

**NOTICE OF MEETING
CITY OF SOUTH PADRE ISLAND
SHORELINE TASK FORCE**

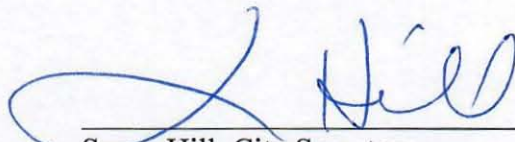
NOTE: One or more members of the City of South Padre Island City Council may attend this meeting; if so, this statement satisfies the requirements of the OPEN MEETINGS ACT.

NOTICE IS HEREBY GIVEN THAT THE SHORELINE TASK FORCE OF THE CITY OF SOUTH PADRE ISLAND, TEXAS, WILL HOLD A REGULAR MEETING ON:

MONDAY, SEPTEMBER 12, 2016
3:00 P.M. AT THE MUNICIPAL BUILDING,
CITY COUNCIL CHAMBERS, 2ND FLOOR
4601 PADRE BOULEVARD, SOUTH PADRE ISLAND, TEXAS

1. Call to Order.
2. Pledge of Allegiance.
3. Public Comments and Announcements: *This is an opportunity for citizens to speak to Task Force relating to agenda or non-agenda items. **Speakers are required to address the Task Force at the podium and give their name before addressing their concerns.** [Note: State law will not permit the Shoreline Task Force to discuss debate or consider items that are not on the agenda. Citizen Comments may be referred to City Staff or may be placed on the agenda of a future Shoreline Task Force meeting]*
4. Approval of minutes of the August 22, 2016 regular meeting.
5. Discussion and possible action to forward approval of the construction of a gazebo structure for an Eagle Scout project in the Butterfly Garden on to City Council. (Barrineau)
6. Discussion and possible action to submit a beach-dune application from the City to the GLO for the installation of a mobile access mat at the Seabreeze I Condominiums. (Barrineau)
7. Discussion and possible action to submit a beach-dune application from the City to the GLO for a low concrete ramp walkway at Park Shores condominiums. (Barrineau)
8. Discussion and possible action to reject submitted bids for the Queen Isabella Causeway boardwalk repairs, and re-issue the call for bids. (Barrineau)
9. Adjournment.

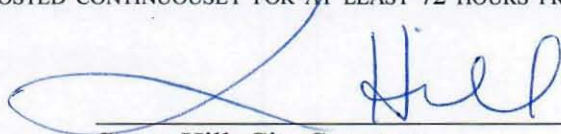
DATED THIS THE 8TH DAY OF SEPT. 2016



Susan Hill, City Secretary

I, THE UNDERSIGNED AUTHORITY, DO HEREBY CERTIFY THAT THE ABOVE NOTICE OF MEETING OF THE SHORELINE TASK FORCE OF THE CITY OF SOUTH PADRE ISLAND, TEXAS IS A TRUE AND CORRECT COPY OF SAID NOTICE AND THAT I POSTED A TRUE AND CORRECT COPY OF SAID NOTICE ON THE BULLETIN BOARD AT CITY HALL/MUNICIPAL BUILDING ON **SEPT. 8, 2016** AT/OR BEFORE **3:00 P.M.** AND REMAINED SO POSTED CONTINUOUSLY FOR AT LEAST **72 HOURS** PRECEDING THE SCHEDULED TIME OF AID MEETING.





Susan Hill, City Secretary

THIS FACILITY IS WHEELCHAIR ACCESSIBLE, AND ACCESSIBLE PARKING SPACES ARE AVAILABLE. REQUESTS FOR ACCOMMODATIONS OR INTERPRETIVE SERVICES MUST BE MADE 48 HOURS PRIOR TO THIS MEETING. PLEASE CONTACT BUILDING OFFICIAL, JAY MITCHIM; ADA DESIGNATED RESPONSIBLE PARTY AT (956) 761-1025.

MINUTES
CITY OF SOUTH PADRE ISLAND
SHORELINE TASK FORCE COMMITTEE

MONDAY, AUGUST 22, 2016

3:00 P.M. AT THE MUNICIPAL BUILDING,
CITY COUNCIL CHAMBERS, 2ND FLOOR

4601 PADRE BOULEVARD, SOUTH PADRE ISLAND, TEXAS

1. *Call to Order.*

- a. The Shoreline Task Force Committee of the City of South Padre Island, Texas held a regular meeting on Monday, August 22, 2016, at the Municipal Complex Building, 2nd Floor, and 4601 Padre Boulevard, South Padre Island Texas. Chairman Giles called the meeting to order at 3:00 p.m. A quorum was present. City staff members present were Shoreline Program & Project Mgr. Brandon Hill, Shoreline Management Director Patrick Barrineau and Interim City Mgr. Darla Jones. Also present was City Council Member Dennis Stahl.

2. *Pledge of Allegiance.*

- a. Chairman Giles led the Pledge of Allegiance.

3. *Public Comments and Announcements*

- a. Public comments were given at this time.

4. *Approval of minutes of the August 22, 2016 regular meeting.*

- a. Shoreline Task Force Member Ron Pitcock made a motion to accept minutes as written, seconded by Committee Member Neil Rasmussen. Motion passed with one abstention from Rob Nixon.

5. Discussion and action to approve an excused absence for Committee Member Rob Nixon. Motion made to approve by Ron Pitcock, second by Virginia Guillot. Motion passed with one abstention by Rob Nixon.

6. Presentation of thesis data collected by UTRGV student intern during employment.

UTRGV Student Intern Shelby Bessette presented her thesis *SPI Beach Management: Assessment of Dune Restoration*.

7. Review of departmental beach monitoring scheme planned with newly-licensed survey equipment.

Brandon Hill, Project Program Mgr. presented the plan for monitoring beach conditions using the recently purchased RTK unit. (Real Time Kinematic).

8. Discussion and potential action on submission of Beach and Dune Permit for an Eagle Scout project from the City to the GLO.

Motion to approve application for shade structure within Butterfly Park made by Rob Nixon, second by Ron Pitcock. Motion passed unanimously.

9. Discussion and recommendations regarding approval of first reading of Ordinance 16-17 passed at City Council meeting on Wednesday, August 17.

Motion made by Ron Pitcock, second by Neil Rasmussen to support the second reading of Ordinance 16-17 as written. Motion passed unanimously.

10. Discussion and recommendations for improvements to the south side of White Sands Street.

Motion made by Ron Pitcock, second by Rob Nixon to have staff move forward with developing a plan that will also involve parking along the street and return to the Shoreline Task Force for review prior to going forward. Motion passed unanimously.

11. Discussion and possible action on public beach access walkway at the Pearl Hotel.

Rob Nixon made a motion, second by Norma Trevino that staff return to the Task Force with info from the pending review and opinion from the GLO. (General Land Office) and the committee recommends that staff pursue the removal of the fence erected by the Pearl Hotel. Motion passed unanimously.

12. Discussion and possible action on paid public parking along Gulf Blvd.

Motion made by Ron Pitcock, second by Neil Rasmussen to recommend to City Council to push forward the enactment of the BUF (Beach User Fee) plan for paid parking based on staff plan for completion as presented. Motion passed unanimously.

13. *Adjournment.*

- a. Since the Task Force had no further business to discuss, Chairman Giles adjourned the meeting at 4:18 p.m.

MARY K. HANCOCK

TROY GILES, CHAIRMAN

**CITY OF SOUTH PADRE ISLAND
SHORELINE TASK FORCE
AGENDA REQUEST FORM**

MEETING DATE: September 12, 2016

NAME & TITLE: Patrick Barrineau

DEPARTMENT: Shoreline Management

ITEM

Discussion and possible action to forward approval of the construction of a gazebo structure for an Eagle Scout project in the Butterfly Garden on to City Council.

ITEM BACKGROUND

Shoreline Task Force approved sending this beach-dune application to the GLO at the August 22 meeting. GLO staff returned comments to Shoreline Management staff, and made limited recommendations for the City to allow construction to begin. Now, the SLTF needs to forward the completed packet to the City Council so construction may begin.

BUDGET/FINANCIAL SUMMARY

N/A

COMPREHENSIVE PLAN GOAL

N/A

LEGAL REVIEW

Sent to Legal: YES: _____ NO: X
Approved by Legal: YES: _____ NO: X

Comments:

RECOMMENDATIONS/COMMENTS

Staff is available via phone, email, or at City Hall during business hours to answer any questions.

MEMORANDUM

TO: Shoreline Task Force
Natalie Bell, General Land Office

FROM: Patrick Barrineau, Director of Shoreline Management

DATE: August 23, 2016

RE: Preliminary determination on a proposed shade structure

The enclosed application materials present plans for the construction of a 72 ft² gazebo/palapa structure in a small City property known as the 'Butterfly Garden'. The preliminary determination of the Shoreline Management Department is that the proposed activity will have no impact on dune vegetation or morphology. Additionally, considering the construction is proposed as part of an Eagle Scout project, we request the General Land Office approve this application as soon as possible.

With consideration given to conformance with TAC regulations our preliminary determination is that:

1. The proposed activity will not reduce the size of the public beach. [TAC 15.5 (b)(1)]
2. The proposed activity does not appear to involve construction upon the public beach. [TAC 15.5 (c)(1)]
3. The proposed activity will not encroach upon the public beach. [TAC 15.5 (c)(1)]
4. The proposed activity will not close any existing public beach accesses within the area, nor will the construction close or prevent the use of any existing public beach parking spaces. [TAC 15.5 (d)(1)]

With consideration given to the City's *Dune Protection and Beach Renourishment and Access Plan* [B&D Ord. Section 22-10]:

1. The proposed activity will not result in the potential for increased flood damage to the subject property or adjacent properties.
2. The proposed activity will not result in run-off or drainage patterns that aggravate erosion on and off the site.
3. The proposed activity will cause no changes to the existing dune hydrology east of the Historic Building Line.
4. The proposed activity will result in no adverse effects on dune complexes of vegetation. The ground cover presently dominating the site is planted and maintained grass.
5. The proposed activity will not significantly increase the potential for washover or blowouts.


Patrick Barrineau



Beach & Dune Application

City of South Padre Island
4601 Padre Blvd.
South Padre Island, TX 78597
Phone: (956) 761-3044
Fax: (956) 761-3898

Site for Proposed Work

Logn Description Sunflower Park/Butterfly Garden Physical Address 4350 Gulf Blvd.

Property Owner Information

Name City of S. Padre Island
Mailing Address 4601 Padre Blvd.
City S. Padre Island State TX
Zip 78597 Country USA
Phone Number (956) 761-8111
Fax Number: _____
E-Mail Address: pbarrineau@myspi.org

Applicant / Agent for Owner

Name: Devin Alvarado
Mailing Address: 2404 N I St unit B
City: McAllen State TX
Zip: 78501 Country USA
Phone Number: 623-377-2264
Fax Number: _____
E-Mail Address: devin.hick4@gmail.com

I / We, owners of the above-mentioned property, authorize the applicant stated above, to act in my behalf in order to acquire a Beach and Dune permit for the construction proposed below. (owner initials here PA)

Owner(s) Signature(s): [Signature]
Date: 8/23/16

Applicant Signature: [Signature]
Date: 8-17-16

Project Description

Describe with as much as detail as possible, the construction proposed. If more room is needed, please include an additional page. Include the number of habitable units, amenities, swimming pools, fences, kinds of fences, whether footings and/or retaining walls will be installed, and locations of proposed landscaping and parking.

A raised deck/gazebo structure with lattice/open air flow roof.

Total Square Footage of Footprint of Habitable Structure: 0

Total Area of Impervious Surface (i.e. retaining walls, walkways, drives, patios, etc.): 0

Percentage Impervious Surface ((Impervious surface / habitable footprint) * 100): 0

Please Note: the percentage of impervious surface cannot exceed 5% in an eroding area.

Approximate Duration of Construction: 4-6 days

Mitigation Plan

Describe the methods which you will use to avoid, minimize, mitigate and/or compensate for any adverse effects on dunes or dune vegetation

Explanation / Other Information:

N/A

Financial Plan for Dune Mitigation:

If required by the City Council, a financial guarantee (irrevocable letter of credit or a performance bond, etc.) may be necessary to insure the mitigation of dunes/dune vegetation takes place as proposed and required of the applicant.

Type of Plan Submitted:

N/A

Date of Submission:

Checklist of Additional Required Application Information

An accurate map, plat or site plan showing:

- ☒ 1. Legal description of the property (lot, block, subdivision) and the immediately adjoining property.
- ☒ 2. Location of all existing structures - including the habitable and inhabitable structures, swimming pools, decks, fences, parking areas, landscape areas, etc.
- ☒ 3. Location of the Historical Building Line on the subject property and the extension of the line on the properties immediately adjoining the subject property to the north and to the south.
- ☒ 4. Location and elevation of existing retaining walls - both on the subject property and those properties immediately adjoining the subject property to the north and to the south.
- ☒ 5. Location of proposed structure(s) - if proposing the construction of a retaining wall, please also include the proposed elevation of the retaining wall.
- ☒ 6. Location of proposed driveways, parking areas (showing the # of proposed parking spaces) and landscape areas.
- ☒ 7. Location of all existing and proposed beach access paths and/or dune walkovers.
- ☒ 8. Location and extent of any man-made vegetated mounds, restored dunes, fill activities, or any other pre-existing human modifications on the tract.
- ☒ 9. Topographical survey of the site identifying all elevations, existing contours of the project area (including dunes and scales) and the proposed contours of the final grade.

Other required application information:

- ☐ 1. A grading and layout plan showing proposed contours for the final grade.
- ☐ 2. The floor plan(s) and elevation(s) of the structure proposed to be constructed or expanded.
- ☒ 3. Photographs of the site which clearly show the current location of the vegetation line & existing dunes on the tract within the last 6 months.
- ☐ 4. Copy of the Flood Rate Map showing the location of the subject property. (FEMA.GOV - Map Search)
- ☐ 5. Copy of the Historical Erosion Rate Map as determined by the University of Texas at Austin, Bureau of Economic Geology. (beg.utexas.edu)
- ☐ 6. Application Fee of \$180 for Staff Approved applications and \$300 for City Council Approved applications.

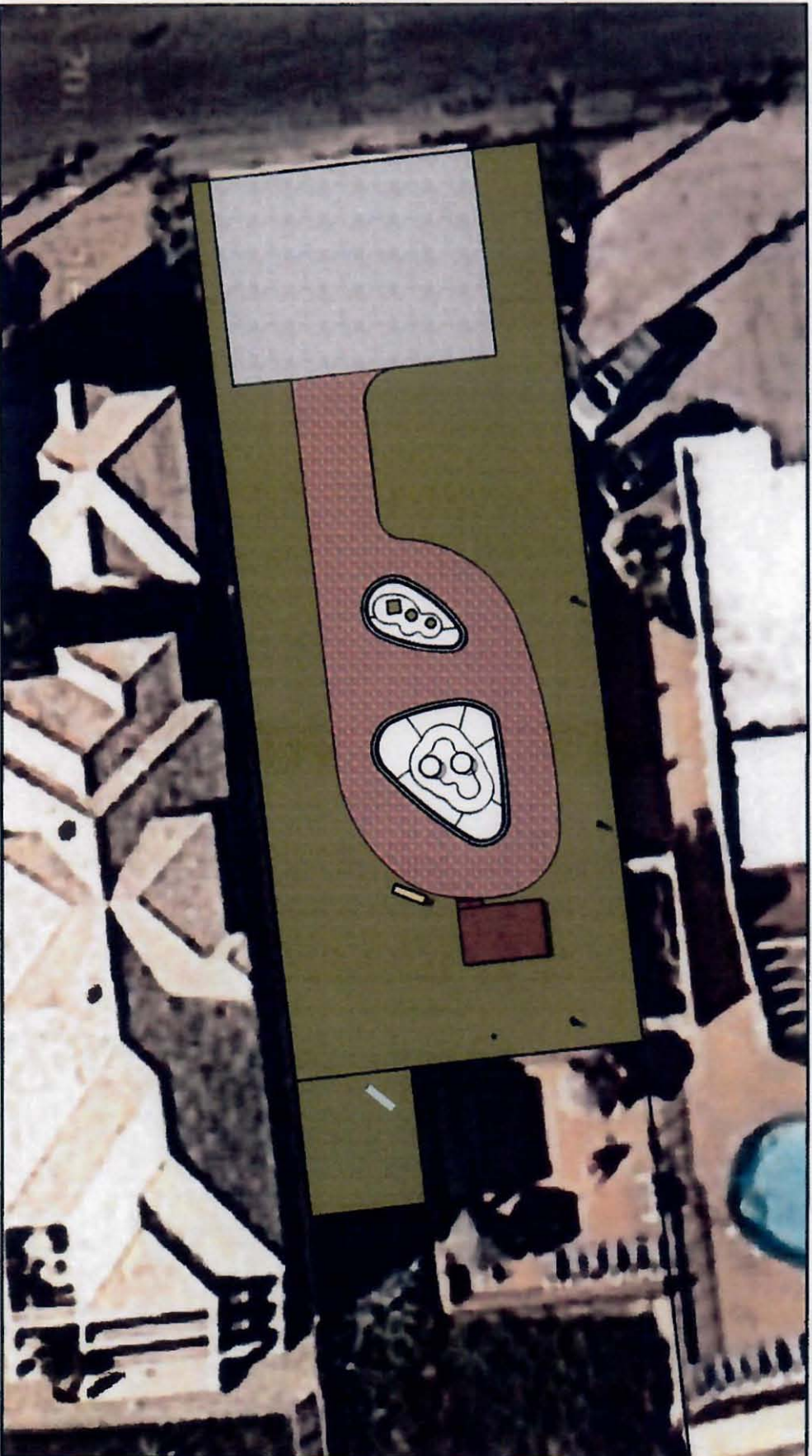
Your application is not complete unless all information requested above is submitted.

Application submissions require only three (3) copies of the complete information plus a digital copy.

The Butterfly Garden

South Padre Island, Texas

Patrick Barrineau





The site contains a small garden with a parking area, paved walkway, and planter boxes.

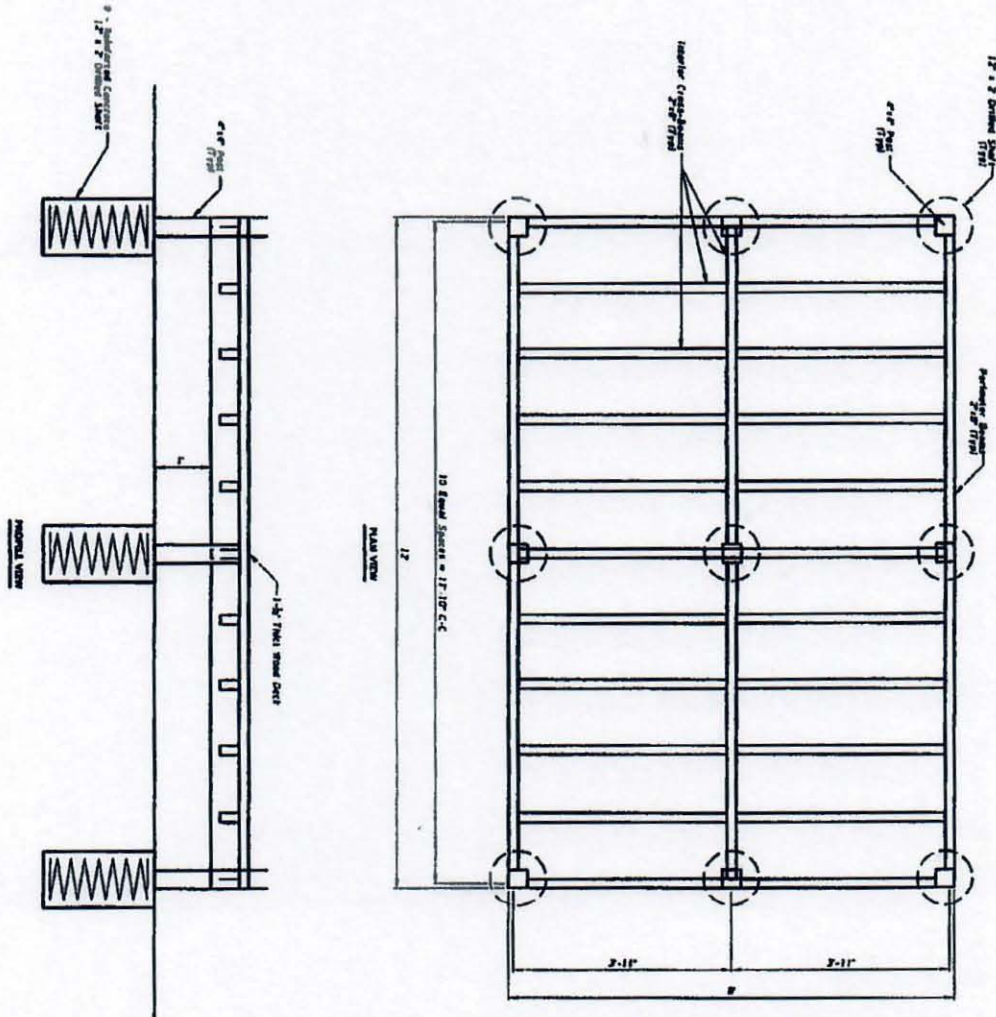
The proposed activities involve no:


- retaining wall construction or modification
- driveway and/or parking area construction or modification
- beach access opening or closure
- digging/filling

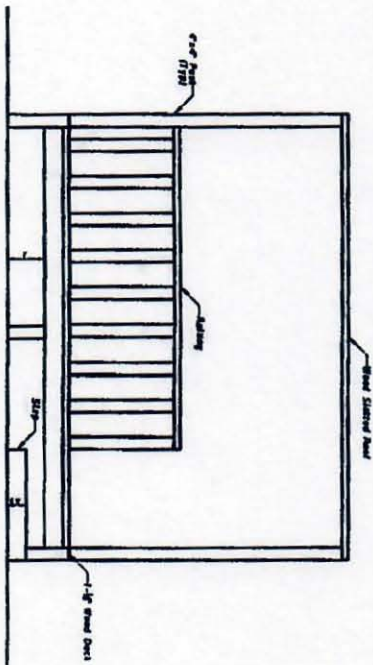
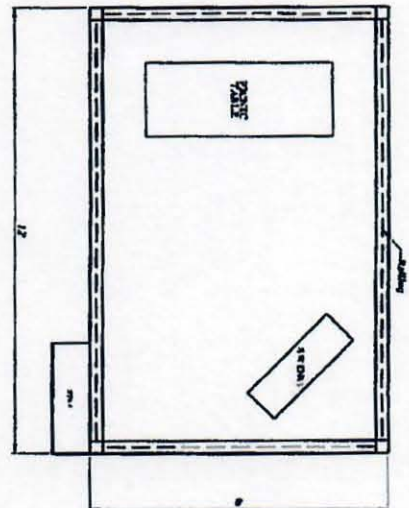


This is the view of the Butterfly Garden from the Southeast corner of the street side parking area. The orange square (below) shows the footprint of the proposed structure.





<div>DATE</div> <div>2/16/2016</div>	<div>  </div>	<div>SOUTH PADRE ISLAND</div> <div>SUNFLOWER PARK IMPROVEMENTS</div> <div>CAMERON COUNTY, TX</div>	<div>DECK & FOUNDATION DETAILS</div>
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SOUTH PADRE ISLAND SUNFLOWER PARK IMPROVEMENTS CAMERON COUNTY, TX	
GENERAL LAYOUT	
DATE 07/07/2016	SHEET NUMBER 15/16

**CITY OF SOUTH PADRE ISLAND
SHORELINE TASK FORCE
AGENDA REQUEST FORM**

MEETING DATE: September 12, 2016

NAME & TITLE: Patrick Barrineau

DEPARTMENT: Shoreline Management

ITEM

Discussion and possible action to submit a beach-dune application for the installation of a mobile access mat at the Seabreeze I Condominiums.

ITEM BACKGROUND

Property owners at the Seabreeze I Condominiums wish to install a mobile access mat to restrict pedestrian traffic on protected dune vegetation. Shoreline staff have assembled the necessary materials to submit a Beach-Dune application to the GLO, and request approval from the SLTF to do so.

BUDGET/FINANCIAL SUMMARY

N/A

COMPREHENSIVE PLAN GOAL

N/A

LEGAL REVIEW

Sent to Legal: YES: _____ NO: X
Approved by Legal: YES: _____ NO: X

Comments:

RECOMMENDATIONS/COMMENTS

Staff is available via phone, email, or at City Hall during business hours to answer any questions.

MEMORANDUM

TO: Shoreline Task Force
Natalie Bell, General Land Office

FROM: Patrick Barrineau, Director of Shoreline Management

DATE: August 23, 2016

RE: Preliminary determination on a mobile access mat at Seabreeze I Condominiums

The enclosed application materials present plans for the placement of a mobile access mat along the beach access pathway maintained by the Seabreeze I Condominiums on South Padre Island. The preliminary determination of the Shoreline Management Department is that the proposed activity will have minimal impacts on dune vegetation that will be mitigated by the replanting of culms displaced by the new walkway.

With consideration given to conformance with TAC regulations our preliminary determination is that:

1. The proposed activity will not reduce the size of the public beach. [TAC 15.5 (b)(1)]
2. The proposed activity does not appear to involve construction upon the public beach. [TAC 15.5 (c)(1)]
3. The proposed activity will not encroach upon the public beach. [TAC 15.5 (c)(1)]
4. The proposed activity will not close any existing public beach accesses within the area, nor will the construction close or prevent the use of any existing public beach parking spaces. [TAC 15.5 (d)(1)]

With consideration given to the City's *Dune Protection and Beach Renourishment and Access Plan* [B&D Ord. Section 22-10]:

1. The proposed activity will not result in the potential for increased flood damage to the subject property or adjacent properties.
2. The proposed activity will not result in run-off or drainage patterns that aggravate erosion on and off the site.
3. The proposed activity will cause no changes to the existing dune hydrology east of the Historic Building Line.
4. The proposed activity will result in minimal adverse effects on dune vegetation. These effects will be mitigated through the actions outlined in the attached mitigation plan.
5. The proposed activity will not significantly increase the potential for washover or blowouts.

Patrick Barrineau

Dune Mitigation Plan
Seabreeze I Condominiums
4300 Gulf Blvd.
South Padre Island, TX

Project Description

The property owners at Seabreeze I Condominiums wish to emplace a mobile access mat on their currently unimproved beach access walkway. This mat will be separated into 4 sections (Lengths 1, 2, 3, and 4) to accommodate the curvature of the present walkway, and in total measure 182'x5'. Due to the curvature in the walkway, the proposed mat will impact approximately 710 ft² of vegetation along its borders. There are two potential sites adjacent to the walkway in need of greater vegetation densities to prevent potential future overwash or blowouts (Mitigation Areas A and B). These two sites represent approximately 170 ft² and 3000 ft² of relatively exposed sand, and are perfect opportunities for mitigating the vegetation displaced by the mat's installation. The Shoreline Management Department recommends the displaced plant material be re-established in Mitigation Area A until full, and then the remainder be placed in Mitigation Area B. The combined results of the installation of the mobile access mat and replacement of the vegetation along the mat's borders will be an increase in vegetation density in front of the condominiums, and the concentration of pedestrian traffic along a single pathway made of a more resistant material than beach sand. This will reduce the day-to-day erosional action on and around the walkway, and help to prevent future overwash and blowouts from forming in the dune system.

Dune Mitigation Plan
Seabreeze I Condominiums
4300 Gulf Blvd.
South Padre Island, TX

Impacts to Dune System

The mat's installation will involve the displacement of 706 ft² of vegetation along its margins. The proposed layout of the mat is shown in Figures 1-4, shown using blue polygons. Survey flags paced at the proposed corners of the mat's four lengths are also shown in the Figures, highlighted with red circles. The vegetation impacts incurred by the mat's installation are broken down per length as follows:

Length #	Span (ft)	Width (ft)	Vegetation Impacted (ft²)
1	38	5	154
2	27	5	121
3	37	5	144
4	80	5	290
TOTAL	182	5	709

Proposed Mitigation


In order to offset the displacement of native dune vegetation by the edges of the proposed mobile access mat, we propose the property owners place removed culms along the north side of the mat in Mitigation Area A (see attached map) until that area is full – at a density of 2 culms per square foot, placed on center. Once Area A is full, the plants should be re-established in Mitigation Area B, starting with the portion further downwind and moving progressively north and west until all of the displaced vegetation has been replanted.

Proposed Alterations to Dune System at Seabreeze I Condominiums

South Padre Island, Texas

Patrick Barrineau



 Proposed mobile access mat path


 Proposed vegetation mitigation areas



Fig. 1

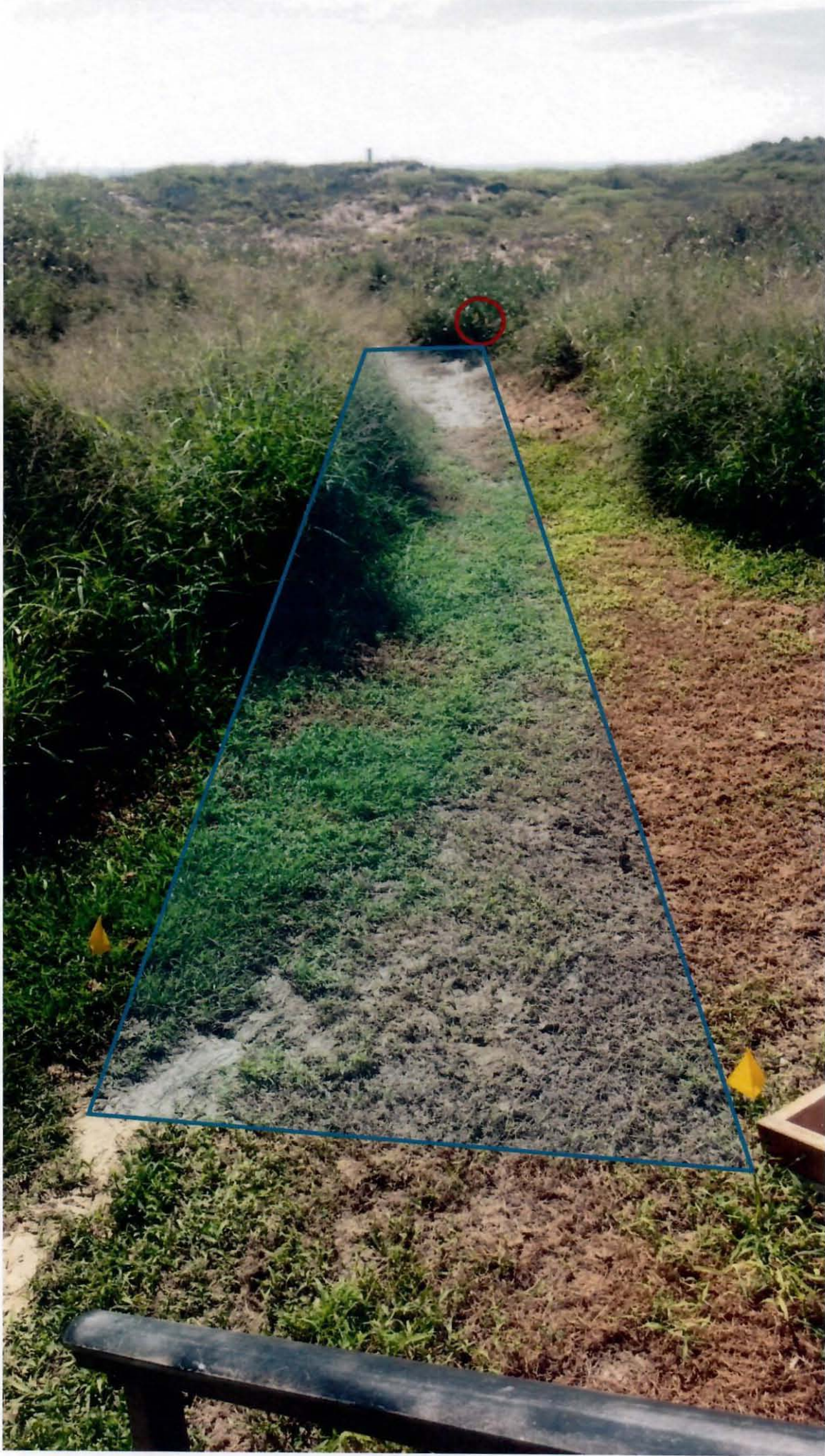


Fig. 2



Fig. 3



Fig. 4





Beach & Dune Application

City of South Padre Island
4601 Padre Blvd.
South Padre Island, TX 78597
Phone: (956) 761-3044
Fax: (956) 761-3898

Site for Proposed Work

Legal Description

Seabreeze 1

Physical Address:

4300 Gulf Blvd

Property Owner Information

Name:

Daniel Santos

Mailing Address:

412 E Yucca Ave

City:

McAllen

State:

TX

Zip:

78504

Country:

McAllen

Phone Number:

956-761-7734

Fax Number:

E-Mail Address:

Please send all requests through to Seabreeze 1

I, We, owners of the above-mentioned property, authorize the applicant stated above to act in my behalf in order to acquire a Beach and Dune permit for the construction proposed below. (owner initials here)

Owner(s) Signature(s):

Date:

7-23-16

Applicant / Agent for Owner

Name:

Angie Benton or Soila Perez

Mailing Address:

4300 Gulf Blvd

City:

South Padre Island

State:

TX

Zip:

78597

Country:

USA

Phone Number:

956-761-7734

Fax Number:

956-761-2454

E-Mail Address:

reservations@Seabreeze1.net

Applicant Signature:

Date:

7-23-16

Project Description

Describe with as much in detail as possible, the construction proposed. If more room is needed, please include an additional page. Include the number of habitable units, amenities, swimming pools, tennis, etc. of fences, weather toolings and/or retaining walls will be installed, and locations of proposed landscaping and parking.

Install a 225 foot x 5 foot access mat from North Beach Exit of Seabreeze 1 Property to the Beach. Need to widen existing Beach Access Path to accommodate width of Beach Access mat

Total Square Footage of Footprint of Habitable Structure:

0

Total Area of Impervious Surface (i.e. retaining walls, walkways, drives, patios, etc.):

0

Percentage Impervious Surface ((impervious surface / habitable footprint) * 100):

0

Please Note: the percentage of impervious surface cannot exceed 5% in an eroding area.

Approximate Duration of Construction:

1 week

Financial Plan for the Removal of All Hard Structures

All properties which are allowed to build retaining walls on their property are allowed to do so with the condition that a financial plan for the removal of the retaining wall is submitted to the Public Works Department of the City of South Padre Island. Removal of the retaining wall at the owner's expense may be required if/once the retaining wall comes into regular contact with wave action for twenty (20) out of thirty (30) consecutive days. The City accepts the submission of a Retaining Wall Covenant, or other financial guarantee, insuring the removal of the retaining wall if the required conditions are met.

Type of Plan Submitted: n/a

Date Submitted: _____

Drainage

Describe the impact that the proposed construction will have on the natural drainage pattern on the site and adjacent lots.

☒ No change in the drainage on site.

☐ The proposed construction will change the grading and the drainage on the subject property. (An explanation will be required detailing where the water will drain.)

Explanation / Other Information: _____

Impacts to Beach / Dune System

Answer each question as completely as possible in narrative form.

1. What damage will this proposed construction have on the dune vegetation located at the project site?

☐ No damage to dune vegetation whatsoever.

☒ The proposed construction will impact 1,125 square feet of the dune vegetation site. (An explanation of the "impact" will be required.)

☐ The proposed construction will require the removal and relocation of _____ % of the dune vegetation on site. (The submission of a mitigation plan will be required.)

Explanation / Other Information: We will be installing a 5 foot wide mat that is 225 feet long. We will maintain an 18 inch sand border on either side of the mat. We currently have a path that is on average 3 feet wide + will need to be widened

2. How will the proposed construction alter the dune size/shape at the project site?

☐ No change to dune size/shape whatsoever.

☒ The proposed construction will change 1,125 sq ft of the size/shape of dunes on site. (Details will be required.)

☐ The proposed construction will require the removal and relocation of _____ % of the dunes on site. (The submission of a mitigation plan will be required.)

Explanation / Other Information: Same explanation as above

3. How will the proposed construction change the hydrology of the dunes at the project site?

☒ No change to dune hydrology whatsoever.

☐ The proposed construction will impact dune hydrology on site. (Details will be required.)

Explanation / Other Information: _____

4. Describe alternatives to the proposed construction or method of construction which will cause fewer or no adverse effects on dunes and dune vegetation.

n/a

5. Describe alternatives to the proposed construction or method of construction which will cause fewer or no adverse impairment to beach access.

n/a

Mitigation Plan

Describe the methods which you will use to avoid, minimize, mitigate and/or compensate for any adverse effects on dunes or dune vegetation.

Explanation / Other Information:

N/A

Financial Plan for Dune Mitigation:

If required by the City Council, a financial guarantee (irrevocable letter of credit or a performance bond, etc.) may be necessary to insure the mitigation of dunes/dune vegetation takes place as proposed and required of the applicant.

Type of Plan Submitted:

N/A

Date of Submission:

Checklist of Additional Required Application Information

An accurate map, plat or site plan showing:

- ☐ 1. Legal description of the property (lot, block, subdivision) and the immediately adjoining property.
- ☐ 2. Location of all existing structures - including the habitable and inhabitable structures, swimming pools, decks, fences, parking areas, landscape areas, etc.
- ☐ 3. Location of the Historical Building Line on the subject property and the extension of the line on the properties immediately adjoining the subject property to the north and to the south.
- ☐ 4. Location and elevation of existing retaining walls - both on the subject property and those properties immediately adjoining the subject property to the north and to the south.
- ☐ 5. Location of proposed structure(s) - if proposing the construction of a retaining wall, please also include the proposed elevation of the retaining wall.
- ☐ 6. Location of proposed driveways, parking areas (showing the # of proposed parking spaces) and landscape areas.
- ☒ 7. Location of all existing and proposed beach access paths and/or dune walkovers. *see photo attached*
- ☐ 8. Location and extent of any man-made vegetated mounds, restored dunes, fill activities, or any other pre-existing human modifications on the tract.
- ☐ 9. Topographical survey of the site identifying all elevations, existing contours of the project area (including dunes and scales) and the proposed contours of the final grade.

Other required application information:

- ☐ 1. A grading and layout plan showing proposed contours for the final grade.
- ☐ 2. The floor plan(s) and elevation(s) of the structure proposed to be constructed or expanded.
- ☒ 3. Photographs of the site which clearly show the current location of the vegetation line & existing dunes on the tract within the last 6 months.
- ☐ 4. Copy of the Flood Rate Map showing the location of the subject property. (FEMA.GOV - Map Search)
- ☐ 5. Copy of the Historical Erosion Rate Map as determined by the University of Texas at Austin, Bureau of Economic Geology. (beg.utexas.edu)
- ☐ 6. Application Fee of \$180 for Staff Approved applications and \$300 for City Council Approved applications.

Your application is not complete unless all information requested above is submitted.

Application submissions require only three (3) copies of the complete information plus a digital copy.

SEABREEZE 1

SOUTH PADRE ISLAND

8/2/2016

ATTN: Patrick Barrineau

FROM: Seabreeze 1 – Angie Benton, Property Manager

RE: Seabreeze 1 Beach and Dune Application

Attached you will find a photo of our existing beach path that we are requesting to widen in order to install a beach access mat. We have drawn the proposed layout of the new path where the mat will be installed in segments. We are trying to have as little impact as possible on our dunes and feel the segments proposed provide the least impact. In addition I have enclosed a copy of the original Beach and Dune Application already submitted.

We sincerely appreciate your and the Shoreline Taskforce's time and attention to this matter and look forward to adding our Beach Access Mat in order to improve the Owner and Guest experience at Seabreeze 1.

If there are any questions, please don't hesitate to contact me, Angie Benton, at either number listed below.

Seabreeze 1 Office - 956-761-7734

Cell Phone - 956-243-0615





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**CITY OF SOUTH PADRE ISLAND
SHORELINE TASK FORCE
AGENDA REQUEST FORM**

MEETING DATE: September 12, 2016

NAME & TITLE: Patrick Barrineau

DEPARTMENT: Shoreline Management

ITEM

Discussion and possible action to submit a beach-dune application for a low concrete ramp at Park Shores condominiums.

ITEM BACKGROUND

Property owners at Park Shores Condominiums wish to build a low concrete ramp to replace a degraded section of walkway along their property's southern boundary. A very small section of the proposed activity is taking place within the protected dune area, and no impacts to dune sands or vegetation is anticipated from this project.

BUDGET/FINANCIAL SUMMARY

N/A

COMPREHENSIVE PLAN GOAL

N/A

LEGAL REVIEW

Sent to Legal: YES: _____ NO: X
Approved by Legal: YES: _____ NO: X

Comments:

RECOMMENDATIONS/COMMENTS

Staff is available via phone, email, or at City Hall during business hours to answer any questions.



Beach & Dune Application

City of South Padre Island
4601 Padre Blvd
South Padre Island, TX 78597
Phone (956) 761-3044
Fax (956) 761-3898

Site for Proposed Work

Legal Description:

Ramada Beach Access

Physical Address:

6200 Padre Blvd

Property Owner Information

Name:

Michael Klement

Mailing Address:

6200 Padre Blvd

City:

S. Padre Island

State:

TX

Zip:

78597

Country:

Cameron

Phone Number:

956 204 9908

Fax Number:

956-761-6013

E-Mail Address:

Ramada SPI@yahoo.com

Applicant / Agent for Owner

Name:

Lupe TORRES

Mailing Address:

201 W. H. Bisul P.O. Box 3294

City:

San Pedro del

State:

TX

Zip:

78597

Country:

US

Phone Number:

956 466-0170

Fax Number:

E-Mail Address:

I / We, owners of the above-mentioned property, authorize the applicant stated above, to act in my behalf in order to acquire a Beach and Dune permit for the construction proposed below. (owner initials here mk)

Owner(s) Signature(s):

[Signature]

Applicant Signature:

[Signature]

Date:

9-2-16

Date:

9-2-16

Project Description

Describe with as much as detail as possible, the construction proposed. If more room is needed, please include an additional page. Include the number of habitable units, amenities, swimming pools, fences, kinds of fences, whether footings and/or retaining walls will be installed, and locations of proposed landscaping and parking.

Concrete ramp, concrete stair, and sidewalk
to beach @ cabana.

Total Square Footage of Footprint of Habitable Structure:

0 ft²

Total Area of Impervious Surface (i.e. retaining walls, walkways, drives, patios, etc.):

135 ft²

Percentage Impervious Surface ((impervious surface / habitable footprint) * 100):

100 %

Please Note: the percentage of impervious surface cannot exceed 5% in an eroding area.

Approximate Duration of Construction:

1 week

Mitigation Plan

(Describe the methods which you will use to avoid, minimize, mitigate and/or compensate for any adverse effects on dunes or dune vegetation)

Explanation / Other Information

N/A

Financial Plan for Dune Mitigation:

If required by the City Council, a financial guarantee (irrevocable letter of credit or a performance bond, etc.) may be necessary to insure the mitigation of dunes/dune vegetation takes place as proposed and required of the applicant.

Type of Plan Submitted

Date of Submission

Checklist of Additional Required Application Information

An accurate map, plat or site plan showing:

- ☐ 1. Legal description of the property (lot, block, subdivision) and the immediately adjoining property.
- ☐ 2. Location of all existing structures - including the habitable and inhabitable structures, swimming pools, decks, fences, parking areas, landscape areas, etc.
- ☐ 3. Location of the Historical Building Line on the subject property and the extension of the line on the properties immediately adjoining the subject property to the north and to the south.
- ☐ 4. Location and elevation of existing retaining walls - both on the subject property and those properties immediately adjoining the subject property to the north and to the south.
- ☐ 5. Location of proposed structure(s) - if proposing the construction of a retaining wall, please also include the proposed elevation of the retaining wall.
- ☐ 6. Location of proposed driveways, parking areas (showing the # of proposed parking spaces) and landscape areas.
- ☐ 7. Location of all existing and proposed beach access paths and/or dune walkovers.
- ☐ 8. Location and extent of any man-made vegetated mounds, restored dunes, fill activities, or any other pre-existing human modifications on the tract.
- ☐ 9. Topographical survey of the site identifying all elevations, existing contours of the project area (including dunes and scales) and the proposed contours of the final grade.

Other required application information:

- ☐ 1. A grading and layout plan showing proposed contours for the final grade.
- ☐ 2. The floor plan(s) and elevation(s) of the structure proposed to be constructed or expanded.
- ☐ 3. Photographs of the site which clearly show the current location of the vegetation line & existing dunes on the tract within the last 6 months.
- ☐ 4. Copy of the Flood Rate Map showing the location of the subject property. (FEMA.GOV - Map Search)
- ☐ 5. Copy of the Historical Erosion Rate Map as determined by the University of Texas at Austin, Bureau of Economic Geology. (beg.utexas.edu)
- ☐ 6. Application Fee of \$180 for Staff Approved applications and \$300 for City Council Approved applications.

Your application is not complete unless all information requested above is submitted.

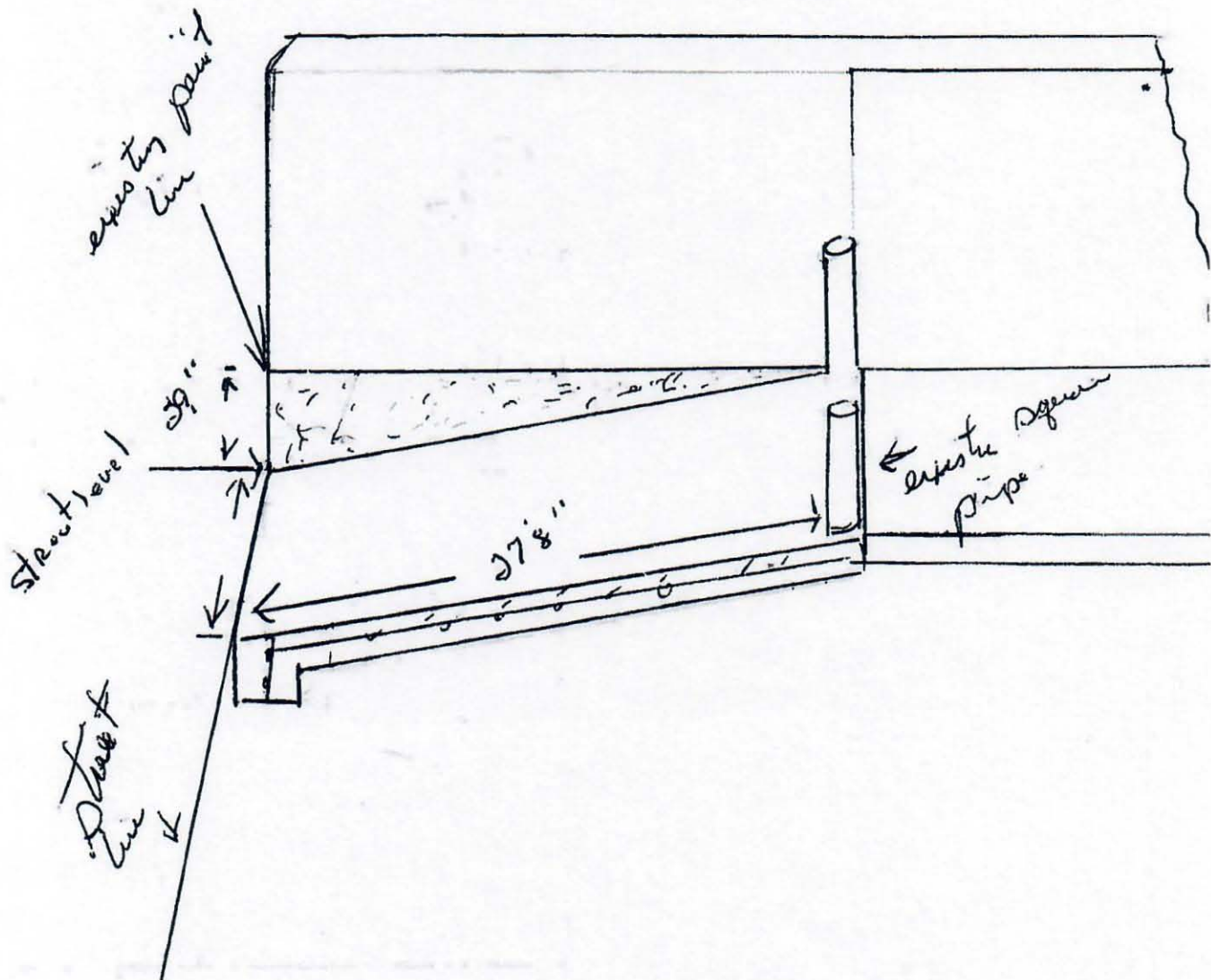
Application submissions require only three (3) copies of the complete information plus a digital copy.

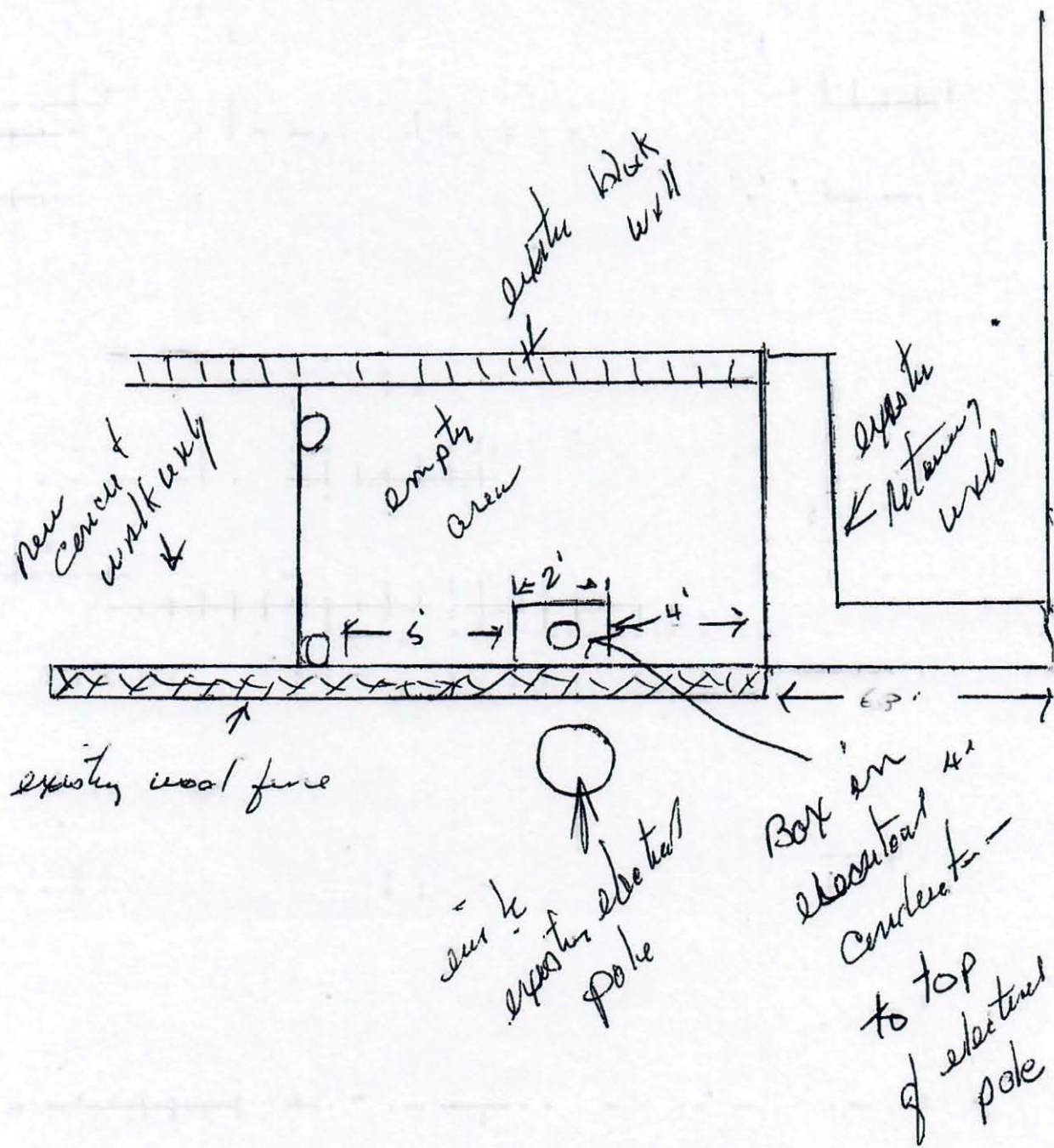


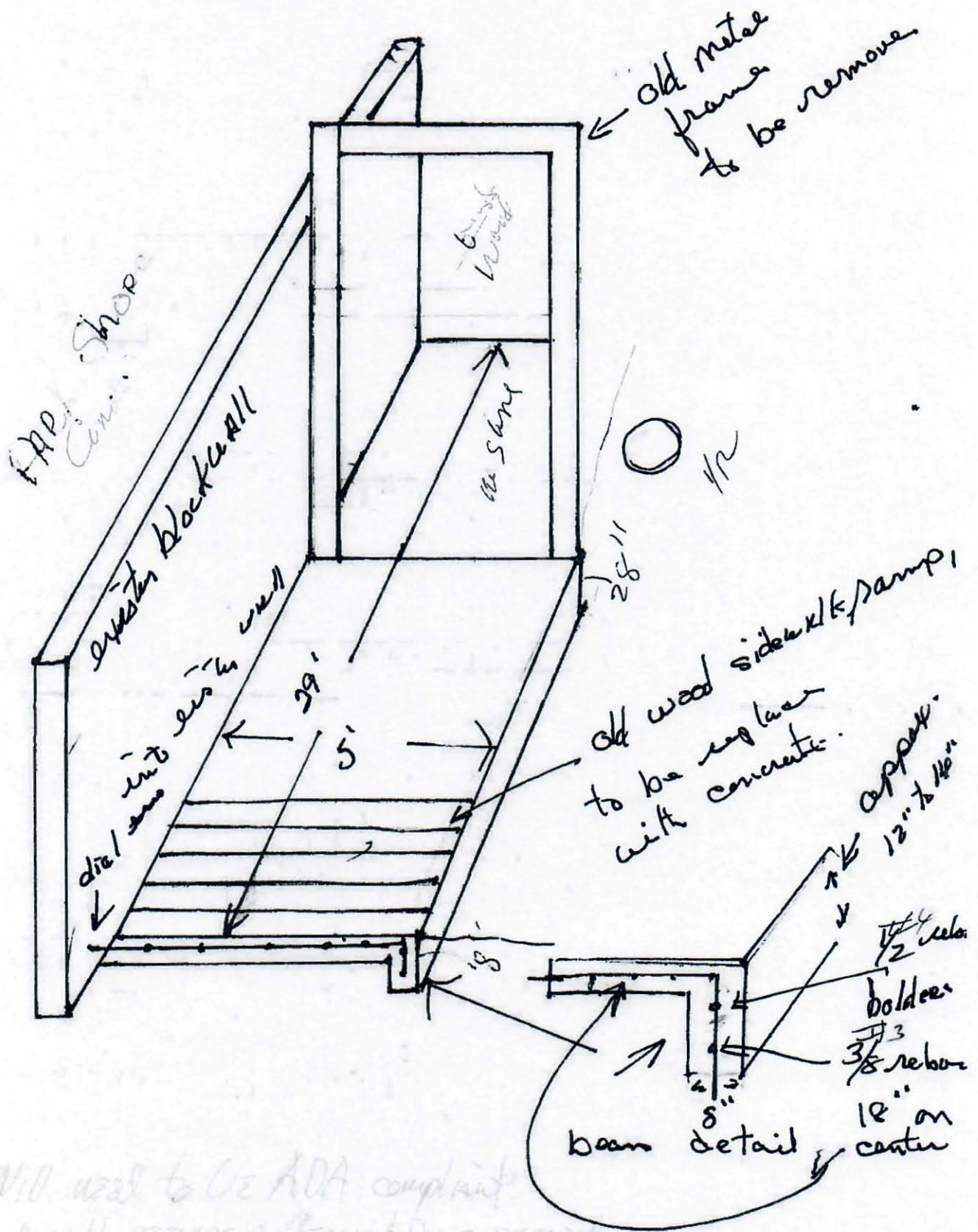












Will need to be ADA compliant
 and will require a Beach & Dune permit.

City of South Padre Island
Building Permit Application

South Padre
ISLAND

Site for Proposed Work

Legal Description

3-0000S need
PLI
Gulf Breeze

Physical Address

Property Owner Information

Name: Michael Klement
Mailing Address: 6200 Padre Blvd
City/State/Zip: South Padre Island, TX
Phone Number: 956-204-9908
Fax Number: 956-761-3144
E-mail Address: RamadaSPI@yahoo.com

Contractor Information

Name: Lene Torres
Mailing Address: P.O. Box 3394
City/State/Zip: So Padre Island, TX 78597
Phone Number: 956-466-0170
Fax Number:
E-mail Address:

Improvement Value: \$1,500.00
(copy of contract required to verify value)

Contractor Signature: [Signature]
Date:

Ramada SPI@yahoo.com

Bill - 204-9908

\$500.00

License & Permit Bond Yes ☒ No ☐ (If No - One is required)

PLEASE NOTE, If a Beach & Dune Permit is required on this property, a Building Permit cannot be issued until the B&D Permit has been approved & issued first.

APPLICATIONS ARE CONSIDERED INCOMPLETE AND WILL NOT BE ACCEPTED IF THE ENERGY CODES AND LANDSCAPE CODES HAVE NOT BEEN APPLIED.

TYPE OF CONSTRUCTION

☐ New ☐ Addition ☐ Remodeling ☒ Repair ☐ Move ☐ Remove

Building Height _____ Square Footage _____
Lot Square Feet _____ Lot Front _____
Floor Elevation Above Curb _____
List other Permits that will be required _____

OTHER WORK BEING DONE BESIDES NEW CONSTRUCTION

new walkway

FLOOD HAZARD

Property is: ☐ Within ☐ Outside 100 Year Flood Elevation. Lowest Elevation Must Be At Least _____ Feet.

Residential Use Only:

No. of Units _____, Bedrooms _____, Bathrooms _____, Sq. Feet non-Living _____, Sq. Feet Living _____

OTHER

FOUNDATION

☐ Concrete slab on pilings
☐ Concrete pier
☐ Wood pier & beam

TDLR Registration No. _____

EXT. WALL

☐ Masonry Veneer
☐ Masonry Solid
☐ Metal Siding
☐ Composition
☐ Wood

ROOF

☐ Wood Shingle
☐ Composition
☐ Metal
☐ Build Up

SPECIAL CONDITION

☐ Public Sidewalk
☐ Corner Lot
☐ Cul De Sac
☐ B&D Conditions
☐ Other

NOTICE: Separate Permits are required for Electrical, Plumbing, Heating, Ventilating or Air Conditioning. This permit becomes null and void if work or construction authorized is not commenced within 6 months, or if construction or work is suspended or abandoned for a period of 6 months at any time after work is commenced. I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of construction.

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55100816

GENERAL NOTES

1. Coordinate foundation plans and mechanical drawings, for all openings, inserts and other related items.
2. The contractor shall verify field dimensions and conditions before commencing. Engineer shall be notified off conflicts or discrepancies.
3. Concrete compressive strength shall be a minimum of 4000 PSI @ 28 days.
4. Five sacks min. of cement (94 lbs./sack) required per cubic yard.
5. Water cement ratio shall be a maximum of 0.60 addition of water on site is not permitted, workability shall be controlled by addition of a water reducing admixture.
6. Reinforcing deformed bars shall be grade 60 new billet steel (#3 bars may be grade 40) placing and bending of bars shall conform to A.C.I. standards.
7. Use of heat to bend bars is not permitted.
8. Rebars shall be placed in strict accordance with plans.
9. Area should be striped all vegetation and topsoil and the exposed sub grade shall be scarified to a depth of at least 8" removing all soft spots necessary.
10. Concrete shall be membrane or moisture cured for at least 7 days.
11. Curing compound shall comply with A.S.T.M. C-309.
12. Forming of the slab and footing shall be strictly in accordance with plans.

CONCRETE REINFORCEMENT:

1. REINFORCING STEEL SHALL BE NEW DOMESTIC DEFORMED BILLET STEEL CONFORMING TO A.S.T.M. A-615, GRADE 60.
2. WELDED WIRE FABRIC SHALL CONFORM TO A.S.T.M. A-185.
3. REINFORCING BARS SHALL BE DETAILED IN ACCORDANCE WITH THE A.C.I. DETAILING MANUAL. PROVIDE BAR SUPPORTS AND SPACERS AS REQUIRED.
4. PROVIDE CORNER BARS AT ALL INTERSECTING REINFORCING MEMBERS IN WALLS AND BEAMS. CORNER BAR SHALL BE THE SAME SIZE AS THE LARGER INTERSECTION BAR AND SHALL PROVIDE A MINIMUM LAP OF 40 BAR DIAMETERS.
5. DETAILING OF REINFORCING BARS SHALL BE AS FOLLOWS:
 - A. TOP AND BOTTOM BARS TO BE CONTINUOUS BETWEEN SUPPORTS.
 - B. TOP BARS AT THE ENDS OF BEAMS TO HAVE STANDARD 90° HOOKS.
 - C. SPLICE TOP BARS AT THE MID SPAN BETWEEN SUPPORTS.(U.N.O.)
 - D. SPLICE BOTTOM BARS DIRECTLY OVER SUPPORTS. (U.N.O.)
 - E. ALTERNATE SPLICES IN MIDDLE BARS BETWEEN SUPPORTS
- AND MIDSPANS WITH NO MORE THAN 1/2 OF THE BARS SPLICED AT ANY ONE LOCATION.
- F. ALL BAR SPLICES SHALL BE 40 BAR DIAMETERS MINIMUM.

CONCRETE MIX DESIGNS:

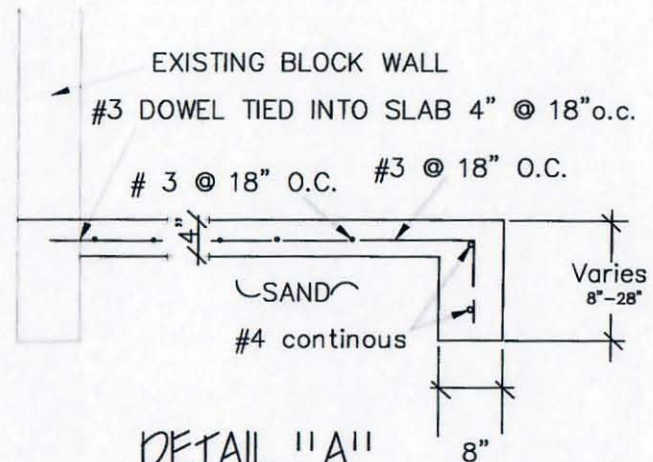
1. PROVIDE CONCRETE HAVING THE FOLLOWING GENERAL CHARACTERISTICS:

USAGE	STRENGTH PSI	SLU MP(IN)	AGG. TYPE
ALL	4000	5	PEA GRAVEL

2. WORKABILITY ADMIXTURES MAY BE UTILIZED, PROVIDED THAT BATCH PROPORTIONS ARE DETERMINED IN THE MANNER DESCRIBED IN THE SPECIFICATIONS.
3. PROVIDE THREE PERCENT (3%) TO FIVE PERCENT(5%) AIR ENTRAINMENT IN CONCRETE PERMANENTLY EXPOSED TO THE WEATHER (AND ELSEWHERE AT THE CONTRACTORS OPTION). USE OF AIR ENTRAINMENT, AND CORRESPONDING REDUCTION OF THE W/C RATIO, MUST BE NOTED ON THE MIX DESIGNS.
4. USE OF ACCELERATING OR SET-RETARDING ADMIXTURES REQUIRES PRIOR APPROVAL FROM THE ENGINEER. IN GENERAL, USE OF CALCIUM CHLORIDE WILL NOT BE PERMITTED.
5. FLY ASH IS EXPRESSLY PROHIBITED.
6. WHERE GROUT IS CALLED FOR, USE A NON-SHRINK, NON-STAINING PREMIXED GROUT.

EXISTING BLOCK WALL

#3 DOWEL TIED INTO SLAB 4' @ 18"o.c.



DETAIL "A"



SIDEWALK PLAN
FOR
RAMADA, SPI, TX

FRESNO SYSTEMS SERVICES	
P.O. BOX 800 LAS JESUITAS, TEXAS 76045 (817) 252-4000 FAX (817) 252-4000 WWW.FSPPRO.COM	MANUEL FLORES P.E. ENGINEER MINIMUM DISCIPLINARY STRUCTURAL CIVIL ETEC CONSULTING FRESNO, TEXAS
Delivered 31-10	JOB NO. FSS 15100016
F.S. #2547	

**CITY OF SOUTH PADRE ISLAND
SHORELINE TASK FORCE
AGENDA REQUEST FORM**

MEETING DATE: September 12, 2016

NAME & TITLE: Patrick Barrineau

DEPARTMENT: Shoreline Management

ITEM

Discussion and possible action to reject submitted bids for the Queen Isabella Causeway boardwalk repairs project, and re-issue the call for bids.

ITEM BACKGROUND

On 8/22, City Staff opened the only bid submitted (attached here for your review) for the Queen Isabella Causeway boardwalk repairs. The bid was determined to be too costly and Shoreline staff would like to work with the design engineers to generate a call for bids that will attract more proposals at lower costs. We are hoping for a recommendation from the Shoreline Task Force to reject this bid and re-issue the City's call for bids.

BUDGET/FINANCIAL SUMMARY

N/A

COMPREHENSIVE PLAN GOAL

N/A

LEGAL REVIEW

Sent to Legal: YES: _____ NO: X
Approved by Legal: YES: _____ NO: X

Comments:

RECOMMENDATIONS/COMMENTS

Staff is available via phone, email, or at City Hall during business hours to answer any questions.

Proposal for Queen Isabella Causeway Boardwalk Repairs

Proposal Submitted to:

**City of South Padre Island
4601 Padre Blvd.
South Padre Island, TX 78597
T: 956-761-8168
F: 956-761-3898**



Prepared by:

**Tyler Adams – Lead Estimator
Paul Thomas – Structural Engineer**

FRP Construction, LLC

**2055 E. 17th Street
Tucson, AZ 85719 U.S.A.
520-791-7000
www.QuakeWrap.com**

CONTACT INFO

Estimator

Tyler Adams
520-791-7000 X -128
Tyler@frpconstruction.com

Engineer

Paul Thomas
520-791-7000 X -140
Pthomas@quakewrap.com

Sales Rep

Frank Dressman
619-964-1006
fdressman@quakewrap.com

FRP Construction, LLC

2055 E. 17th Street
Tucson, AZ 85719 U.S.A.
520-791-7000
www.QuakeWrap.com

BID PROPOSAL FORM

The Bidder shall fill in all blanks with the required information.

TO: CITY OF SOUTH PADRE ISLAND
4601 PADRE BOULEVARD
P. O. BOX 3410
SOUTH PADRE ISLAND, TEXAS 78597
ATTN: CITY SECRETARY

GENERAL CONTRACTOR:

The undersigned, as bidder, declares that the only person or parties interested in this proposal as principals are those named herein; that this proposal is made without collusion with any other person, firm or corporation; that I/we have examined the Invitation to Bid, Instructions to Bidders, the Contract, the General and Supplementary Conditions, General Requirements and the Drawings and Specifications referred to therein; that I/we have visited the site and hereby offer to and will furnish all necessary equipment, appliances, tools, labor, supervision, insurance and other accessories and services required by said documents for the following work for the following sum of money:

ITEM	DESCRIPTION	QTY	UNIT	UNIT PRICE	TOTAL PRICE COST
Base Bid	<ul style="list-style-type: none"> • Mobilization • Repair severely deteriorated timber piles. (See Sheet S3.2) 	1	LS	\$ <u>12,000.00</u>	\$ 30,000.00
		4	EA	\$ <u>4,500.00</u>	
Additive #1	• Repair advanced damaged timber piles. (See Sheet S3.1)	20	EA	\$ <u>3,600.00</u>	\$ 72,000.00
Additive #2	• Clean and Encase Moderate Damaged Piles. (See Sheet S3.1)	41	EA	\$ <u>3,400.00</u>	\$ 139,400.00
Additive #3	• Clean and Encase Minor Damage Timber Piles (See Sheet S3.0)	109	EA	\$ <u>3,000.00</u>	\$ 327,000.00
Additive #4	<ul style="list-style-type: none"> • Wire brush clean through-bolt anchors and coat with corrosion preventative coating. • Install galvanized hurricane straps from 2x10 stringers to the 3x10 split pile caps. Remove and replace existing hurricane straps, including nails. Hurricane straps shall be installed on both sides of stringer. 	1	LS	\$ <u>15,000.00</u>	\$ 15,000.00

*NOTE: Although this bid is a Lump Sum Bid, please provide Unit Costs which the City may use to award additional repairs.

TOTAL OPTION 1: SUM OF BASE BID + ADD.#1: (NUMBERS) \$ 102,000.00

TOTAL OPTION 2: SUM OF BASE BID + ADD.#1 + ADD.#2: (NUMBERS) \$ 241,400.00

TOTAL OPTION 3: SUM OF BASE BID + ADD.#1 + ADD.#2 + ADD.#3: (NUMBERS) \$ 568,400.00

TOTAL OPTION 4: SUM OF BASE BID + ADD.#1 + ADD.#2 + ADD.#3 + ADD.#4: (NUMBERS) \$ 583,400.00

TOTAL OPTION 5: SUM OF BASE BID: (NUMBERS) \$ 30,000.00

Bidder acknowledges receipt of the following addendums:

No. 1

Date AUGUST 04, 2014

Bidder understands that the City of South Padre Island reserves the right to reject any and all bids, to waive any informalities, and to accept the proposal deemed to be in the best interest of the City of South Padre Island.

The Bidder agrees that this bid is a lump sum price type of contract and that quantities and scope of work indicated on the contract documents are included in the proposed lump sum bid.

The Bidder agrees that this bid shall be good and may not be withdrawn for a period of sixty (60) calendar days after the scheduled closing time for receiving bids.

Bidder hereby agrees to commence work under this lump sum price contract on or before a date to be specified in written Notice to Proceed from the City of South Padre Island and to fully complete the project within the limits established.

The Bidder further agrees that from the compensation otherwise to be paid, the Owner may retain the sum of \$500.00 (five hundred dollars) per day for each calendar day after the contract completion time of 30 calendar days after receiving a written Notice to Proceed.

(SEE NOTE BELOW)

This sum is not to be construed in any sense as a penalty. The retained sum is due to the Owner due to monetary and non-monetary damages if the project is not substantially complete on by the 30th calendar day of the contractor receiving a written Notice to Proceed. The contractor and the Contractor's Surety shall be liable for and shall to the Owner pay the daily sum noted above for each day that project is not substantially complete by the 30th calendar day of receiving a written Notice to Proceed.

The Contractor and the Contractor's Surety agree that the amount of liquidated damages bears reasonable proportion to the loss by the Owner. The amount of the loss to the Owner is incapable or difficult to be precisely estimated.

Upon receipt of a written notice to the acceptance of this bid, Bidder will execute the formal contract agreement immediately, and shall deliver the Surety Bonds and Insurance as required by the instruction to the Bidders within ten (10) working days of the written Notice to Proceed.

Bid security as required by the Instructions to Bidder in sum of 50% OF BID AMOUNT (\$ 29,170.00) is hereto attached. The Bid security is to become the property of the City of South Padre Island in the event the Proposal is accepted by the City of South Padre Island and the contract and bond are not executed within the time above set forth, as liquidated damages for the delay and additional expense to the City of South Padre Island caused there by.

Respectfully submitted,

Signature: [Signature] (Print)
By: TYLER ADAMS (Print)
Title: LEAD ESTIMATOR

(Seal, if bid by a corporation)

FRP CONSTRUCTION, LLC
Business Name
2055 E. 17th ST. TULSON, AZ 85719
Business Address
520-861-3331
Business Phone

P-3

* FRP CONSTRUCTION, LLC WILL NEED LONGER THAN 30 DAYS TO COMPLETE OPTIONS 2-4, THEREFORE DOES NOT AGREE TO STATEMENT ABOVE REQUIRING COMPLETION WITHIN 30 DAYS. TA

AIA® Document A310™ – 2010

Bid Bond

CONTRACTOR:

(Name, legal status and address)
FRP Construction, LLC
6840 S. Tucson Blvd
Tucson, AZ 85756

SURETY:

(Name, legal status and principal place of business)
Merchants Bonding Company (Mutual)
6700 Westown Parkway
West Des Moines, IA 50266-7754

OWNER:

(Name, legal status and address)
City of South Padre Island
4601 Padre Blvd
South Padre Island, TX 78597

BOND AMOUNT: Five Percent of the Bid Amount (5%)

PROJECT:

(Name, location or address, and Project number, if any)
Queen Isabella Causeway Boardwalk Repairs

ADDITIONS AND DELETIONS:

The author of this document has added information needed for its completion. The author may also have revised the text of the original AIA standard form. An *Additions and Deletions Report* that notes added information as well as revisions to the standard form text is available from the author and should be reviewed. A vertical line in the left margin of this document indicates where the author has added necessary information and where the author has added to or deleted from the original AIA text.

This document has important legal consequences. Consultation with an attorney is encouraged with respect to its completion or modification.

Any singular reference to Contractor, Surety, Owner or other party shall be considered plural where applicable.

The Contractor and Surety are bound to the Owner in the amount set forth above, for the payment of which the Contractor and Surety bind themselves, their heirs, executors, administrators, successors and assigns, jointly and severally, as provided herein. The conditions of this Bond are such that if the Owner accepts the bid of the Contractor within the time specified in the bid documents, or within such time period as may be agreed to by the Owner and Contractor, and the Contractor either (1) enters into a contract with the Owner in accordance with the terms of such bid, and gives such bond or bonds as may be specified in the bidding or Contract Documents, with a surety admitted in the jurisdiction of the Project and otherwise acceptable to the Owner, for the faithful performance of such Contract and for the prompt payment of labor and material furnished in the prosecution thereof, or (2) pays to the Owner the difference, not to exceed the amount of this Bond, between the amount specified in said bid and such larger amount for which the Owner may in good faith contract with another party to perform the work covered by said bid, then this obligation shall be null and void, otherwise to remain in full force and effect. The Surety hereby waives any notice of agreement between the Owner and Contractor to extend the time in which the Owner may accept the bid. Waiver of notice by the Surety shall not apply to any extension exceeding sixty (60) days in the aggregate beyond the time for acceptance of bids specified in the bid documents, and the Owner and Contractor shall obtain the Surety's consent for an extension beyond sixty (60) days.

If this Bond is issued in connection with a subcontractor's bid to a Contractor, the term Contractor in this Bond shall be deemed to be Subcontractor and the term Owner shall be deemed to be Contractor.

When this Bond has been furnished to comply with a statutory or other legal requirement in the location of the Project, any provision in this Bond conflicting with said statutory or legal requirement shall be deemed deleted herefrom and provisions conforming to such statutory or other legal requirement shall be deemed incorporated herein. When so

Init.

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User Notes:

(1783521878)

furnished, the intent is that this Bond shall be construed as a statutory bond and not as a common law bond.

Signed and sealed this 22nd day of August, 2016

FRP Construction, LLC

(Contractor as Principal)

(Seal)

(Witness)

(Title)

Merchants Bonding Company (Mutual)

(Surety)

(Seal)

(Witness)

(Title)

Michael J. Mesenbrink, Attorney-in-Fact

Init.

MERCHANTS
BONDING COMPANY.
POWER OF ATTORNEY

Know All Persons By These Presents, that MERCHANTS BONDING COMPANY (MUTUAL) and MERCHANTS NATIONAL BONDING, INC., both being corporations of the State of Iowa (herein collectively called the "Companies") do hereby make, constitute and appoint, individually,

**Filiberto J Islas; Heather J Perrin; Jeri Lynn Thompson; Maria R Lucero; Melody J
Stockton; Michael J Mesenbrink**

their true and lawful Attorney(s)-in-Fact, to make, execute, seal and deliver on behalf of the Companies, as Surety, bonds, undertakings and other written obligations in the nature thereof, subject to the limitation that any such instrument shall not exceed the amount of:

TEN MILLION (\$10,000,000.00) DOLLARS

This Power-of-Attorney is granted and is signed and sealed by facsimile under and by authority of the following By-Laws adopted by the Board of Directors of Merchants Bonding Company (Mutual) on April 23, 2011 and adopted by the Board of Directors of Merchants National Bonding, Inc., on October 24, 2011.

"The President, Secretary, Treasurer, or any Assistant Treasurer or any Assistant Secretary or any Vice President shall have power and authority to appoint Attorneys-in-Fact, and to authorize them to execute on behalf of the Company, and attach the seal of the Company thereto, bonds and undertakings, recognizances, contracts of indemnity and other writings obligatory in the nature thereof."

"The signature of any authorized officer and the seal of the Company may be affixed by facsimile or electronic transmission to any Power of Attorney or Certification thereof authorizing the execution and delivery of any bond, undertaking, recognizance, or other suretyship obligations of the Company, and such signature and seal when so used shall have the same force and effect as though manually fixed."

In connection with obligations in favor of the Florida Department of Transportation only, it is agreed that the power and authority hereby given to the Attorney-in-Fact includes any and all consents for the release of retained percentages and/or final estimates on engineering and construction contracts required by the State of Florida Department of Transportation. It is fully understood that consenting to the State of Florida Department of Transportation making payment of the final estimate to the Contractor and/or its assignee, shall not relieve this surety company of any of its obligations under its bond.

In connection with obligations in favor of the Kentucky Department of Highways only, it is agreed that the power and authority hereby given to the Attorney-in-Fact cannot be modified or revoked unless prior written personal notice of such intent has been given to the Commissioner-Department of Highways of the Commonwealth of Kentucky at least thirty (30) days prior to the modification or revocation.

In Witness Whereof, the Companies have caused this instrument to be signed and sealed this 10th day of May, 2016.



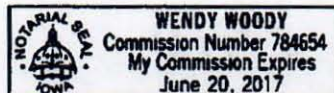
MERCHANTS BONDING COMPANY (MUTUAL)
MERCHANTS NATIONAL BONDING, INC.

By *Larry Taylor*

President

STATE OF IOWA
COUNTY OF Dallas ss.

On this 10th day of May, 2016, before me appeared Larry Taylor, to me personally known, who being by me sworn did say that he is President of the MERCHANTS BONDING COMPANY (MUTUAL) and MERCHANTS NATIONAL BONDING, INC.; and that the seals affixed to the foregoing instrument are the Corporate seals of the Companies; and that the said instrument was signed and sealed in behalf of the Companies by authority of their respective Boards of Directors.



(Expiration of notary's commission
does not invalidate this instrument)

Wendy Woody
Notary Public, Polk County, Iowa

I, William Warner, Jr., Secretary of the MERCHANTS BONDING COMPANY (MUTUAL) and MERCHANTS NATIONAL BONDING, INC., do hereby certify that the above and foregoing is a true and correct copy of the POWER-OF-ATTORNEY executed by said Companies, which is still in full force and effect and has not been amended or revoked.

In Witness Whereof, I have hereunto set my hand and affixed the seal of the Companies on this 22nd day of August, 2016.



William Warner Jr.
Secretary