**

P.O. BOX 4180 Brownsville, Texas 78523-4180 6305 Paras Line Road 78126  
Tel: (956) 574-8300 Tel: (956) 574-8305  
TYPE FIRM No. F-5197 TRLS FIRM No. 100840-00

NO.	DATE	REVISION	APPROV.

Unit: Designed F.H.  
Drawn: AGH  
Scale: Horiz. AS SHOWN  
Checked: M.H.  
Approved: F.H.  
Date: NOVEMBER, 2017  
Job No. W2016-0257

CONTRACTOR SHALL CONTACT THE FOLLOWING QUALITY COMPANIES 48 HOURS PRIOR TO CONSTRUCTION:  
 DIG TESS: 1-800-344-8377  
 DIG TESS: 811



**CURVE TABLE**

CURVE	RADIUS	DELTA	ARC	TANGENT	BEARING	CHORD
C1	2,009.84'	05°35'51"	196.35'	98.25'	N03°11'07"W	196.27'

**LINE TABLE**

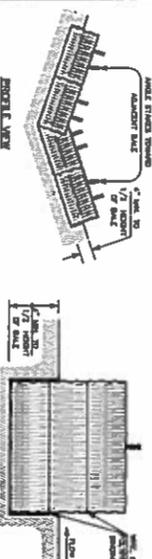
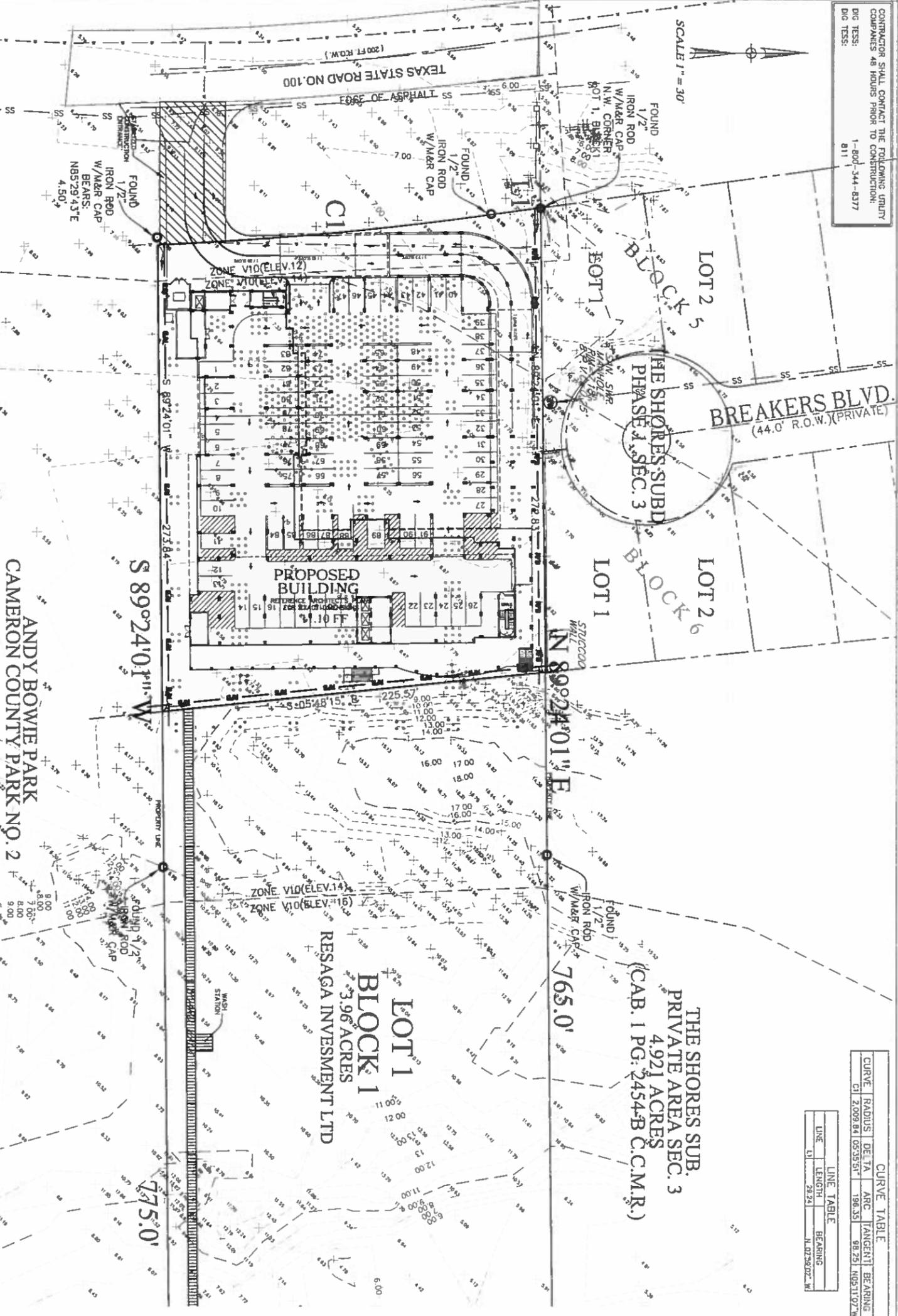
LINE	LENGTH	BEARING
L1	29.24'	N.02°32'02"W

**LEGEND**

- - - - - EXISTING CONTOUR
- - - - - EXISTING EDGE OF ASPHALT
- - - - - PROPOSED CURB
- - - - - REINFORCED FILTER BARRIER (RFB)
- - - - - BAILED HAY
- - - - - INLET PROTECTION
- - - - - LIMITS OF CONSTRUCTION

**EROSION CONTROL GENERAL NOTES**

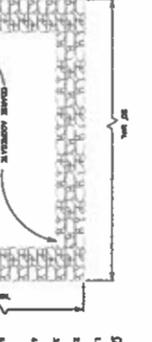
- IT IS THE INTENT OF THE REGULATION PROVIDED ON THIS SHEET AND WITHIN THE EROSION CONTROL PLAN TO PREVENT EROSION AND TO PROTECT THE SURFACE WATER OF THE PROJECT TO BE CONSTRUCTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR OBTAINING ALL NECESSARY APPROVALS FROM THE LOCAL, STATE AND FEDERAL REGULATORY AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE LOCAL, STATE AND FEDERAL REGULATORY AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE LOCAL, STATE AND FEDERAL REGULATORY AGENCIES.
- THE STORM WATER POLLUTION PREVENTION PLAN SHOULD ADDRESS THE FOLLOWING:
  - DEFINE THE CHARACTERISTICS OF THE SITE AND THE TYPE OF CONSTRUCTION WHICH WILL BE OCCURRING.
  - DESCRIBE THE SITE PLAN FOR THE FACILITY TO BE CONSTRUCTED.
  - DESCRIBE THE PRACTICES THAT WILL BE IMPLEMENTED TO CONTROL EROSION AND THE REDUCE OF POLLUTANTS IN STORM WATER.
  - CREATE AN IMPLEMENTATION SCHEDULE.
  - DESCRIBE THE FINAL STABILIZATION/TEMPORARY DESIGN TO MAINTAIN EROSION AND PREVENT STORM WATER IMPACTS AFTER CONSTRUCTION IS COMPLETE.
- THE CONTRACTOR SHALL HAVE THE STORM WATER POLLUTION PREVENTION PLAN APPROVED BY THE LOCAL, STATE AND FEDERAL REGULATORY AGENCIES.
- CONSTRUCTION OPERATIONS OR MAINTENANCE OF THE PLAN, OR WHEN THE ALL ADDITIONAL MATERIALS AND EQUIPMENT SHALL BE STORED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
- STABILIZATION MEASURES ARE TO BE APPLIED AT A MINIMUM OF ONCE EVERY 7 DAYS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE STABILIZATION MEASURES THROUGHOUT THE CONSTRUCTION PERIOD.
- AN INSPECTION REPORT THAT SUMMARIZES INSPECTION ACTIVITIES AND SHALL BE RETAINED AND MADE PART OF THE PLAN.
- ALL CONTRACTORS AND SUBCONTRACTORS IDENTIFIED IN THE PLAN MUST COMPLY WITH ALL REQUIREMENTS OF THE TEXAS CENTRAL FLOOD CONTROL DISTRICT AND ANY APPLICABLE ORDINANCES OF THE STORM WATER POLLUTION PREVENTION PLAN.
- THE CONTRACTOR SHALL ADOPT APPROPRIATE CONSTRUCTION SITE MAINTENANCE PRACTICES TO PREVENT THE ESCAPE OF OIL, GREASE, PAINTS, COOLANTS, AND OTHER POLLUTANTS TO STORM WATER. APPROPRIATE PRACTICES CAN INCLUDE DESIGNATING AREAS FOR EQUIPMENT MAINTENANCE AND REPAIR, DESIGNATING LOCATED WASTE RECEPTACLES, AND DESIGNATING AND CONTROLLING EQUIPMENT WASHDOWN.
- THE CONTRACTOR SHALL MAINTAIN THE PLAN AS REQUIRED BY THE REGULATORY AGENCIES. THE CONTRACTOR SHALL MAINTAIN THE PLAN AND RECORDS OF THE PLAN THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL NOT BE BASIS FOR ADDITIONAL COST TO THE OWNER.
- AREAS OF CONSTRUCTION EASEMENT ON THE JOB SITE SHALL CONFORM TO THE DETAILS SHOWN ON THE PLANS.
- BORROW AREAS, IF APPLICABLE, SHALL BE PROTECTED AND STABILIZED UTILIZING THE PLAN DETAILS. ALL WORK SHALL CONFORM TO CONVENTIONAL REQUIREMENTS AND RECORDS OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) TO THE OWNER.
- ALL NON-PAVED AREAS SHALL BE BAILED AND SEEDED WITH EROSION PROTECTION AND STABILIZATION. THE CONTRACTOR SHALL MAINTAIN SHALL DRAINAGE AND KEEP SEEDED AREAS MAINTAINED UNTIL FULLY ESTABLISHED AND ACCEPTED BY THE OWNER.
- THE CONTRACTOR SHALL CONSTRUCT A STABILIZED CONSTRUCTION EXIT AT ALL THRESHOLD EXIT POINTS PRIOR TO EXISTING DIRT AND PAVED ROADWAYS.
- THE CONTRACTOR SHALL CONSTRUCT A REINFORCED FILTER BARRIER (RFB) AT ALL LOCATIONS SHOWN ON PLANS. THE RFB SHALL BE CONSTRUCTED AS SHOWN ON THIS SHEET.



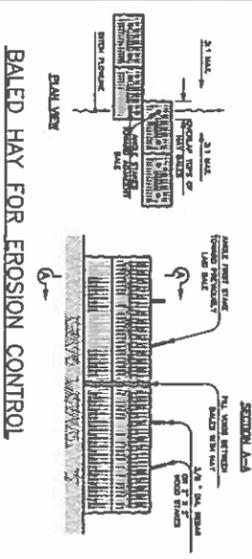
- GENERAL NOTES**
- BAILED HAY SHALL BE A MINIMUM OF 30" IN LENGTH AND 18" IN WIDTH.
  - BAILED HAY SHALL BE STORED BY STRIPS ON EARTH OR CONCRETE.
  - BAILED HAY SHALL BE COMPACTED IN THE SOIL A MINIMUM OF 4" AND WET WEIGHT SHALL BE 100% OF THE SOIL.
  - BAILED HAY SHALL BE PLACED IN A LAYER WITH LONGER STRIPS PARALLEL TO THE SLOPE.
  - BAILED HAY SHALL BE SEEDING APPROVED BY LOCAL, STATE AND FEDERAL REGULATORY AGENCIES.
  - BAILED HAY SHALL BE SEEDING APPROVED BY LOCAL, STATE AND FEDERAL REGULATORY AGENCIES.
  - THE CONTRACTOR SHALL MAINTAIN THE BARRIERS ONLY AND NOT BE RESPONSIBLE FOR THE CONSTRUCTION.



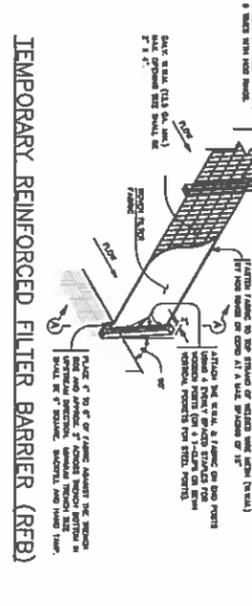
- GENERAL NOTES**
- THE RFB SHALL BE A MINIMUM OF 12" IN THICKNESS AND 18" IN WIDTH.
  - THE RFB SHALL BE STORED BY STRIPS ON EARTH OR CONCRETE.
  - THE RFB SHALL BE COMPACTED IN THE SOIL A MINIMUM OF 4" AND WET WEIGHT SHALL BE 100% OF THE SOIL.
  - THE RFB SHALL BE PLACED IN A LAYER WITH LONGER STRIPS PARALLEL TO THE SLOPE.
  - THE RFB SHALL BE SEEDING APPROVED BY LOCAL, STATE AND FEDERAL REGULATORY AGENCIES.
  - THE RFB SHALL BE SEEDING APPROVED BY LOCAL, STATE AND FEDERAL REGULATORY AGENCIES.
  - THE CONTRACTOR SHALL MAINTAIN THE BARRIERS ONLY AND NOT BE RESPONSIBLE FOR THE CONSTRUCTION.



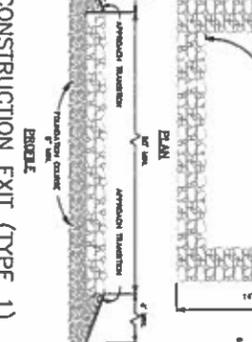
- GENERAL NOTES**
- THE LIMITS OF THE TYPE 1 CONSTRUCTION EXIT SHALL BE AS SHOWN ON THE PLAN.
  - THE CONSTRUCTION EXIT SHALL BE CONSTRUCTED AS SHOWN ON THE PLAN.
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- GENERAL NOTES**
- BAILED HAY SHALL BE A MINIMUM OF 30" IN LENGTH AND 18" IN WIDTH.
  - BAILED HAY SHALL BE STORED BY STRIPS ON EARTH OR CONCRETE.
  - BAILED HAY SHALL BE COMPACTED IN THE SOIL A MINIMUM OF 4" AND WET WEIGHT SHALL BE 100% OF THE SOIL.
  - BAILED HAY SHALL BE PLACED IN A LAYER WITH LONGER STRIPS PARALLEL TO THE SLOPE.
  - BAILED HAY SHALL BE SEEDING APPROVED BY LOCAL, STATE AND FEDERAL REGULATORY AGENCIES.
  - BAILED HAY SHALL BE SEEDING APPROVED BY LOCAL, STATE AND FEDERAL REGULATORY AGENCIES.
  - THE CONTRACTOR SHALL MAINTAIN THE BARRIERS ONLY AND NOT BE RESPONSIBLE FOR THE CONSTRUCTION.



- GENERAL NOTES**
- THE RFB SHALL BE A MINIMUM OF 12" IN THICKNESS AND 18" IN WIDTH.
  - THE RFB SHALL BE STORED BY STRIPS ON EARTH OR CONCRETE.
  - THE RFB SHALL BE COMPACTED IN THE SOIL A MINIMUM OF 4" AND WET WEIGHT SHALL BE 100% OF THE SOIL.
  - THE RFB SHALL BE PLACED IN A LAYER WITH LONGER STRIPS PARALLEL TO THE SLOPE.
  - THE RFB SHALL BE SEEDING APPROVED BY LOCAL, STATE AND FEDERAL REGULATORY AGENCIES.
  - THE RFB SHALL BE SEEDING APPROVED BY LOCAL, STATE AND FEDERAL REGULATORY AGENCIES.
  - THE CONTRACTOR SHALL MAINTAIN THE BARRIERS ONLY AND NOT BE RESPONSIBLE FOR THE CONSTRUCTION.



- GENERAL NOTES**
- THE LIMITS OF THE TYPE 1 CONSTRUCTION EXIT SHALL BE AS SHOWN ON THE PLAN.
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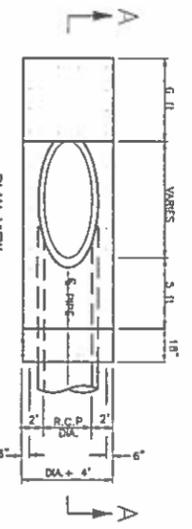
Unit: Designed F.H., Drawn AGH, Scale: Horiz. AS SHOWN, Vert. 1/4" = 1', Checked M.H., Approved F.H., Date: NOVEMBER, 2017, Job No. W2016-0257

**AGH ENGINEERING & SURVEYING**  
 P.O. BOX 4180 DALLAS, TEXAS 75223-4180 6305 Farolan Line Road 75226  
 Tel: (972) 374-8300 Fax: (972) 374-8303  
 TYPE FIRM No. F-3197 TRLS FIRM No. 108845-00

HAMPTON INN & SUITES  
 SOUTH PADRE ISLAND, TEXAS  
 SUGGESTED EROSION CONTROL PLAN

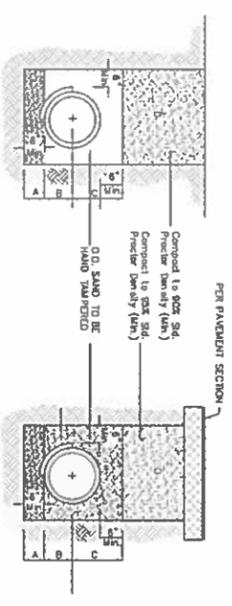
C6





- NOTES:
1. CONCRETE TO HAVE 3000 PSI MIN. COMPRESSIVE STRENGTH.
  2. SLOPE TO MAKE 40,000 PSI FIELD STRENGTH.
  3. DOWEL AT CONSTRUCTION JOINTS SHALL HAVE 3/8 X 6" DIA. EMBEDMENT.

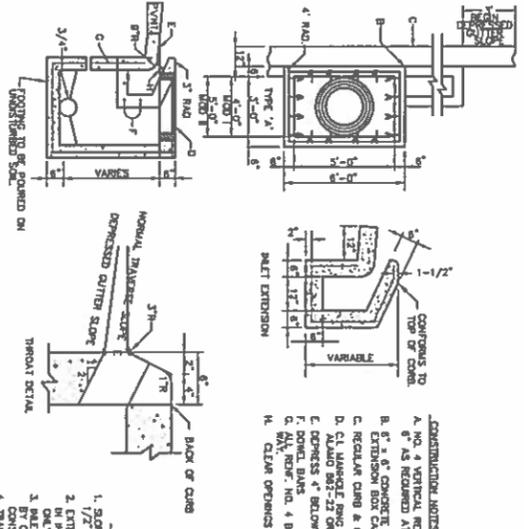
STANDARD PIPE BEDDING  
SCALE: N.T.S.



STANDARD PIPE BEDDING  
UNDER EXISTING PAVEMENT OR PRE-CAST PAVEMENT

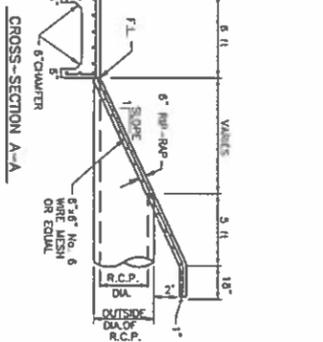
- A. SAND BEDDING TO BE PLACED BEFORE PIPE IS LAID UP TO FLOW LINE OF PIPE (MIN. THICKNESS = 6")
- B. SAND BACKFILL PLACED AFTER PIPE IS LAID FROM BOTTOM OF PIPE TO SPRING LINE OF PIPE (4" LIFTS, WATER 4.7" HAND TAMPED)
- C. SAND BACKFILL PLACED FROM SPRING LINE OF PIPE TO 6" ABOVE TOP OF PIPE (6" LIFTS, HAND TAMPED)
- D. TRENCH W/SAND, W/8" LIFTS COMPACT TO BOX STD. PROCTOR
- FOUNDATION PREPARATION (INCLINATIONS, GRAVEL, OR STABILIZATION OR APPROVED SUBSTITUTE) SHALL BE REQUIRED WHEN TRENCH BOTTOM IS UNSUITABLE.
- BACKFILLING AT STRUCTURES SHALL BE PLACED IN UNIFORM LAYERS AND COMPACTED TO 95% STANDARD PROCTOR DENSITY AND APPROXIMATE OPTIMUM MOISTURE CONTENT. SAND, APPROVED SIEVE SIZE, OR OTHER APPROVED SUBSTITUTE.
- STOW LINE - BACKFILL ALSO SAND TO BE APPROX 5MM W/ 1" S/S

BEDDING AND TRENCH BACKFILL DETAIL 2  
SCALE: N.T.S.

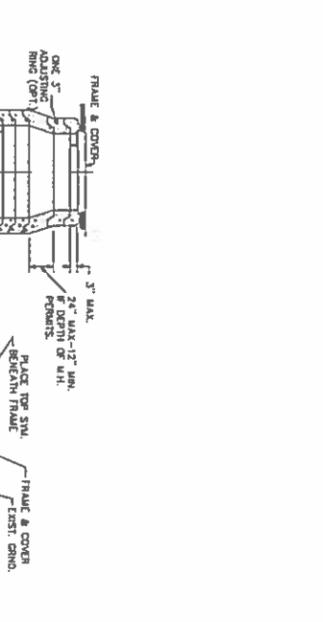


- CONSTRUCTION NOTES:
- A. 6" MINIMUM HEIGHT, MINIMUM 15" OR 4" DIA. RADIUS AT CORNER.
  - B. 6" 4" 5" SAND OR OTHER USED WITH EXTENSION BOX GLUED FOR.
  - C. REGULAR GRID & CUTTER SECTION.
  - D. ALL WARE PIPING & COVER SHALL BE ALUMINUM 802-22 OR EQUAL.
  - E. DEPRESS 4" BELOW NORMAL OUTER.
  - F. DOWEL BARS.
  - G. ALL REINFORCING BARS 1/2" O.C. EACH.
  - H. CLEAN OPENINGS.

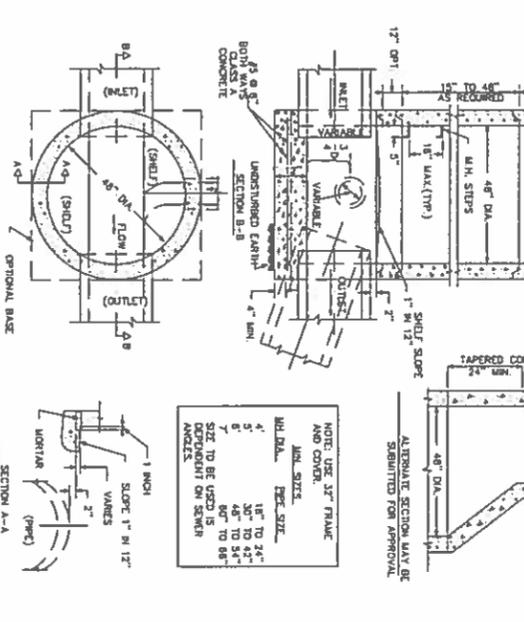
CURB INLET DETAIL  
SCALE: N.T.S.



CROSS-SECTION A-A

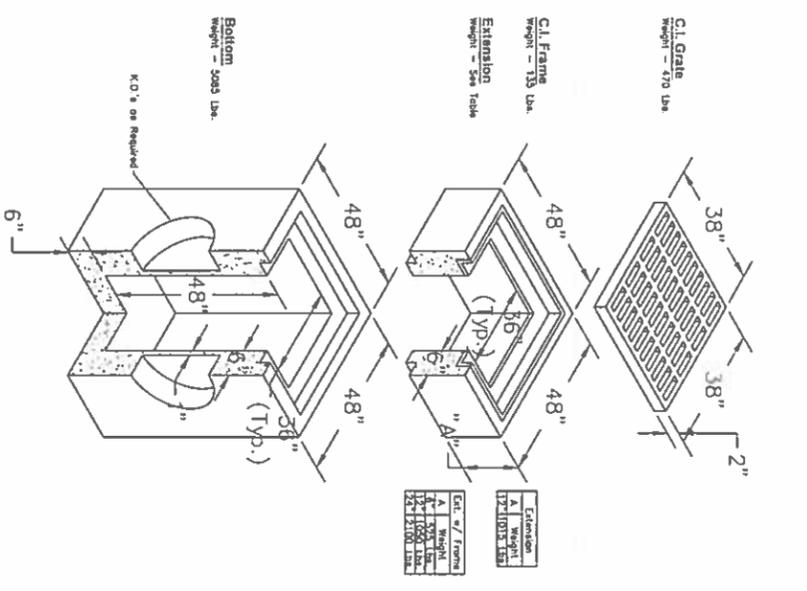


FRAME & COVER DETAIL  
SCALE: N.T.S.

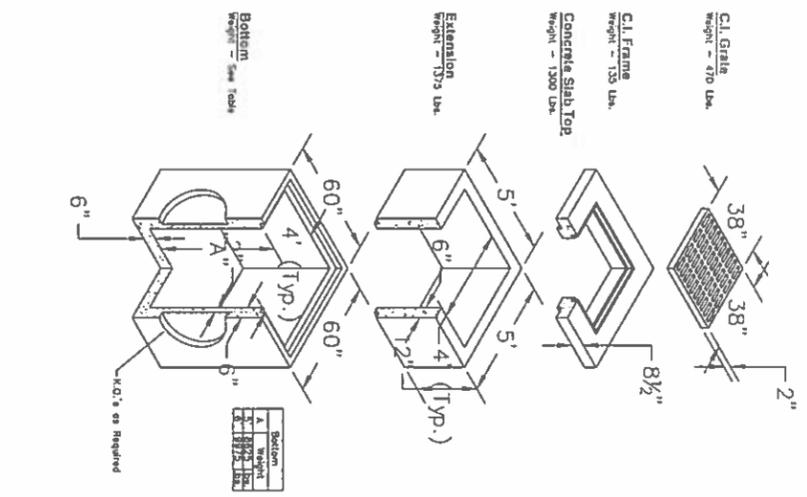


- GENERAL NOTES:
1. SLOPE 1" IN 12" TOWARD INLET.
  2. EXTENSION TO INLET TO BE MADE IN 1" MOMENTS OF 3'-0" OR 8'-0" ONLY EXTENSION LAST BE APPROVED BY CIVIL ENGINEER PRIOR TO CONSTRUCTION.
  3. TRANSITION NORMAL OUTER TO INLET CONSTRUCTION.
  4. THINER PART OF PRE-CAST SECTION PRE-CAST ON THE SITE BY CONTRACTOR.

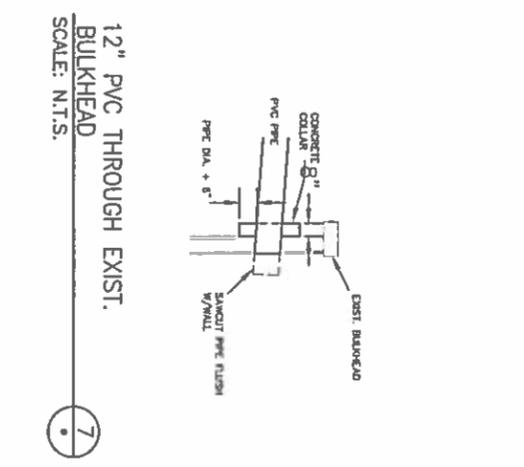
PRE-CAST CONCRETE MANHOLE  
SCALE: N.T.S.



36" x 36" GRATE INLET  
SCALE: N.T.S.



48" x 48" GRATE INLET  
SCALE: N.T.S.



12" PVC THROUGH EXIST. BULKHEAD  
SCALE: N.T.S.

Unit	Designed	F.H.
	Drawn	AGH
	Scale	Horz. AS SHOWN
	Checked	M.H.
	Approved	F.H.
	Date	NOVEMBER, 2017
	Job No.	W2016-0257

**AGH ENGINEERING & SURVEYING**

P.O. BOX 4180 Dumasville, Texas 78223-4180 6305 Pavilion Lane Road 78226  
Tel: (254) 574-8300 Tfx: (254) 574-8303

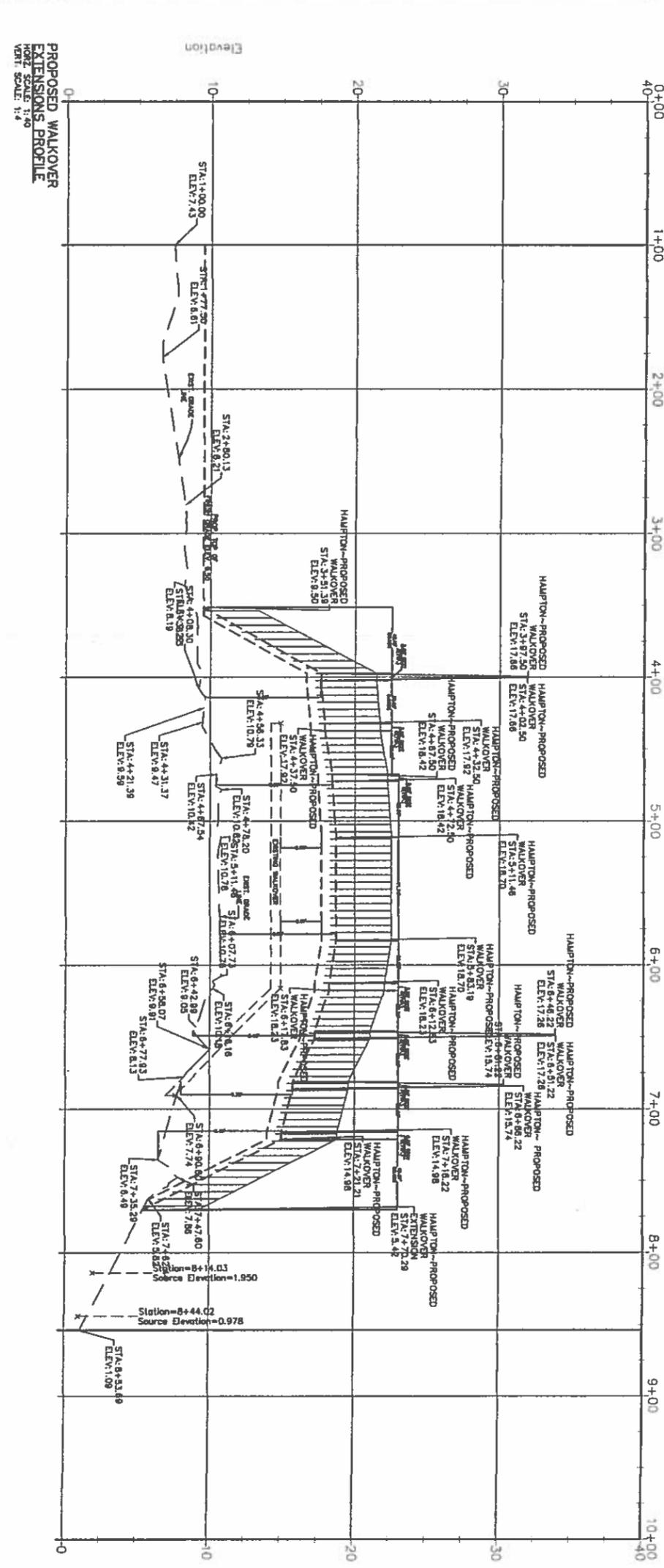
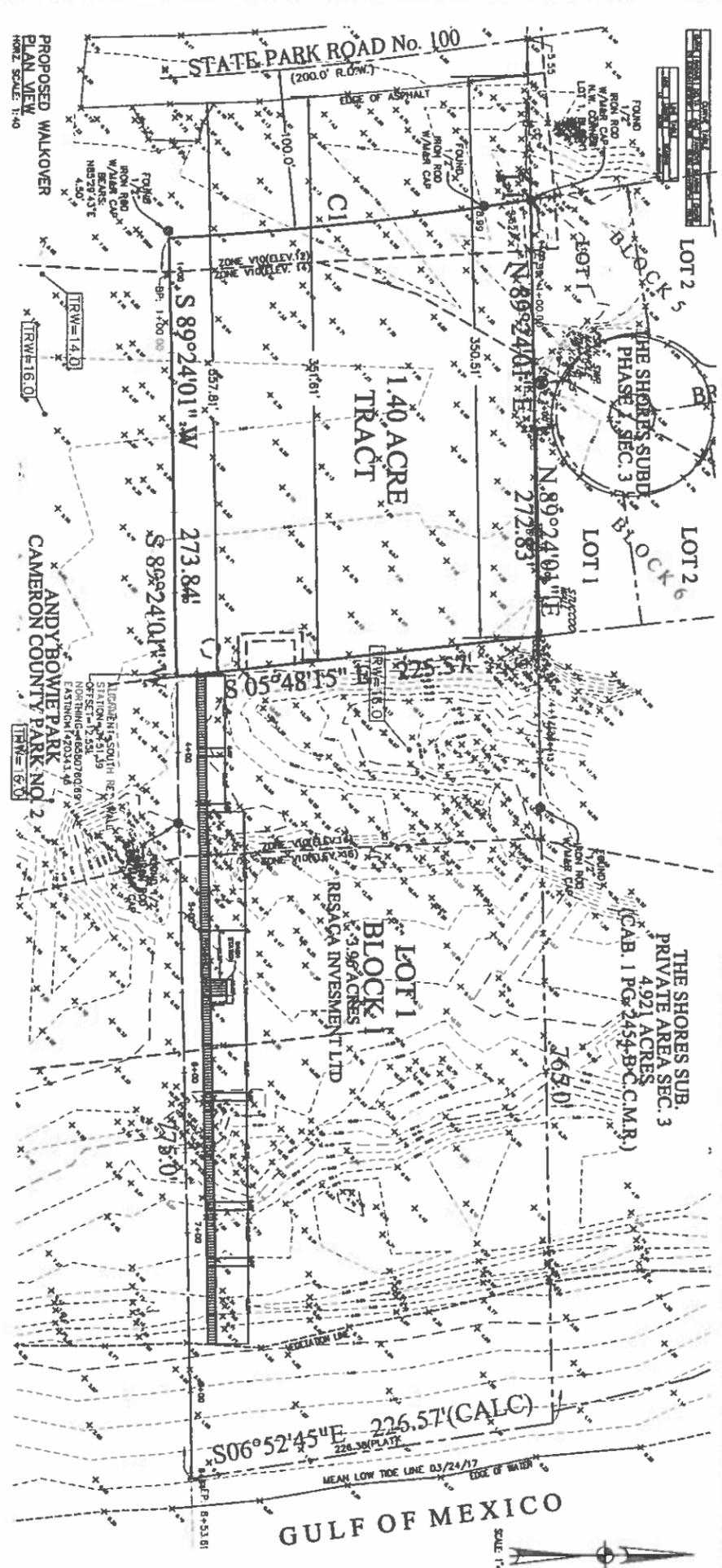
TITLE FIRM No. F-3197 TRUS FIRM No. 100840-00

HAMPTON INN & SUITES  
SOUTH PADRE ISLAND, TEXAS  
DRAINAGE DETAILS

C8

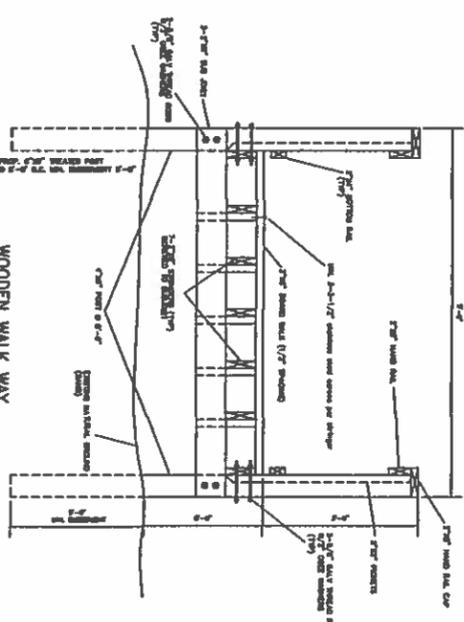






**WOOD SPECIFICATIONS**

COMPONENT	GRADE	SIZE/TENON	WOODING CENTER	PRESERVATIVE RETENTION SALTYWATER
SPUR PILE OR SUB-POST	1x4 1000E	5x8/24	5-0W/18 OR LSS	AP 100, 31, 0, 20 CO. OR 120 ORGENT AP 100, 28, 2, 20 CO. (PULV. SALT)
STINKERS	1x4	5x8/24	5-0W/18 OR LSS	AP 100, 31, 0, 20 CO. OR 120 ORGENT AP 100, 28, 2, 20 CO. (PULV. SALT)
DECORING	1x4	5x8/24	5-0W/18 OR LSS	AP 100, 31, 0, 20 CO. OR 120 ORGENT AP 100, 28, 2, 20 CO. (PULV. SALT)
PLANK (ROUND THUBERS)	1x4	5x8/24	5-0W/18 OR LSS	AP 100, 31, 0, 20 CO. OR 120 ORGENT AP 100, 28, 2, 20 CO. (PULV. SALT)



- NOTES**
1. RETAINING AND CONNECTIONS SHOULD BE PER 304.30 OF 2010 ALUM. CODES.
  2. ALL DIMENSIONS SHOULD BE IN FEET AND INCHES UNLESS OTHERWISE NOTED.
  3. ALL DIMENSIONS SHOULD BE IN FEET AND INCHES UNLESS OTHERWISE NOTED.
  4. ALL DIMENSIONS SHOULD BE IN FEET AND INCHES UNLESS OTHERWISE NOTED.
  5. ALL DIMENSIONS SHOULD BE IN FEET AND INCHES UNLESS OTHERWISE NOTED.
  6. ALL DIMENSIONS SHOULD BE IN FEET AND INCHES UNLESS OTHERWISE NOTED.
  7. ALL DIMENSIONS SHOULD BE IN FEET AND INCHES UNLESS OTHERWISE NOTED.
  8. ALL DIMENSIONS SHOULD BE IN FEET AND INCHES UNLESS OTHERWISE NOTED.
  9. ALL DIMENSIONS SHOULD BE IN FEET AND INCHES UNLESS OTHERWISE NOTED.
  10. ALL DIMENSIONS SHOULD BE IN FEET AND INCHES UNLESS OTHERWISE NOTED.
  11. ALL DIMENSIONS SHOULD BE IN FEET AND INCHES UNLESS OTHERWISE NOTED.
  12. ALL DIMENSIONS SHOULD BE IN FEET AND INCHES UNLESS OTHERWISE NOTED.
  13. ALL DIMENSIONS SHOULD BE IN FEET AND INCHES UNLESS OTHERWISE NOTED.
  14. ALL DIMENSIONS SHOULD BE IN FEET AND INCHES UNLESS OTHERWISE NOTED.

**PROPOSED WALKOVER EXTENSIONS PROFILE**  
 HORIZ. SCALE: 1"=40'  
 VERT. SCALE: 1"=4'

**AGH**  
 ENGINEERING & SURVEYING  
 P.O. BOX 2188 Brownsville, Texas 77822-4188  
 TEL: 361-833-2222 FAX: 361-833-2222

**HAMPTON INN & SUITES**  
 SOUTH PADRE ISLAND, TEXAS  
**PROPOSED WALKOVER**

DATE: 08-11-2017  
 DRAWN: F.J.L.  
 CHECKED: F.J.L.  
 APPROVED: A.S. CHEN  
 SHEET: 1 OF 1  
 PROJECT: W2016-0257  
 REMOVE PROPOSED RETAINING WALL  
 08/11/17



**CITY OF SOUTH PADRE ISLAND  
SHORELINE TASKFORCE  
MEETING  
AGENDA REQUEST FORM**

**MEETING DATE:** April 23, 2018

**NAME & TITLE:** Brandon Hill, Shoreline Director

**DEPARTMENT:** Shoreline department

**ITEM**

Discussion and action to recommend to City Council the approval of a Beach and Dune Permit for 1010 Padre Boulevard South Padre Island Texas. (Hill)

**ITEM BACKGROUND**

The applicant wants to replace and extend beach mats (Mobi mats) at two existing walkways, extending them to the Line of Vegetation.

**BUDGET/FINANCIAL SUMMARY**

None

**COMPREHENSIVE PLAN GOAL**

Chapter III. Parks and Resources

GOAL 1: The City shall ensure protection and conservation of natural resources, such as beaches, dunes, wetlands, Laguna Madre waterfront and native flora and fauna, allowing for their sustainable use and enjoyment by future generations.

Objective 1.1 Beach and dunes shall be protected from both natural and artificial erosion.

**LEGAL REVIEW**

Sent to Legal:                      YES: \_\_\_\_\_                      NO:   X    
Approved by Legal:              YES: \_\_\_\_\_                      NO:   X  

Comments:

**RECOMMENDATIONS/COMMENTS**

Staff recommends the approval.



TEXAS GENERAL LAND OFFICE  
GEORGE P. BUSH, COMMISSIONER

April 18, 2018

Via Electronic Mail

Brandon Hill  
Shoreline Management Director  
City of South Padre Island  
4601 Padre Blvd.  
South Padre Island, Texas 78597-3410

**Beachfront Construction Certificate & Dune Protection Permit in the City of South Padre Island**

**Site Address:** 1000 and 1010 Padre Boulevard, South Padre Island  
**Legal Description:** Sunchase Condos, Apt 100, Padre Island Unsubdivided Lot AN-7, Block A  
**Lot Applicant:** Raul Lopez  
**GLO ID No.:** BDSPI-18-0074

Dear Mr. Hill:

The General Land Office (GLO) has reviewed the application for a dune protection permit and beachfront construction certificate for the above-referenced location. The applicant proposes to place additional Mobi-mats in two existing beach access pathways without causing adverse effects to dunes and dune vegetation. Mobi-mats will not extend beyond the line of vegetation. According to the Bureau of Economic Geology, the area is considered accreting.

Based on the application materials forwarded to our office for review, we have the following comments:

- The permit applicant is not consistent with ownership records found in the Cameron County Central Appraisal District (CAD) system. The City must ensure the legal owner of the property has authorized the proposed construction prior to issuing the beachfront construction certificate and dune protection permit.
- During construction activities, the applicant must avoid any adverse effects to dunes or dune vegetation.<sup>1</sup>
- The proposed Mobi-mat placement must not result in the potential for increased flood damage to the proposed construction site or adjacent property, result in runoff or drainage patterns that aggravate erosion, adversely effect dune complexes or dune vegetation, or significantly increase the potential for washovers or blowouts to occur.<sup>2</sup>

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<sup>1</sup> 31 Tex. Admin. Code § 15.4(f)(3).

<sup>2</sup> 31 Tex. Admin. Code § 15.4(d).

If you have any questions, please contact me at (512) 463-0413 or at [natalie.bell@glo.texas.gov](mailto:natalie.bell@glo.texas.gov).

Sincerely,

A handwritten signature in black ink that reads "Natalie Bell". The signature is written in a cursive style with a large, looping initial "N".

Natalie Bell  
Beach Access & Dune Protection Program  
Coastal Resources Division  
Texas General Land Office

## MEMORANDUM

TO: Shoreline Task Force  
Natalie Bell, General Land Office

FROM: Brandon N. Hill, Shoreline Department Director

DATE: April, 11 2018

RE: Preliminary determination on proposed Mobi-mat addition to 1000 and 1010 Padre Blvd,  
South Padre Island Tx 78597

The enclosed application materials present plans for the placement of beach mats in the location of the previous mats. This application is to extend the mats to the line of vegetation. There are 5 mats on both the north and the South paths. Three more mats will be added to each path. As suggested by Brandon Hill, Shoreline Director, the next two mats will follow the current path and the third mat will be angled north on the current path. The area on the Gulf side of the mat will then be fenced off to allow the dunes to develop protective vegetation.

With consideration given to conformance with TAC regulations our preliminary determination is that:

1. The proposed activity will not reduce the size of the public beach. [TAC 15.5 (b)(1)]
2. The proposed activity does not appear to involve construction upon the public beach. [TAC 15.5 (c)(1)]
3. The proposed activity will not encroach upon the public beach. [TAC 15.5 (c)(1)]

With consideration given to the City's *Dune Protection and Beach Renourishment and Access Plan* [B&D Ord. Section 22-10]:

1. The proposed activity will not result in the potential for increased flood damage to the subject property or adjacent properties.
2. The proposed activity will not result in run-off or drainage patterns that aggravate erosion on and off the site.
3. The proposed activity will cause no changes to the existing dune hydrology east of the Historic Building Line.
4. The proposed activity will result in no adverse effects on dune complexes of vegetation.
5. The proposed activity will not significantly increase the potential for washover or blowouts.



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Brandon N. Hill



# Beach & Dune Application

City of South Padre Island  
4601 Padre Blvd.  
South Padre Island, TX 78597  
Phone: (956) 761-3044  
Fax: (956) 761-3898

## Site for Proposed Work

Legal Description: See attached. Physical Address: 1000 and 1010 Padre Blvd., South Padre Island TX 78597

## Property Owner Information

Name: Sunchase I, II, III, (aka Beachfront) and Sunchase IV  
Mailing Address: 1010 Padre Blvd.  
City: South Padre Island State: Texas  
Zip: 78597 Country: United States  
Phone Number: 956-761-1660  
Fax Number: 956-761-1401  
E-Mail Address: info@sunchasebeachfrontcondos.com

## Applicant / Agent for Owner

Name: Raul Lopez, complex Manager  
Mailing Address: 1010 Padre Blvd.  
City: South Padre Island State: Texas  
Zip: 78597 Country: United States  
Phone Number: 956-761-1660  
Fax Number: \_\_\_\_\_  
E-Mail Address: raul@bizrgv.ir.com

I / We, owners of the above-mentioned property, authorize the applicant stated above, to act in my behalf in order to acquire a Beach and Dune permit for the construction proposed below. (owner initials here \_\_\_\_\_)

Owner(s) Signature(s):   
Date: 03-29-18

Applicant Signature:   
Date: 03-29-18

## Project Description

Describe with as much as detail as possible, the construction proposed. If more room is needed, please include an additional page. Include the number of habitable units, amenities, swimming pools, fences, kinds of fences, whether footings and/or retaining walls will be installed, and locations of proposed landscaping and parking.

Replace the beach mats in the location of the previous mats. The mats in the picture were recently replaced and before we knew to request a permit for the replacement.  
This application is to extend the mats to the length of the original mats which went to the edge of the dune vegetation. There are 5 mats on both the north and the south paths.  
Three more mats should be added to each path. As suggested by Brandon Hill, Shoreline Management Director, the first two mats will follow the current path and the third mat will be angled north on the current path. The area on the Gulf side of the mat will then be fenced off to allow the dunes to develop protective vegetation.

Total Square Footage of Footprint of Habitable Structure: 0  
Total Area of Impervious Surface (i.e. retaining walls, walkways, drives, patios, etc.): 0  
Percentage Impervious Surface [(impervious surface / habitable footprint) \* 100]: 0

Please Note: the percentage of impervious surface cannot exceed 5% in an eroding area.

Approximate Duration of Construction: A few hours by the complex staff. This will be done ASAP once the permit is received and the mats acquired.

### Financial Plan for the Removal of All Hard Structures

All properties which are allowed to build retaining walls on their property are allowed to do so with the condition that a financial plan for the removal of the retaining wall is submitted to the Public Works Department of the City of South Padre Island. Removal of the retaining wall at the owner's expense may be required if/once the retaining wall comes into regular contact with wave action for twenty (20) out of thirty (30) consecutive days. The City accepts the submission of a Retaining Wall Covenant, or other financial guarantee, insuring the removal of the retaining wall if the required conditions are met.

Type of Plan Submitted: \_\_\_\_\_ N/A \_\_\_\_\_ Date Submitted: \_\_\_\_\_

### Drainage

Describe the impact that the proposed construction will have on the natural drainage pattern on the site and adjacent lots.

- No change in the drainage on site.
- The proposed construction will change the grading and the drainage on the subject property. (An explanation will be required detailing where the water will drain.)

Explanation / Other Information: \_\_\_\_\_  
\_\_\_\_\_

### Impacts to Beach / Dune System

Answer each question as completely as possible in narrative form.

1. What damage will this proposed construction have on the dune vegetation located at the project site?

- No damage to dune vegetation whatsoever.
- The proposed construction will impact \_\_\_\_\_% of the dune vegetation site. (An explanation of the "impact" will be required.)
- The proposed construction will require the removal and relocation of \_\_\_\_\_% of the dune vegetation on site. (The submission of a mitigation plan will be required.)

Explanation / Other Information: \_\_\_\_\_  
\_\_\_\_\_

2. How will the proposed construction alter the dune size/shape at the project site?

- No change to dune size/shape whatsoever.
- The proposed construction will change \_\_\_\_\_% of the size/shape of dunes on site. (Details will be required.)
- The proposed construction will require the removal and relocation of \_\_\_\_\_% of the dunes on site. (The submission of a mitigation plan will be required.)

Explanation / Other Information: \_\_\_\_\_  
\_\_\_\_\_

3. How will the proposed construction change the hydrology of the dunes at the project site?

- No change to dune hydrology whatsoever.
- The proposed construction will impact dune hydrology on site. (Details will be required.)

Explanation / Other Information: \_\_\_\_\_  
\_\_\_\_\_

4. Describe alternatives to the proposed construction or method of construction which will cause fewer or no adverse effects on dunes and dune vegetation.

\_\_\_\_\_  
\_\_\_\_\_

5. Describe alternatives to the proposed construction or method of construction which will cause fewer or no adverse impairment to beach access.

\_\_\_\_\_  
\_\_\_\_\_

### Mitigation Plan

Describe the methods which you will use to avoid, minimize, mitigate and/or compensate for any adverse effects on dunes or dune vegetation.

Explanation / Other Information: N/A

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#### Financial Plan for Dune Mitigation:

If required by the City Council, a financial guarantee (irrevocable letter of credit or a performance bond, etc.) may be necessary to insure the mitigation of dunes/dune vegetation takes place as proposed and required of the applicant.

Type of Plan Submitted: \_\_\_\_\_ Date of Submission: \_\_\_\_\_

### Checklist of Additional Required Application Information

#### An accurate map, plat or site plan showing:

- 1. Legal description of the property (lot, block, subdivision) and the immediately adjoining property.
- 2. Location of all existing structures - including the habitable and inhabitable structures, swimming pools, decks, fences, parking areas, landscape areas, etc.
- 3. Location of the Historical Building Line on the subject property and the extension of the line on the properties immediately adjoining the subject property to the north and to the south.
- 4. Location and elevation of existing retaining walls - both on the subject property and those properties immediately adjoining the subject property to the north and to the south.
- 5. Location of proposed structure(s) - if proposing the construction of a retaining wall, please also include the proposed elevation of the retaining wall.
- 6. Location of proposed driveways, parking areas (showing the # of proposed parking spaces) and landscape areas.
- 7. Location of all existing and proposed beach access paths and/or dune walkovers.
- 8. Location and extent of any man-made vegetated mounds, restored dunes, fill activities, or any other pre-existing human modifications on the tract.
- 9. Topographical survey of the site identifying all elevations, existing contours of the project area (including dunes and scales) and the proposed contours of the final grade.

#### Other required application information:

- 1. A grading and layout plan showing proposed contours for the final grade.
- 2. The floor plan(s) and elevation(s) of the structure proposed to be constructed or expanded.
- 3. Photographs of the site which clearly show the current location of the vegetation line & existing dunes on the tract within the last 6 months.
- 4. Copy of the Flood Rate Map showing the location of the subject property. (FEMA.GOV - Map Search)
- 5. Copy of the Historical Erosion Rate Map as determined by the University of Texas at Austin, Bureau of Economic Geology. (beg.utexas.edu)
- 6. Application Fee of \$180 for Staff Approved applications and \$300 for City Council Approved applications.

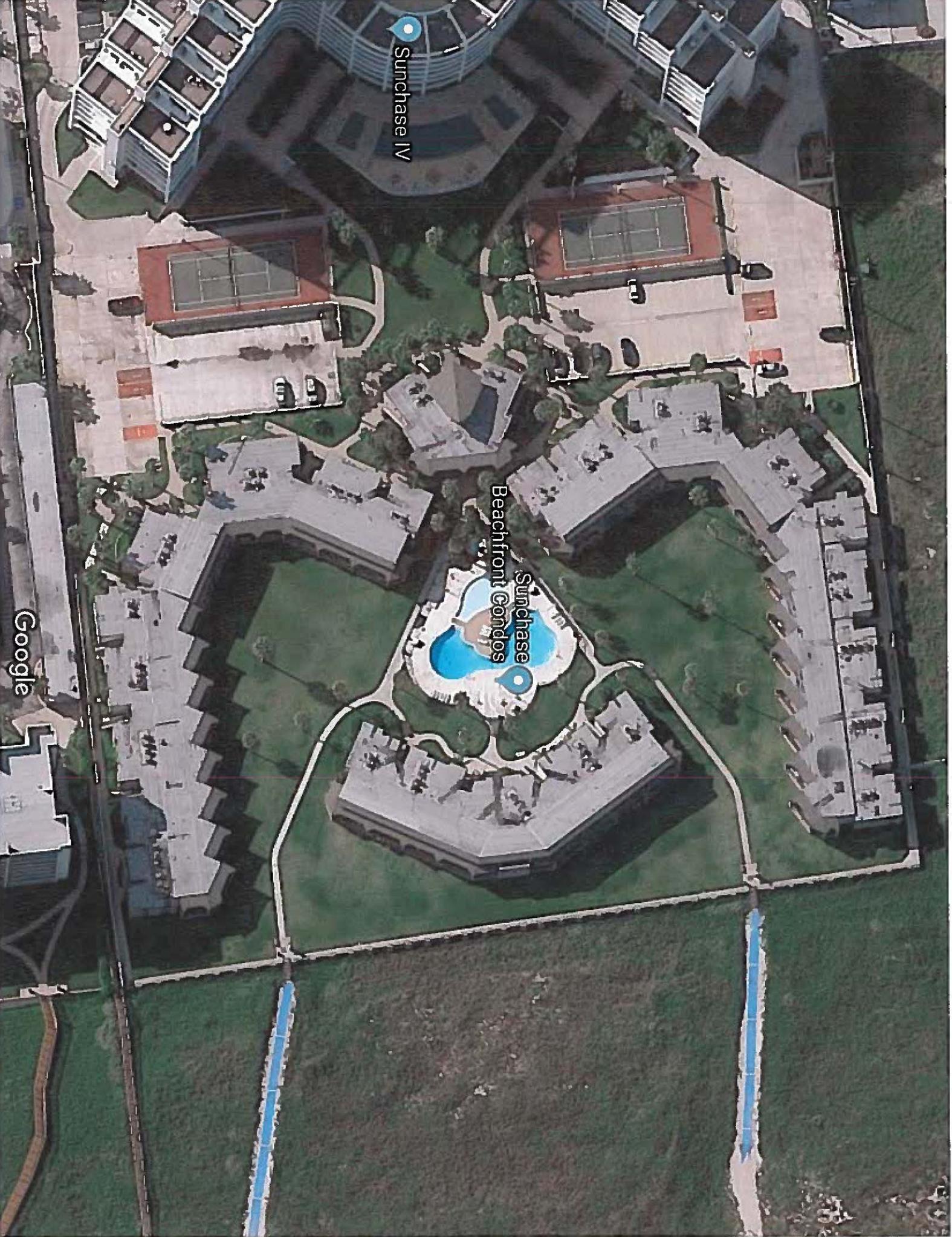
**Your application is not complete unless all information requested above is submitted.**

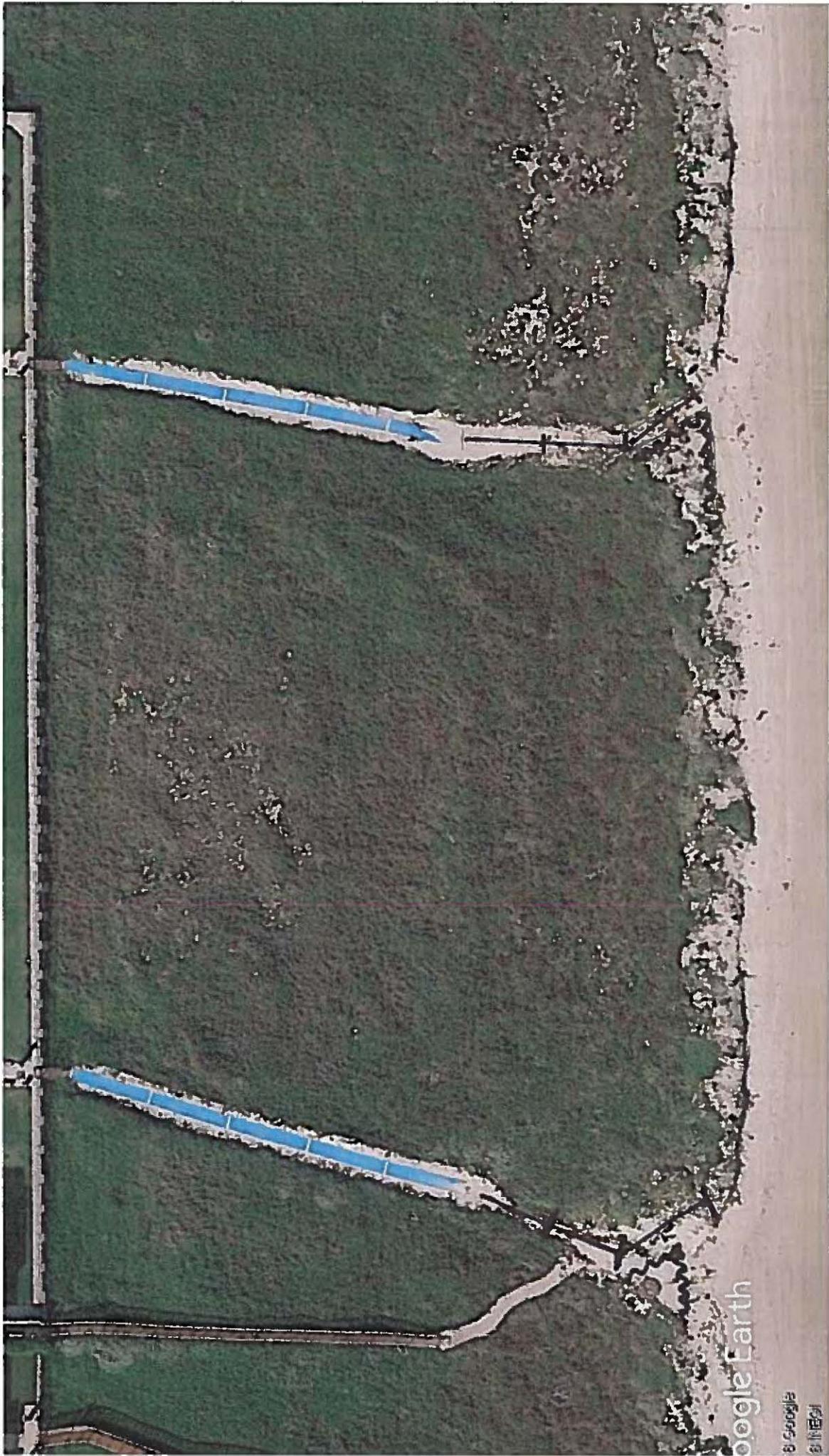
**Application submissions require only three (3) copies of the complete information plus a digital copy.**

Sunchase IV

Sunchase  
Beachfront Condos

Google





new fence  
—| not section



BEING 2.818 acres of land, more or less, of SunChase Properties, Phase IV, out of 16.54 acre Hervey Re-Subdivision, as recorded in Volume 15, Page 36 of the Cameron County Map Records, Cameron County, Texas, said Hervey Re-Subdivision being dissolved, vacated and abandoned by Resolution No. 17 of the Town of South Padre Island on September 5, 1973, said 2.818 acres of land, more or less, being more particularly located and described as follows:

BEGINNING at a point in the north line of the said Hervey Re-Subdivision, said point being N. 82° 58' E., a distance of 200.00 feet from the intersection of the said north line of the Hervey Re-Subdivision and the east right-of-way line of Park Road 100 (Padre Boulevard), said PLACE OF BEGINNING being the northwest corner of the herein described Phase IV;

THENCE, along and with the north line of the said Hervey Re-Subdivision, N. 82° 58' E., a distance of 244.00 feet to a point for a corner of the herein described Phase IV;

THENCE, S. 7° 02' E., a distance of 199.48 feet to a point for a corner of the herein described Phase IV;

THENCE, S. 48° 50' 23" E., a distance of 70.21 feet to a point for a corner of the herein described Phase IV;

THENCE, S. 29° 48' 50" W., a distance of 78.04 feet to a point for a corner of the herein described Phase IV;

THENCE, S. 7° 02' E., a distance of 179.27 feet to a point for a corner of the herein described Phase IV, said corner being located on the south line of the said 16.54 acre Hervey Re-Subdivision;

THENCE, along and with said line S. 83° 38' W., a distance of 244.03 feet to a point for a corner of the herein described Phase IV, said corner being N. 83° 38' E., a distance of 200.01 feet from the intersection point of the south line of the said 16.54 acre Hervey Re-Subdivision and the east right-of-way line of Park Road 100 (Padre Boulevard),

THENCE, parallel to and 200.00 feet from the east right-of-way line of said Park Road 100 (Padre Boulevard), N. 7° 02' W., a distance of 490.69 feet to the PLACE OF BEGINNING, containing 2.818 acres of land, more or less.



# FEMA Flood Map Service Center: Search By Address

Navigation

Search

Languages

Enter an address, place, or coordinates: ?

1000 padre blvd , 78597

Search

Whether you are in a high risk zone or not, you may need [flood insurance](https://www.fema.gov/national-flood-insurance-program) because most homeowners insurance doesn't cover flood damage. If you live in an area with low or moderate flood risk, you are 5 times more likely to experience flood than a fire in your home over the next 30 years. For many, a National Flood Insurance Program's flood insurance policy could cost less than \$400 per year. Call your insurance agent today and protect what you've built.

Learn more about [steps you can take](https://www.fema.gov/what-mitigation) to reduce the risk flood damage.

MSC Home  
[\(//msc.fema.gov/portal/\)](https://msc.fema.gov/portal/)

MSC Search by Address  
[\(//msc.fema.gov/portal/search\)](https://msc.fema.gov/portal/search)

MSC Search All Products  
[\(//msc.fema.gov/portal/advanceSearch\)](https://msc.fema.gov/portal/advanceSearch)

MSC Products and Tools  
[\(//msc.fema.gov/portal/resources/productsandtools\)](https://msc.fema.gov/portal/resources/productsandtools)

Hazus  
[\(//msc.fema.gov/portal/resources/hazus\)](https://msc.fema.gov/portal/resources/hazus)

LOMC Batch Files  
[\(//msc.fema.gov/portal/resources/lomc\)](https://msc.fema.gov/portal/resources/lomc)

Product Availability  
[\(//msc.fema.gov/portal/productAvailability\)](https://msc.fema.gov/portal/productAvailability)

MSC Frequently Asked Questions (FAQs)  
[\(//msc.fema.gov/portal/resources/faq\)](https://msc.fema.gov/portal/resources/faq)

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## Search Results—Products for CAMERON COUNTY UNINCORPORATED AREAS

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The flood map for the selected area is number **48061C0510F**, effective on **02/16/2018** ?

DYNAMIC MAP



MAP IMAGE

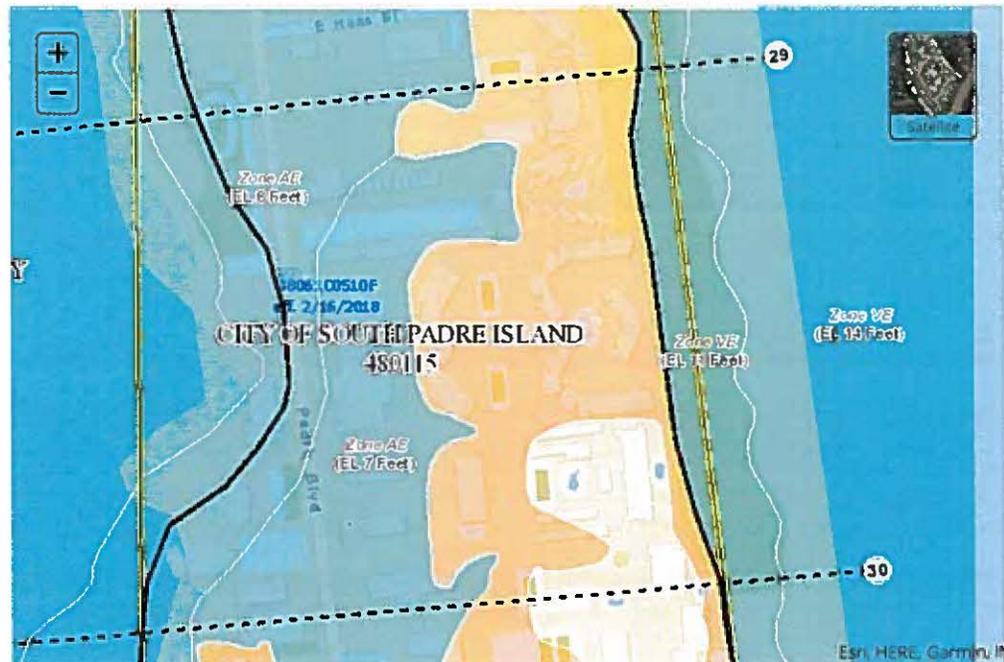


[. \(https://msc.fema.gov/portal/downloadProduct?filepath=/48/P/Firm/48061C0510F.png&productTypeID=FINAL\\_PRODUCT&productSubTypeID=FIRM\\_PANEL\)](https://msc.fema.gov/portal/downloadProduct?filepath=/48/P/Firm/48061C0510F.png&productTypeID=FINAL_PRODUCT&productSubTypeID=FIRM_PANEL)

Changes to this FIRM ?

- Revisions (0)
- Amendments (0)
- Revalidations (0)

You can choose a new flood map or move the location pin by selecting a different location on the locator map below or by entering a new location in the search field above. NOTE: Please be sure to enable popups for this site.



**MAP PANELS**

- Digital Data Available
- No Digital Data Available
- Unmapped

**OTHER AREAS**

- NO SCREEN** Area of Minimal Flood Hazard Zone 1
- Effective LOMRs
- Area of Undetermined Flood Hazard Zone 5

**GENERAL STRUCTURES**

- Channel, Culvert, or Storm Sewer
- Levee, Dike, or Floodwall

**SPECIAL FLOOD HAZARD AREAS**

- Without Base Flood Elevation (BFE) Zone A, X, AP
- With BFE or Depth
- Regulatory Floodway Zone AE, A1, AH, V1, AV

**OTHER AREAS OF FLOOD HAZARD**

- 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone 2
- Future Conditions 1% Annual Chance Flood Hazard Zone 3
- Area with Reduced Flood Risk due to Levee. See Notes. Zone 4
- Area with Flood Risk due to Levee Zone 6

**OTHER FEATURES**

- 30.2 Cross Sections with 1% Annual Chance
- 17.5 Water Surface Elevation
- Coastal Transect
- Base Flood Elevation Line (BFE)
- Limit of Study
- Jurisdiction Boundary
- Coastal Transect Baseline
- Profile Baseline
- Hydrographic Features

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**CITY OF SOUTH PADRE ISLAND  
SHORELINE TASKFORCE  
MEETING  
AGENDA REQUEST FORM**

**MEETING DATE:** April 23, 2017

**NAME & TITLE:** Brandon Hill, Shoreline Director

**DEPARTMENT:** Shoreline department

**ITEM**

Discussion and action to create a subcommittee to explore restroom facility solutions on the shoreline. (Hill)

**ITEM BACKGROUND**

**BUDGET/FINANCIAL SUMMARY**

None

**COMPREHENSIVE PLAN GOAL**

GOAL 1: The City shall maintain a “Home Rule” type of government and allow for a more stable environment for effective decision-making.

**LEGAL REVIEW**

Sent to Legal: YES: \_\_\_\_\_ NO: \_\_\_\_\_  
Approved by Legal: YES: \_\_\_\_\_ NO: \_\_\_\_\_

Comments:

**RECOMMENDATIONS/COMMENTS**

**CITY OF SOUTH PADRE ISLAND  
SHORELINE TASK FORCE  
MEETING  
AGENDA REQUEST FORM**

**MEETING DATE:** April 23, 2018

**NAME & TITLE:** Brandon Hill, Shoreline Director

**DEPARTMENT:** Shoreline

**ITEM**

Discussion and action to Recommend to City Council Ordinance No. 18-14 amending Chapter 22 of the Code of Ordinances by amending Section 22-3 providing for amended terms, revising chairpersons voting authority and creating the position of vice chairman for the Shoreline Task Force.

**ITEM BACKGROUND**

It has come to the City Staff's attention that Chapter 22 is currently incongruent with our other City Boards. This minor edit to Section 22-3 will bring the SLTF in line with all of the other advisory boards currently utilized in the City.

Current Chapter 22 Section 22-3 ordinance reads:

The City Council may appoint seven (7) individuals to serve on the Shoreline Task Force. The appointment of individuals shall be for two (2) year terms, such terms to be staggered, and all terms shall expire on September 30 of the year said members term is scheduled to expire or until their successor is appointed. The Task Force shall elect one of the members as Chairperson, and the Chairperson may not make or second motions and may only vote to break a tie vote and if the Chairperson is absent the members shall appoint a temporary Chairperson to preside at the meeting. The initial members appointed by the City Council shall have three (3) members appointed for a one (1) year term and four (4) members appointed for a two (2) year term, and thereafter all appointments will be for a two year term.

Modified Chapter 13 Section 13-24(E) ordinance as follows:

The City Council may appoint seven (7) individuals to serve on the Shoreline Task Force. The appointment of individuals shall be for two (2) year terms, such terms to be staggered, and all terms shall expire on December 31 of the year said members term is scheduled to expire or until their successor is appointed. The Task Force shall elect one of the members as Chairperson and another as vice-Chairperson, and if the Chairperson is absent the vice-Chairperson shall preside at the meeting. The Chairperson will function as a voting member of the SLTF. The initial members appointed by the City Council shall have three (3) members appointed for a one (1) year term and four (4) members

appointed for a two (2) year term, and thereafter all appointments will be for a two year term.

**BUDGET/FINANCIAL SUMMARY**

No budgetary impact is expected.

**COMPREHENSIVE PLAN GOAL**

Chapter VII. Governance and Community Relations

GOAL 1: The City shall maintain a “Home Rule” type of government and allow for a more stable environment for effective decision-making.

**LEGAL REVIEW**

Sent to Legal:	YES: <u>  X  </u>	NO: <u>          </u>
Approved by Legal:	YES: <u>  X  </u>	NO: <u>          </u>

Comments:

**RECOMMENDATIONS/COMMENTS**

Staff recommends approval.

**ORDINANCE 2018-14**

**AN ORDINANCE AMENDING CHAPTER 22 OF THE CODE OF ORDINANCES OF THE CITY OF SOUTH PADRE ISLAND, TEXAS, BY AMENDING SECTION 22-3 PROVIDING FOR AMENDED TERMS, REVISING CHAIRPERSONS VOTING AUTHORITY AND CREATING THE POSITION OF VICE CHAIRMAN.**

**NOW THEREFORE:**

**BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF SOUTH PADRE ISLAND, TEXAS:**

**SECTION 1  
CODE AMENDMENT**

Chapter 22, Section 22-3 of the Code of Ordinances of the City of South Padre Island is hereby amended to read as follows:

**Sec. 22-3. - Shoreline task force-appointment.**

The City Council may appoint seven (7) individuals to serve on the Shoreline Task Force. The appointment of individuals shall be for two (2) year terms, such terms to be staggered, and all terms shall expire on December 31 of the year said members term is scheduled to expire or until their successor is appointed. The Task Force shall elect one of the members as Chairperson and another as vice-Chairperson, and if the Chairperson is absent the vice-Chairperson shall preside at the meeting. The Chairperson will function as a voting member of the SLTF. The initial members appointed by the City Council shall have three (3) members appointed for a one (1) year term and four (4) members appointed for a two (2) year term, and thereafter all appointments will be for a two-year term.

**SECTION 2  
CUMULATIVE AND REPEALER CLAUSE**

That this ordinance shall be cumulative of all provisions of the City's codes and ordinances except where the provisions of this Ordinance are in direct conflict with the provisions of such ordinance in which event the conflicting provisions of such ordinance are hereby repealed.

**SECTION 3  
SEVERABILITY**

That it is hereby declared to be the intention of the City Council of the City that the phrases, clauses, sentences, paragraphs, and sections of this Ordinance are severable, and if any phrase, clause, sentence, paragraph or section of this Ordinance should be declared unconstitutional by

the valid judgment or decree of any court of competent jurisdiction, such unconstitutionality shall not affect any of the remaining phrases, clauses, sentences, paragraphs or sections of the Ordinance, since the same would have been enacted by the City Council without incorporation in this ordinance of any such unconstitutional phrases, clause, sentence, paragraph or section.

**SECTION 4  
EFFECTIVE DATE**

This ordinance shall be effective upon final passage and publication as required by the City Charter and State law.

PASSED, APPROVED AND ADOPTED on First Reading, this 18th day of April 2018.

PASSED, APPROVED AND ADOPTED on Second Reading, this 2nd day of May 2018.

**ATTEST:**

**CITY OF SOUTH PADRE**

**ISLAND, TEXAS**

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SUSAN HILL, CITY SECRETARY

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DENNIS STAHL, MAYOR