

**NOTICE OF SHORELINE TASK FORCE REGULAR MEETING
CITY OF SOUTH PADRE ISLAND**

TUESDAY, APRIL 27, 2021

3:00 PM AT THE MUNICIPAL BUILDING
2ND FLOOR COUNCIL CHAMBERS

4601 PADRE BOULEVARD SOUTH PADRE ISLAND, TX 78597

1. Call to Order

2. Pledge of Allegiance

3. Public Comments and Announcements

This is an opportunity for citizens to speak to Shoreline Task Force relating to agenda or non-agenda items. Speakers are required to address the board at the podium and give their name before addressing their concerns. [Note: State law will not permit the Shoreline Task Force to discuss, debate or consider items that are not on the agenda. Citizen comments may be referred to City Staff or may be placed on the agenda of a future Shoreline Task Force meeting]

4. Regular Agenda

- 4.1. Discussion and action to approve the minutes from the regular meeting on April 14, 2021. (Boburka)
- 4.2. Discussion and action to recommend to City Council the final designs for improvements at Whitecap Circle and to begin advertising for construction bids pending the Texas General Land Office (GLO)'s beach/dune approval. (Boburka)
- 4.3. Discussion and action to recommend to City Council approval of a beach and dune permit for the construction of a parking lot located at Isla Blanca Park. (Boburka)
- 4.4. Discussion on placement options for the material to be dredged from Tompkins Channel for the Coastal Erosion Planning and Response Act (CEPRA) grant application. (Boburka)
- 4.5. Update on the upcoming beach renourishment event scheduled to begin in May 2021 with Weeks Marine and the United States Army Corps of Engineers. (Boburka)

5. Adjourn

NOTE:

One or more members of the City of South Padre Island City Council may attend this meeting; if so, this statement satisfies the requirements of the OPEN MEETINGS ACT.

DATED APRIL 23, 2021


Angelique Soto, City Secretary

I, THE UNDERSIGNED AUTHORITY, DO HEREBY CERTIFY THAT THE ABOVE NOTICE OF MEETING OF THE SHORELINE TASK FORCE OF THE CITY OF SOUTH PADRE ISLAND, TEXAS IS A TRUE AND CORRECT COPY OF

Agenda: APRIL 27, 2021



SAID NOTICE AND THAT I POSTED A TRUE AND CORRECT COPY OF SAID NOTICE ON THE BULLETIN BOARD AT CITY HALL/MUNICIPAL BUILDING ON **APRIL 23, 2021**, AT/OR BEFORE 3:00 PM AND REMAINED SO POSTED CONTINUOUSLY FOR AT LEAST 72 HOURS PRECEDING THE SCHEDULED TIME OF SAID MEETING.


Angelique Soto, City Secretary

THIS FACILITY IS WHEELCHAIR ACCESSIBLE, AND ACCESSIBLE PARKING SPACES ARE AVAILABLE. REQUESTS FOR ACCOMMODATIONS OR INTERPRETIVE SERVICES MUST BE MADE 48 HOURS PRIOR TO THIS MEETING. PLEASE CONTACT BUILDING OFFICIAL, ALEX SANCHEZ AT (956)761-8158.





**CITY OF SOUTH PADRE ISLAND
SHORELINE TASK FORCE
AGENDA REQUEST FORM**

MEETING DATE: April 27, 2021

NAME & TITLE: Kristina Boburka, Shoreline Director

DEPARTMENT: Shoreline Department

ITEM

Discussion and action to approve the minutes from the regular meeting on April 14, 2021. (Boburka)

ITEM BACKGROUND

BUDGET/FINANCIAL SUMMARY

COMPREHENSIVE PLAN GOAL

LEGAL REVIEW

Sent to Legal:

Approved by Legal:

RECOMMENDATIONS/COMMENTS:

**MINUTES OF REGULAR MEETING
CITY OF SOUTH PADRE ISLAND
SHORELINE TASK FORCE**

Wednesday, April 14th, 2021

I. CALL TO ORDER.

The Shoreline Task Force of the City of South Padre Island, Texas, held a regular meeting on Wednesday, April 14th, 2021, at the Municipal Complex Building, 2nd Floor, 4601 Padre Boulevard, South Padre Island, Texas. Vice Chairman Robert Nixon called the meeting to order at 3:00 p.m. A quorum was present with Task Force Vice Chairman Robert Nixon, Task Force Members Stormy Wall, Abbie Mahan, Michael Sularz, Norma Trevino, and Nancy Gray. Task Force Members with an excused absence were Virginia Guillot.

City Council members present include: Ken Medders and Joe Rico. City staff members present were: Shoreline Director Kristina Boburka and Shoreline Grants and Special Projects Administrator Erika Hughston.

II. PLEDGE OF ALLEGIANCE.

Vice Chairman Rob Nixon led the Pledge of Allegiance.

III. PUBLIC COMMENTS AND ANNOUNCEMENTS:

Director Boburka notified Shoreline Task Force Members that the scheduled May 11th meeting will be held at a pending location so renovations can occur with the current recording system.

IV. REGULAR AGENDA

I. DISCUSSION AND ACTION TO APPROVE THE MINUTES FROM THE REGULAR MEETING ON MARCH 23TH, 2021. (BOBURKA)

Task Force Member Wall made a motion to approve the minutes. The motion was seconded by Task Force Member Mahan. Motion carried unanimously.

II. DISCUSSION AND ACTION TO RECOMMEND TO CITY COUNCIL PROJECT PROPOSAL IDEAS FOR THE COASTAL MANAGEMENT PROGRAM (CMP)'S CYCLE 27 AND THE COASTAL EROSION PLANNING AND RESPONSE ACT (CEPRA)'S CYCLE 12. (BOBURKA, HUGHSTON)

Task Force Member Sularz made a motion to recommend approval of CMP project pre-proposals for bay access improvements at Cora Lee and beach access improvements at Access 22. Motion was seconded by Task Force Member Mahan. Motion passed 5 in favor and one against by Task Force Member Nancy Gray.

Task Force Member Trevino made a second motion to approve the suggested CEPRAs project proposal recommendations to City Council for beneficial use of dredged material and for Tompkins Channel. The motion was seconded by Task Force Member Sularz. Motion passed unanimously.

III. DISCUSSION AND ACTION TO RECOMMEND TO CITY COUNCIL THE APPROVAL OF A FINAL PROJECT PROPOSAL WITH THE UNITED STATES GEOLOGICAL SURVEY (USGS) FOR THE LIVING SHORELINE FEASIBILITY STUDY UNDER THE NATIONAL FISH AND WILDLIFE FOUNDATION (NFWF). (BOBURKA, HUGHSTON)

Task Force Member Mahan made a motion to recommend the USGS project proposal to City Council. The motion was seconded by Task Force Member Gray. Motion carried unanimously.

V. ADJOURNMENT.

There being no further business, Vice Chairman Nixon adjourned the meeting at 3:41 p.m.

Kristina Boburka, Shoreline Director

Robert Nixon, Vice Chairman

**CITY OF SOUTH PADRE ISLAND
SHORELINE TASK FORCE
AGENDA REQUEST FORM**

MEETING DATE: April 27, 2021

NAME & TITLE: Kristina Boburka, Shoreline Director

DEPARTMENT: Shoreline Department

ITEM

Discussion and action to recommend to City Council the final designs for improvements at Whitecap Circle and to begin advertising for construction bids pending the Texas General Land Office (GLO)'s beach/dune approval. (Boburka)

ITEM BACKGROUND

Final designs for Whitecap Circle (#8) improvements. Access improvements include an ADA dune walkover, pervious parking lot, ADA sidewalk from Gulf Boulevard to the dune walkover, two restrooms, and rinse stations. Mitigation for all damages will occur on site and on the beach no more than 20 feet seaward at a 1:1 ratio.

BUDGET/FINANCIAL SUMMARY

Total project cost estimated at \$620,600. This includes \$40,600 for engineering and construction oversight.

Federal grant funds through CMP to be used total \$200,000.

COMPREHENSIVE PLAN GOAL

LEGAL REVIEW

Sent to Legal:

Approved by Legal:

RECOMMENDATIONS/COMMENTS:

South Padre Island Pedestrian Walkover

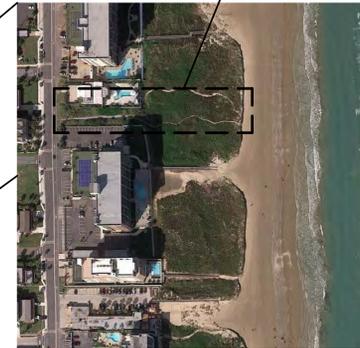
AT:

Whitecap Circle Beach Public Access
South Padre Island, Texas

OWNER:

City of South Padre Island
4601 Padre Blvd
South Padre Island, Texas

PROJECT & STRUCTURAL ENGINEER:
GREEN, RUBIANO & ASSOCIATES
1220 WEST HARRISON
HARLINGEN, TEXAS 78550
P: 956-428-4461
GRA@GRAENGINEERING.COM



WHITECAP CIRCLE

SITE MAP

NOT TO SCALE



PROJECT SHEET INDEX:

- S1.0 COVER SHEET
- S1.1 ACCESSIBILITY STANDARDS
- S1.2 ACCESSIBILITY STANDARDS
- S1.3 SITE AERIAL AND GENERAL NOTES
- S1.4 SITE IMPROVEMENT PLAN
- S1.4A SITE IMPROVEMENT PLAN WITH AERIAL OVERLAY
- S1.5 ENLARGED PARTIAL SITE IMPROVEMENT PLAN AT RESTROOMS
- S2.0 GENERAL STRUCTURAL NOTES
- S2.1 GENERAL STRUCTURAL NOTES
- S2.2 PEDESTRIAN WALKOVER FRAMING PLAN
- S2.3 FRAMING DETAILS
- S2.4 FRAMING DETAILS
- S2.5 WALKOVER FRAMING ELEVATION
- S2.6 RESTROOM FLOOR PLAN, ROOF PLAN AND EXTERIOR ELEVATIONS
- S2.7 RESTROOM FOUNDATION PLAN AND DETAILS
- S2.8 RESTROOM FRAMING PLAN AND DETAILS

CIVIL ENGINEER: HALFF

1075 PAREDES LINE ROAD SUITE B
BROWNSVILLE, TEXAS 78526
P: 956-303-7100

LANDSCAPE:

SSP DESIGN LLC
789 E. WASHINGTON ST.
BROWNSVILLE, TEXAS 78520
P: 956-547-9977 F: 956-547-9977

CIVIL PLANS SHEET INDEX:

- C1.1 GENERAL NOTES
- C1.2 GENERAL NOTES AND LEGEND
- C1.3 EXISTING TOPOGRAPHY
- C1.4 DEMOLITION PLAN
- C1.5 PROPOSED SITE PLAN
- C1.6 PROPOSED GRADING PLAN
- C1.7 PROPOSED UTILITY PLAN
- C1.8 POLLUTION PREVENTION PLAN
- C1.9 MISCELLANEOUS DETAILS
- C1.10 MISCELLANEOUS DETAILS
- C1.11 MISCELLANEOUS DETAILS

LANDSCAPE SHEET INDEX:

- L1.01 IRRIGATION PLAN
- L1.02 IRRIGATION PLAN
- L1.03 IRRIGATION DETAILS
- L2.01 LANDSCAPE AND DUNE MITIGATION PLAN
- L2.02 LANDSCAPE AND DUNE MITIGATION PLAN
- L2.03 LANDSCAPE SCHEDULES AND DETAILS

GA
GREEN, RUBIANO & ASSOCIATES
CONSULTING STRUCTURAL ENGINEERS
1220 WEST HARRISON
HARLINGEN, TEXAS 78550
PH: (956) 428-4461
GRA@GRAENGINEERING.COM

SEAL

PROJECT

**WALKOVER
AT WHITECAP CIRCLE**

**SOUTH PADRE ISLAND,
TEXAS**

CLIENT

**CITY OF
SOUTH PADRE ISLAND**



**SOUTH PADRE ISLAND,
TEXAS**

P: 956-761-3044
F: 956-761-3898



MARK	DATE	DESCRIPTION

PROJECT NO.	1065-16
DATE	03-29-2021
DRAWN BY	LC
CHECKED BY	BD
SCALE	AS SHOWN

SHEET TITLE

COVER SHEET

SHEET NO.

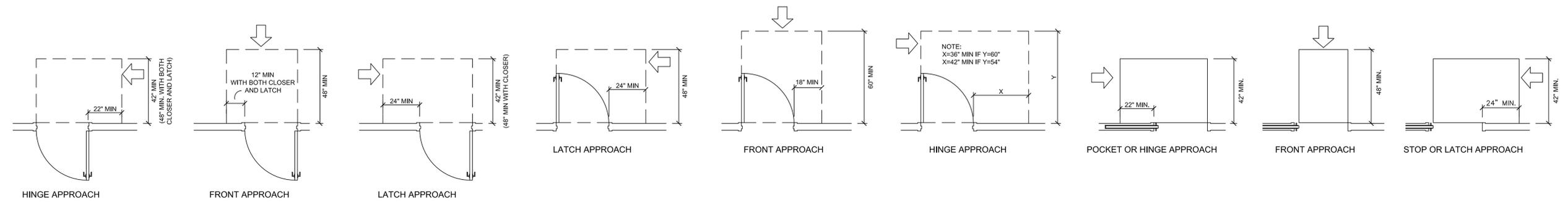
S1.0

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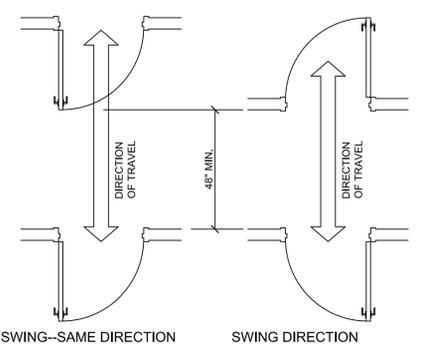
Copyright 2021 by GREEN, RUBIANO & ASSOCIATES



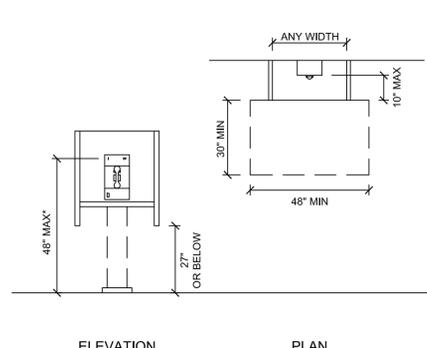
PUSH SIDE MANEUVERING CLEARANCE AT SWINGING DOORS
 3/8" = 1'-0"

PULL SIDE MANEUVERING CLEARANCE AT SWINGING DOORS
 3/8" = 1'-0"

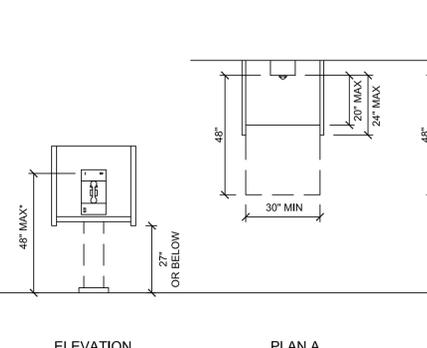
MANEUVERING CLEARANCE AT SLIDING AND FOLDING DOORS
 3/8" = 1'-0"



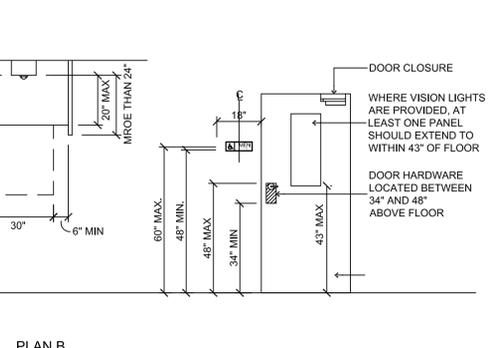
MANEUVERING CLEARANCE FOR TWO DOORS IN A SERIES
 3/8" = 1'-0"



PUBLIC TELEPHONE SIDE REACH POSSIBLE
 3/8" = 1'-0"

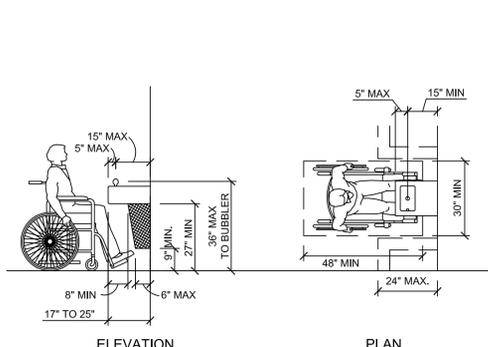


PUBLIC TELEPHONE FORWARD REACH REQUIRED
 3/8" = 1'-0"

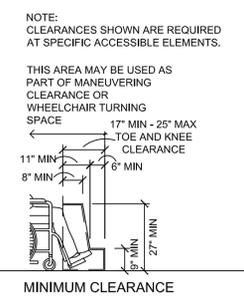


DOOR HARDWARE AND SIGNAGE MOUNTING HEIGHTS
 3/8" = 1'-0"

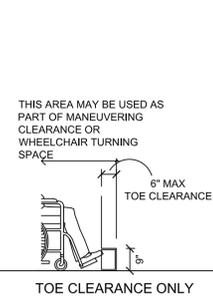
HARDWARE MOUNTING HEIGHTS	
FIXTURE / DEVICE	REMARKS - ALL HEIGHTS ARE MEASURED ABOVE FINISH FLOOR, UNLESS NOTED
TOP HINGE	5" FROM HEAD TO TOP OF HINGE LEAF
BOTTOM HINGE	10" FROM BOTTOM OF HINGE TO FINISH FLOOR
INTERMEDIATE HINGE (S)	EQUAL DISTANCE BETWEEN TOP AND BOTTOM HINGE
KNOBS, LOCKS, DEAD BOLTS	38" FROM FINISHED FLOOR TO CENTER OF KNOB
DOOR GUARD LOCKS	60" FROM FINISHED FLOOR, 48" IN ACCESSIBLE ROOMS
ROOM NUMBERS	ON CORRIDOR WALL ADJACENT TO STRIKE SIDE OF DOOR AT 60". RAISED LETTERS AND GRADE 2 BRAILLE TO BE PROVIDED PER ADA REQUIREMENTS
DOOR VIEWER (PEEP HOLE)	54"-60" FROM FINISH FLOOR TO CENTERLINE, 46" FROM FINISH FLOOR TO CENTERLINE IN ACCESSIBLE ROOMS
PUSH PLATES & PUSH BARS	45" FROM FINISH FLOOR TO CENTERLINE
DOOR PULL	45" FROM FINISH FLOOR TO CENTERLINE
EXIT DEVICE PANIC BAR	38" FROM FINISH FLOOR TO CENTERLINE OF PANIC BAR



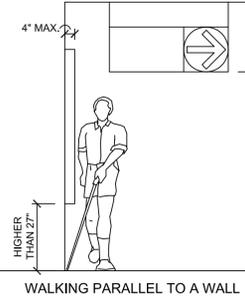
DRINKING FOUNTAINS AND WATER COOLERS
 3/8" = 1'-0"



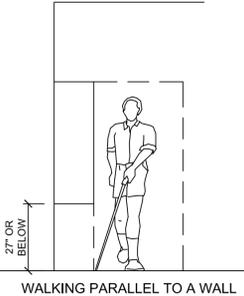
KNEE AND TOE SPACE CLEARANCES
 3/8" = 1'-0"



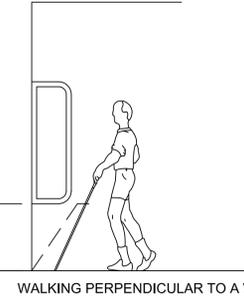
TOE CLEARANCE ONLY



WALKING PARALLEL TO A WALL

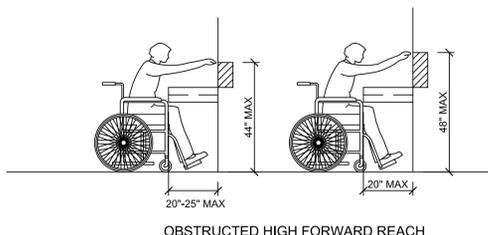


WALKING PARALLEL TO A WALL

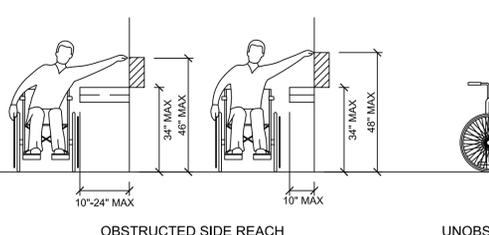


WALKING PERPENDICULAR TO A WALL

DIMENSIONS OF PROTRUDING OBJECTS
 3/8" = 1'-0"

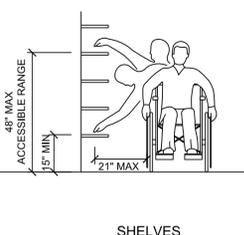


OBSTRUCTED HIGH FORWARD REACH

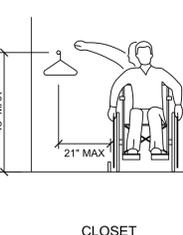


UNOBSTRUCTED FORWARD REACH

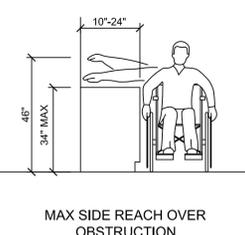
UNOBSTRUCTED SIDE REACH



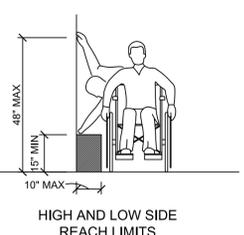
SHELVES



CLOSET



MAX SIDE REACH OVER OBSTRUCTION



HIGH AND LOW SIDE REACH LIMITS

REACH REQUIREMENTS
 3/8" = 1'-0"

WALKOVER AT WHITECAP CIRCLE

SOUTH PADRE ISLAND, TEXAS

CITY OF SOUTH PADRE ISLAND



SOUTH PADRE ISLAND, TEXAS

P: 956-761-3044
 F: 956-761-3898



MARK	DATE	DESCRIPTION

PROJECT NO.	1065-16
DATE	03-29-2021
DRAWN BY	LC
CHECKED BY	BD
SCALE	AS SHOWN

ACCESSIBILITY STANDARDS

SHEET NO.

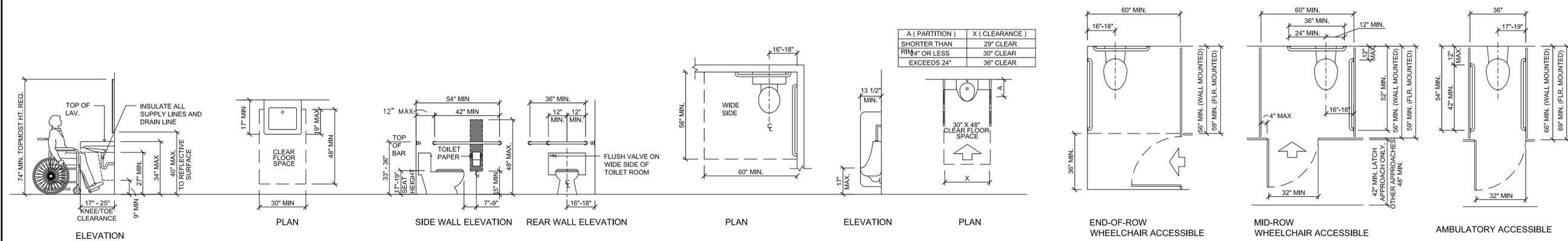
S1.1

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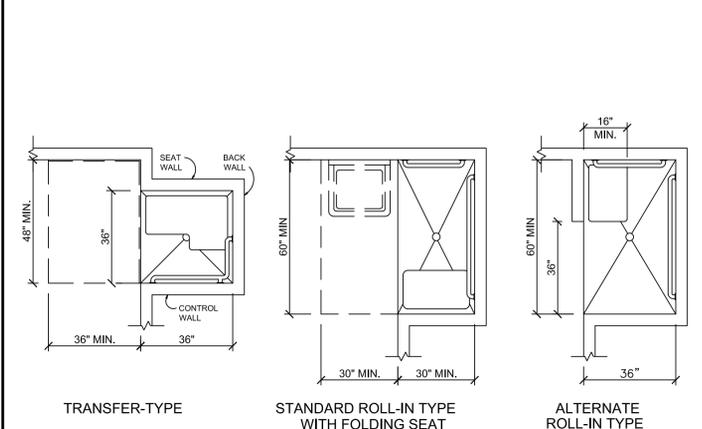


ADULT LAVATORY CLEARANCES
 3/8" = 1'-0"

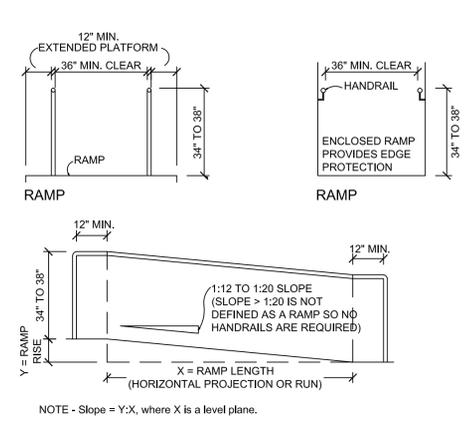
ADULT GRAB BARS AT WATER CLOSETS
 3/8" = 1'-0"

ADULT URINAL CLEARANCES
 3/8" = 1'-0"

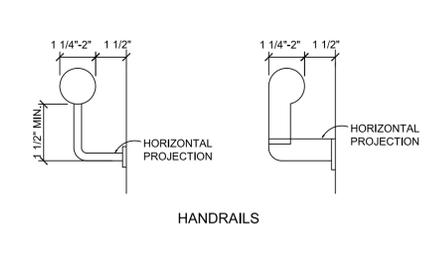
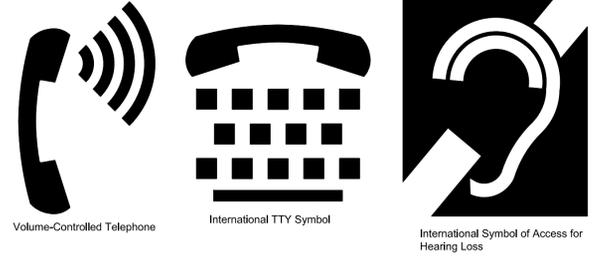
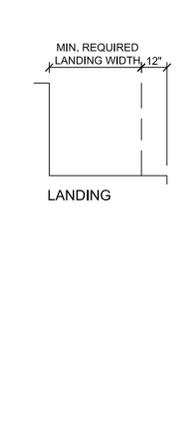
TOILET STALL CLEARANCES
 3/8" = 1'-0"



SHOWER CLEARANCES
 3/8" = 1'-0"



RAMP
 3/8" = 1'-0"



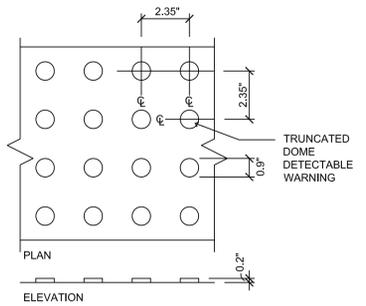
HANDRAILS

INFORMATION

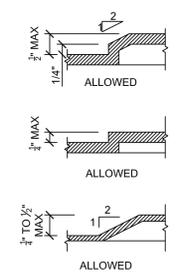
SUITE 372B



WOMEN



TACTILE BUMPS
 NOT TO SCALE



NOTES
 1. Changes in level greater than 1/2 in. (13 mm) must be ramped.
 2. Some standards prohibit changes in level in clear floor space, maneuvering clearances, wheelchair turning space, and access aisles.

FIXTURE / DEVICE	FIXTURE MOUNTING HEIGHTS			
	ADULT	CHILD 3-4	CHILD 5-8	CHILD 9-12
UNOBSTRUCTED REACH RANGE FRONT OR SIDE REACH	48" MAX. 15" MIN.	36" MAX. 20" MIN.	40" MAX. 18" MIN.	44" MAX. 16" MIN.
RAMP AND STAIRS TOP OF HANDRAIL GRIPPING SURFACE	34" MIN. 38" MAX.	28" MAX.	28" MAX.	28" MAX.
ELEVATORS CAR CONTROL FLOOR BUTTONS UNOBSTRUCTED FRONTAL APPROACH UNOBSTRUCTED SIDE APPROACH EMERGENCY COMMUNICATION HIGHEST OPERABLE PART	48" MAX. 48" MAX. 48" MAX.	36" MAX. 36" MAX. 36" MAX.	40" MAX. 40" MAX. 40" MAX.	44" MAX. 44" MAX. 44" MAX.
PLATFORM LIFTS (WHEELCHAIR LIFTS) CONTROLS / OPERATING MECHANISM (UNOBSTRUCTED)	48" MAX. 15" MIN.	36" MAX. 20" MIN.	40" MAX. 18" MIN.	44" MAX. 16" MIN.
WATER CLOSETS TOP OF SEAT GRAB BARS FLUSH CONTROLS DISPENSER HEIGHT	17"-19" 33"-36" 44" MAX. 15"-48"	11"-12" 18"-20" 36" MAX. 14"	12"-15" 20"-25" 40" MAX. 14-17"	15"-17" 25"-27" 44" MAX. 17-19"
URINALS RIM OF BASIN FLUSH CONTROLS	17" MAX. 48" MAX.			
LAVATORIES AND SINKS RIM OR COUNTER SURFACE KNEE CLEARANCE	34" MAX. 27" MIN.		31" MAX. 24" MIN.	31" MAX. 24" MIN.
MIRRORS TO BOTTOM OF REFLECTIVE SURFACE	40" MAX.			
STORAGE FRONTAL APPROACH SIDE APPROACH DISTANCE FROM WHEEL CHAIR 0'-10" 10'-24"	48" MAX. 46" MAX.			
CONTROLS AND OPERATING MECHANISMS HIGHEST OPERABLE PART FRONTAL APPROACH SIDE APPROACH	48" MAX. 48" MAX.		40" MAX. 40" MAX.	44" MAX. 44" MAX.
TELEPHONES HIGHEST OPERABLE PART FRONTAL APPROACH SIDE APPROACH	48" MAX. 48" MAX.		40" MAX. 40" MAX.	44" MAX. 44" MAX.
FIXED OR BUILT-IN SEATING AND TABLES, READING AND STUDY AREAS, AND WORK STATIONS HEIGHT OF TABLES OR COUNTERS KNEE CLEARANCES	28"-34" 27"		26"-30" 24"	26"-30" 24"
DRESSING AND FITTING ROOMS TOP OF BENCH	17"-19"			
FOOD SERVICE LINES TOP OF TRAY SLIDE	28"-34"			
BABY CHANGER	34" MAX. TO CHANGING SHELF IN OPEN POSITION			

TYPICAL RAMP NOTES:
 1. PROVIDE TRUNCATED DOME DETECTABLE WARNING TEXTURE ARRANGED SO WATER WILL NOT ACCUMULATE. TYPICAL AT ALL RAMP.
 2. THE FULL WIDTH AND DEPTH OF CURB RAMP SHALL HAVE A VISUAL (LIGHT REFLECTIVE VALUE) AND TEXTURE (DETECTABLE UNDER FOOT) THAT SIGNIFICANTLY CONTRASTS WITH THAT OF ADJOINING PEDESTRIAN ROUTES.

CURB RAMP
 NOT TO SCALE

PROJECT

WALKOVER AT WHITECAP CIRCLE

SOUTH PADRE ISLAND, TEXAS

CLIENT
CITY OF SOUTH PADRE ISLAND



SOUTH PADRE ISLAND, TEXAS

P: 956-761-3044
 F: 956-761-3898



MARK	DATE	DESCRIPTION

PROJECT NO. 1065-16

DATE 03-29-2021

DRAWN BY LC

CHECKED BY BD

SCALE AS SHOWN

SHEET TITLE

ACCESSIBILITY STANDARDS

SHEET NO.

S1.2

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PH: (956)428-4461
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SEAL

PROJECT

**WALKOVER
AT WHITECAP CIRCLE**

**SOUTH PADRE ISLAND,
TEXAS**

CLIENT

**CITY OF
SOUTH PADRE ISLAND**



**SOUTH PADRE ISLAND,
TEXAS**

P: 956-761-3044
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MARK	DATE	DESCRIPTION

PROJECT NO. 1065-16

DATE 03-29-2021

DRAWN BY LC

CHECKED BY BD

SCALE AS SHOWN

SHEET TITLE

**SITE AERIAL AND
GENERAL NOTES**

SHEET NO.

S1.3

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**REF. SHEET S1.4 FOR SITE IMPROVEMENT PLAN
AT WHITECAP CIRCLE BEACH ACCESS**

1 SITE AERIAL
N.T.S.

GENERAL NOTES

SCOPE OF PROJECT

SCOPE OF WORK IS DEFINED BY THE DRAWINGS AND SPECIFICATIONS, INCLUDES ALL SUPERVISION, LABOR, MATERIALS, EQUIPMENT, PERMITTING AND FEES TO ACCOMPLISH THE WORK. THE SCOPE INCLUDES, BUT IS NOT LIMITED TO:

1. INSTALLATION OF NEW BEACH VEHICLE DRIVE OVER CONCRETE STRUCTURE AND WOOD WALKOVER STRUCTURE AT WHITE SANDS STREET, AND ASSOCIATED IMPROVEMENTS.

CODE COMPLIANCE

1. ALL WORK PERFORMED SHALL BE COMPLETED IN ACCORDANCE WITH ALL STATE, FEDERAL, AND LOCAL CODES, ORDINANCES, AND LAWS, INCLUDING THE INTERNATIONAL BUILDING CODE 2012 EDITION.
2. ALL DEMOLITION MATERIAL SHALL BE PROPERLY DISPOSED OF IN A LANDFILL MEETING ALL FEDERAL, STATE, AND LOCAL REGULATORY REQUIREMENTS. CONTRACTOR SHALL PROVIDE PROPER DOCUMENTATION FROM LANDFILL INDICATING PROPER DISPOSAL OF DEMOLITION MATERIAL.

COORDINATION

1. THE CONTRACTOR SHALL COORDINATE WORK BETWEEN ALL TRADES. ANY CONFLICTS SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO THE WORK BEING INSTALLED. FAILURE TO DO SO WILL MAKE THE CONTRACTOR RESPONSIBLE FOR THE COST OF THE WORK.

EXISTING CONDITIONS

1. THE CONTRACTOR SHALL VISIT THE SITE OF THE PROPOSED WORK AND FULLY ACQUAINT THEMSELVES WITH THE EXISTING CONDITIONS.
2. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS. DIMENSIONS SHOWN ON THE PLANS ARE APPROXIMATE. CONTRACTOR SHALL OBTAIN ALL FIELD MEASUREMENTS AS NECESSARY TO COORDINATE NEW CONSTRUCTION TO EXISTING CONDITIONS.
3. IF EXISTING CONDITIONS DIFFER FROM THE DRAWINGS, INFORM THE ENGINEER AND ADDITIONAL DETAILS OR INTERPRETATION WILL BE PROVIDED. DO NOT PROCEED WITHOUT VERIFICATION.
4. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UNDERGROUND UTILITIES, INCLUDING STORM SEWER SYSTEM LINES, WASTE WATER LINES, IRRIGATION LINES, ETC., PRIOR TO MOBILIZATION AND COMMENCEMENT OF WORK. CONTACT ALL CITY OF SOUTH PADRE ISLAND MUNICIPALITIES AS REQUIRED TO LOCATE UNDERGROUND UTILITIES. ANY COSTS TO REPAIR DAMAGES IF UTILITIES ARE NOT PROPERLY IDENTIFIED, ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

TEMPORARY BRACING, FALSEWORK AND FORMWORK

1. THE DESIGN, ENGINEERING, FABRICATION, CONSTRUCTION, ERECTION, REMOVAL AND OVERALL SAFETY OF ALL TEMPORARY SUPPORTS SUCH AS FALSEWORK, FORMWORK, SHORES AND BRACING REQUIRED FOR THE EXECUTION OF THE CONTRACT ARE NOT INCLUDED IN THE DRAWINGS AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
2. THE ENGINEER'S EFFORTS ARE AIMED AT DESIGNING A PROJECT WHICH WILL BE SAFE AFTER FULL COMPLETION. THE ENGINEER HAS NO EXPERTISE IN, AND TAKES NO RESPONSIBILITY FOR, CONSTRUCTION MEANS AND METHODS OR JOB SITE SAFETY DURING CONSTRUCTION. SAFETY IS EXCLUSIVELY THE CONTRACTOR'S RESPONSIBILITY. PROCESSING AND/OR APPROVING SUBMITTALS MADE BY CONTRACTOR WHICH MAY CONTAIN INFORMATION RELATED TO SHORING, CONSTRUCTION METHODS OR SAFETY ISSUES, OR PARTICIPATION IN MEETINGS WHERE SUCH ISSUES MIGHT BE DISCUSSED, MUST NOT BE CONSTRUED AS VOLUNTARY ASSUMPTION BY ENGINEER OF ANY RESPONSIBILITY FOR THESE SAFETY PROCEDURES.

DOCUMENTATION OF PRE-CONSTRUCTION PHOTOGRAPHS

1. THE CONTRACTOR SHALL PHOTOGRAPH AND/OR VIDEO DOCUMENT AND TAKE WRITTEN NOTES OF EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF THE WORK ON THE SITE. COPIES OF ALL DOCUMENTATION TO BE PRESENTED TO THE OWNER PRIOR TO COMMENCING WORK.

PROTECTION OF EXISTING ADJACENT BUILDINGS

1. CONTRACTOR SHALL TAKE THE PROPER PRECAUTIONS NOT TO DAMAGE ADJACENT BUILDINGS DURING DEMOLITION.
2. THE CONTRACTOR SHALL TAKE PROPER PRECAUTION TO PROTECT ALL ADJACENT EXISTING TREES, LANDSCAPING, SITE LIGHTING, SIDEWALKS, AND SITE FEATURES FROM DAMAGE THROUGHOUT COURSE OF WORK. IF DAMAGED DURING THE COURSE OF THE WORK, REPAIR TO PRE-CONSTRUCTION CONDITION PRIOR TO COMPLETION OF THE PROJECT.

SAFETY

1. PERFORM ALL WORK IN A SAFE AND CONSCIENTIOUS MANNER TO PREVENT INJURIES.
2. CONTRACTOR SHALL MAINTAIN OSHA STANDARDS FOR JOB SAFETY AND WORKER PROTECTION, INCLUDING, BUT NOT LIMITED TO ADEQUATE PROTECTION, BARRICADES, SIGNS, ETC.
3. PEDESTRIAN PROTECTION REQUIREMENTS: PROVIDE CANOPY AND/OR BARRICADES AT SIDEWALKS AND OTHER PUBLICLY ACCESSIBLE AREAS WHICH MAY BE SUBJECT TO FALLING DEBRIS FROM THE WORK. COORDINATE ACCESS REQUIREMENTS WITH OWNER. BARRICADES AND CANOPY SHALL MEET OR EXCEED THE APPLICABLE REQUIREMENTS OF FEDERAL, STATE AND LOCAL LAWS, CODES, AND REGULATIONS OF AUTHORITIES HAVING JURISDICTION. AS A MINIMUM, CANOPY SHALL COMPLY WITH SECTION 3306, "PROTECTION OF PEDESTRIANS" OF THE 2012 EDITION OF THE INTERNATIONAL BUILDING CODE (IBC). UPON COMPLETION OF REMOVAL OF CANOPY AND BARRICADES, LEAVE PROPERTY IN GOOD CONDITION AS IT WAS PRIOR TO COMMENCEMENT OF WORK.
4. ALL CONSTRUCTION MATERIALS SHALL BE LOCKED-UP OR PLACED INSIDE A LOCKED CONSTRUCTION FENCE TO ENSURE MATERIALS DO NOT BECOME WINDBORNE OR CAUSE INJURY TO RESIDENTS, VISITORS OR PUBLIC.
5. THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR SAFETY. THE OWNER AND ENGINEER EXPRESSLY EXCLUDE ANY RESPONSIBILITY FOR CONTRACTOR SAFETY OR SAFETY OF JOBSITE.

TEMPORARY FACILITIES

1. COORDINATE LOCATION AND PLACEMENT OF FIELD OFFICE, MATERIAL STORAGE, PORTABLE TOILET, DUMPSTERS, ETC. WITH OWNER PRIOR TO CONSTRUCTION.

USE OF THE PREMISES

1. EQUIPMENT ACCESS TO BE SCHEDULED WITH OWNERS REPRESENTATIVE 48 HOURS IN ADVANCE.
2. TYPICAL HOURS OF WORK: 7:00 AM - 7:00 PM - MONDAY - FRIDAY, 8:00 AM - 7:00 PM - SATURDAY, 9:00 AM - 5:00 PM - SUNDAY, UNLESS OTHER ARRANGEMENTS MADE WITH OWNER'S REPRESENTATIVE. PRIOR TO COMMENCING WORK, COORDINATE HOURS OF WORK WITH THE OWNER TO MINIMIZE IMPACT TO THE SITE'S DAY-TO-DAY OPERATIONS.
3. MAINTAIN PUBLIC ACCESS FOR THE DURATION OF THE PROJECT, OR AS REQUIRED BY OWNER.
4. AN ON-SITE STORAGE AREA IS TO BE ESTABLISHED DURING CONSTRUCTION. STORAGE IS TO BE PROTECTED IN A SECURE WEATHERPROOF LOCATION TO PREVENT DAMAGE TO THE CONTENTS.
5. PROVIDE REGULAR SITE CLEAN UP. STORE MATERIALS IN A NEAT AND ORDERLY MANNER.
6. DO NOT PLACE LOADS ON THE EXISTING ADJACENT STRUCTURES OR STORE DEMOLISHED MATERIALS ON THE STRUCTURES IN A MANNER THAT WILL DAMAGE THEM.
7. WORKERS SHALL BE PROPERLY DRESSED AND DISPLAY APPROPRIATE BEHAVIOR AT ALL TIMES IN CONSTRUCTION AND ADJACENT AREAS.
8. REPAIR/RESTORE DAMAGED LAWN OR OTHER LANDSCAPING AT COMPLETION OF THE WORK AT NO COST TO OWNER.
9. REFERENCE "TOWN OF SOUTH PADRE ISLAND BUILDING CONSTRUCTION SITE MANAGEMENT NOTICE" FOR ADDITIONAL REQUIREMENTS.

SITE MAINTENANCE

1. MAINTAIN AREAS FREE OF WASTE MATERIALS, DEBRIS, AND RUBBISH.
2. MAINTAIN SITE IN A CLEAN AND ORDERLY CONDITION. AREAS USED AS PATHWAYS TO TRANSPORT MATERIALS OR TO REMOVE TRASH THAT ARE NOT DIRECTLY UNDER CONSTRUCTION ARE TO BE KEPT CLEAN.

FIRE PROTECTION

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIRE PROTECTION AND FIRE WATCH DURING ALL CONSTRUCTION OPERATIONS.
2. NO SMOKING SHALL BE PERMITTED AT THE SITE. CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY FIRE EXTINGUISHERS UNTIL SUBSTANTIAL COMPLETION.

HAZARDOUS MATERIALS ABATEMENT/ MANAGEMENT

1. THE ENGINEER HAS NO RESPONSIBILITY OR LIABILITY FOR DESIGN, REMOVAL OF, OR TESTING FOR ASBESTOS/LEAD, OR FOR ABATEMENT /MANAGERIAL TREATMENTS, MONITORING, AND LEGAL DISPOSAL OF MATERIALS. CONTRACTOR SHALL DETERMINE IF ANY HAZARDOUS MATERIAL ABATEMENT/ MANAGEMENT IS REQUIRED AND SHALL INCLUDE COSTS THEREOF IN THE BID.



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SEAL

PROJECT

**WALKOVER
 AT WHITECAP CIRCLE**

**SOUTH PADRE ISLAND,
 TEXAS**

CLIENT

**CITY OF
 SOUTH PADRE ISLAND**

**SOUTH PADRE ISLAND,
 TEXAS**
 P: 956-761-3044
 F: 956-761-3898



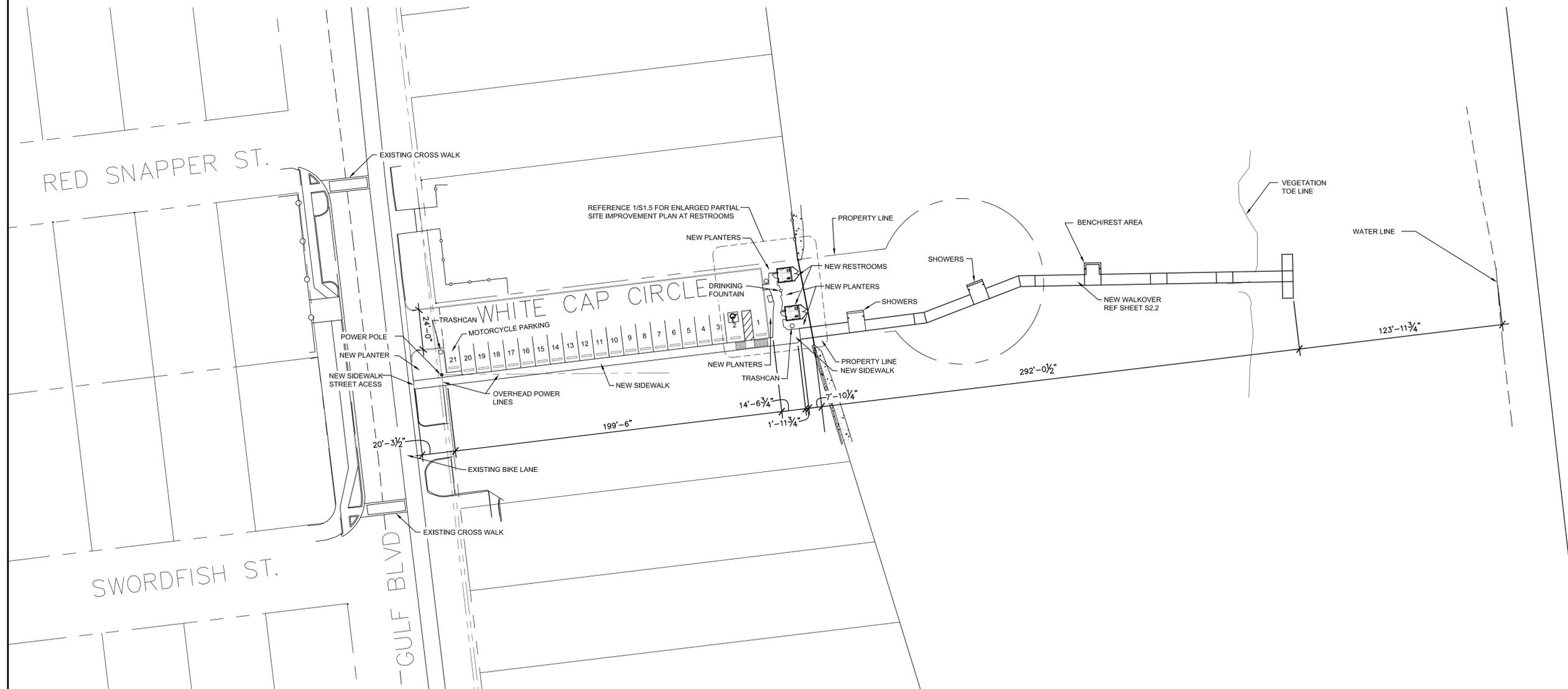
MARK	DATE	DESCRIPTION

PROJECT NO.	1065-16
DATE	03-29-2021
DRAWN BY	LC
CHECKED BY	BD
SCALE	AS SHOWN

SHEET TITLE
**SITE
 IMPROVEMENT
 PLAN**

SHEET NO.

S1.4



**WHITECAP CIRCLE BEACH ACCESS
 SITE IMPROVEMENT PLAN**

1

1/32" = 1'-0"

WHITECAP CIRCLE
 BEACH ACCESS



NOTES:

1. UNLESS OTHERWISE NOTED ON IMPROVEMENT KEY LEGEND, ALL EXISTING SITE COMPONENTS SHALL REMAIN
2. REFER TO CIVIL DRAWINGS FOR ADDITIONAL SCOPE TO BE PERFORMED UNDER THIS CONTRACT.
3. REFER TO CIVIL DRAWINGS FOR GRADING PLAN & TOPOGRAPHIC SURVEY.

PRELIMINARY
 THIS DOCUMENT IS RELEASED FOR THE PURPOSE
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SEAL

PROJECT

**WALKOVER
 AT WHITECAP CIRCLE**

**SOUTH PADRE ISLAND,
 TEXAS**

CLIENT

**CITY OF
 SOUTH PADRE ISLAND**

**SOUTH PADRE ISLAND,
 TEXAS**
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MARK	DATE	DESCRIPTION

PROJECT NO.	1065-16
DATE	03-29-2021
DRAWN BY	LC
CHECKED BY	BD
SCALE	AS SHOWN

SHEET TITLE
**SITE
 IMPROVEMENT
 PLAN WITH
 AERIAL OVERLAY**

SHEET NO.
S1.4A



**WHITECAP CIRCLE BEACH ACCESS
 SITE IMPROVEMENT PLAN**

1

1/32" = 1'-0"

WHITECAP CIRCLE
 BEACH ACCESS



PLAN NORTH

NOTES:

1. UNLESS OTHERWISE NOTED ON IMPROVEMENT KEY LEGEND, ALL EXISTING SITE COMPONENTS SHALL REMAIN
2. REFER TO CIVIL DRAWINGS FOR ADDITIONAL SCOPE TO BE PERFORMED UNDER THIS CONTRACT.
3. REFER TO CIVIL DRAWINGS FOR GRADING PLAN & TOPOGRAPHIC SURVEY.

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1 ENLARGED PARTIAL SITE IMPROVEMENT PLAN AT RESTROOMS
 1/4" = 1'-0"
 WHITECAP CIRCLE BEACH ACCESS
 PLAN NORTH

- NOTES:
1. REFERENCE SHEET S1.4 FOR OVERALL SITE IMPROVEMENT PLAN.

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SEAL

PROJECT

WALKOVER AT WHITECAP CIRCLE

SOUTH PADRE ISLAND, TEXAS

CLIENT

CITY OF SOUTH PADRE ISLAND

SOUTH PADRE ISLAND, TEXAS
 P: 956-761-3044
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MARK	DATE	DESCRIPTION

PROJECT NO.	1065-16
DATE	03-29-2021
DRAWN BY	LC
CHECKED BY	BD
SCALE	AS SHOWN

SHEET TITLE
ENLARGED SITE IMPROVEMENT PLAN

SHEET NO.

S1.5

GENERAL STRUCTURAL NOTES

THESE GENERAL NOTES SHALL APPLY UNLESS OTHERWISE SPECIFICALLY NOTED ON PLANS OR DETAILS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SHALL COORDINATE ALL STRUCTURAL PLANS AND DETAILS WITH ARCHITECTURAL & CIVIL DRAWINGS BEFORE STARTING WORK. THE ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR CONTRACTOR MEANS AND METHODS OF CONSTRUCTION OR SITE SAFETY. DESIGN, CONSTRUCTION, WORKMANSHIP AND MATERIALS SHALL COMPLY WITH THE CONTROLLING PROVISIONS OF THE 2012 EDITION OF THE **INTERNATIONAL BUILDING CODE (IBC)**.

DESIGN CRITERIA

- LIVE LOAD 100 PSF
- BREAKING WAVE LOADS ON CROSSOVER STRUCTURE
 - BASE FLOOD ELEVATION ELEV 12'-0"
 - ASSUMED GROUND ELEVATION AT STORM SURGE ELEV 0'-0"
 - COEFFICIENT OF DRAG FOR BREAKING WAVES FOR DRILLED PIER
Cd = 1.75
 - DYNAMIC PRESSURE COEFFICIENT FOR VERTICAL SURFACE CATEGORY II, Cp = 2.8
- WIND LOAD: BASED ON ASCE 7-16 REQUIREMENTS FOR 140 MPH WIND.
- RISK CATEGORY I
- EXPOSURE FACTOR D
- THE GEOTECHNICAL ENGINEER OF RECORD SHALL BE RETAINED TO PERFORM TESTING AND INSPECTIONS DURING INSTALLATION OF DRILLED PIERS AND WOOD PILES AS REQUIRED BY SPECIFICATIONS AND GENERAL STRUCTURAL NOTES.

WOOD PILES

- MAXIMUM DESIGN LOAD OF EACH PILE IS 6.0 KIIPS.
- PRIOR TO PILE PLACEMENT, THE CONTRACTOR SHALL PROVIDE THE ENGINEER DATA REGARDING THE PROPOSED HAMMER AND CUSHION SYSTEM.
- PILES SHALL BE ASTM D-25, CLASS "C" TREATED, PEELDED SOUTHERN YELLOW PINE OR DOUGLAS FIR. PILES SHALL BE CRESSOTED ACCORDING TO AWPMA MANUAL STANDARDS C-3 WITH A MINIMUM RETENTION OF 12 POUNDS PER CUBIC FOOT.
- PILES SHALL HAVE A MINIMUM BUTT DIAMETER OF 12 INCHES AND A MINIMUM TIP DIAMETER OF 8 INCHES.
- A 8 INCH DIAMETER PILOT HOLE MAY BE DRILLED TO A DEPTH OF 5 FEET ABOVE THE FINAL TIP ELEVATION TO FACILITATE PILE DRIVING. JETTING ALONG SIDE OF PILES IS NOT PERMITTED.
- PILES SHALL BE DRIVEN WITH A DYNAMIC HAMMER HAVING AN EFFECTIVE DRIVING ENERGY OF 18,000 TO 48,000 FT/LBS/BLOW.
- ADEQUATE CUSHIONING MATERIAL SHALL BE PROVIDED BETWEEN THE PILE DRIVER CAP AND THE PILE HEAD. A SOFTWOOD CUSHION WITH A THICKNESS OF 6 TO 12 INCHES IS PREFERRED.
- THE PILE DRIVING HELMET OR CAP SHALL BE SUFFICIENTLY LOOSE AROUND THE PILE BUTT SO AS NOT TO DEVELOP TORSIONAL STRESSES IN THE PILE DURING INSTALLATION, HOWEVER THE HELMET SHOULD BE CAPABLE OF CONTROLLING PILE ALIGNMENT.
- THE ENTIRE HAMMER-CUSHION-PILE SYSTEM SHOULD BE COMPATIBLE AND CAPABLE OF DRIVING PILES TO THE DESIGN PENETRATIONS WITHOUT DAMAGING PILES. BLOW COUNTS CONSISTENTLY IN EXCESS OF 50 BLOWS/FOOT ARE NOT IN LINE WITH GOOD PRACTICE.
- PILES SHALL BE PROPERLY ALIGNED PRIOR TO DRIVING AND HELD WITH FIXED LEADS. REALIGNMENT ONCE DRIVING HAS COMMENCED IS NOT PERMITTED. DRILLED PIERS

- PIERS ARE SIZED FOR AN ALLOWABLE SIDE SHEAR VALUE OF 200 PSF AND ALLOWABLE BEARING CAPACITY OF 3,500 PSF BASED ON TOTAL LOAD.
- EACH PIER SHAFT SHALL BE INSPECTED BY QUALIFIED GEOTECHNICAL OR A/E PERSONNEL TO INSURE PROPER BEARING AT SCHEDULED ELEVATION AND TO VERIFY STRATAS NOTED IN THE GEOTECHNICAL REPORT.
- ALL PIERS SHALL BE CENTERED ON BEAMS UNLESS OTHERWISE SHOWN.
- DRILL PIERS TO THE EXACT SIZE SHOWN. SHAFTS SHALL BE BORED PLUMB WITH A TOLERANCE OF TWO INCHES. INSTALL OFFSET STAKES ON OPPOSITE SIDES OF THE PIER AND USE TO MAINTAIN THE PIER CENTERS AND TO CHECK THE PIER PLUMBNESS. FOOTING BOTTOMS SHALL BE INSPECTED FOR A MAXIMUM OF ONE INCH (1") OF LOOSE DIRT AND TWO INCHES (2") OF GROUND WATER IMMEDIATELY PRIOR TO PLACING CONCRETE. IF MACHINE CLEANING IS NOT SATISFACTORY TO ARCHITECT/ENGINEER, HAND CLEANING WILL BE REQUIRED.
- FOR ESTIMATING PURPOSES, CARRY ALL PIERS TO THE DEPTHS INDICATED ON THE DRAWINGS. WHEN DIRECTED BY THE ARCHITECT/ ENGINEER, PIERS SHALL BE ADJUSTED AS REQUIRED TO MEET DESIGN REQUIREMENTS ADJUSTMENTS WILL BE SPECIFIED IN THE CONTRACT PRICE FOR DEPTH ADJUSTMENTS IN ACCORDANCE WITH THE UNIT PRICES QUOTED IN THE CONTRACTOR'S BID.
- DUE TO SUBSURFACE STRATIGRAPHY AND WATER LEVELS ENCOUNTERED DURING DRILLING OPERATIONS, IF THE CONTRACTOR CANNOT INSTALL THE RECOMMENDED PIER AT THE REQUIRED DEPTH, THE ENGINEER MUST BE CONTACTED IMMEDIATELY.
- PROVIDE SUITABLE ACCESS AND LIGHTING FOR INSPECTION OF THE EXCAVATIONS FOR CLEANLINESS AND FOR CORRECTNESS OF DIMENSIONS AND ALIGNMENT.
- PLACEMENT OF CONCRETE SHALL BE ACCOMPLISHED AS SOON AS POSSIBLE AFTER EXCAVATION IS COMPLETE. REINFORCING CAGE IS PLACED AND INSPECTED. THE CONCRETE SHOULD NOT BE ALLOWED TO RICOCHET OFF THE WALLS OF THE PIER EXCAVATION NOR OFF OF THE REINFORCING STEEL. PLACEMENT OF CONCRETE SHALL COMPLY WITH AMERICAN CONCRETE INSTITUTE (ACI) 318-89 CODE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" AND ACI 336-3R-72 ENTITLED "SUGGESTED DESIGN AND CONSTRUCTION PROCEDURES FOR PIER FOUNDATIONS". NO PIER EXCAVATION SHALL BE LEFT OPEN OVERNIGHT WITHOUT CONCRETING.
- CASINGS SHALL BE REQUIRED TO PREVENT CAVING OF SOIL AND SEEPAGE OF WATER INTO THE DRILLED FOOTINGS. CASINGS SHALL BE METAL WITH AMPLE STRENGTH TO WITHSTAND HANDLING STRESSES, CONCRETE AND EARTH PRESSURES, AND SHALL BE WATERTIGHT. CONTRACTORS SHALL FURNISH UNIT PRICES FOR CASING OF DIFFERENT SIZE PIER SHAFTS.
- AS AN ALTERNATE TO USING CASINGS TO INSTALL THE PIERS, THE SLURRY METHOD MAY BE CONSIDERED.

CONCRETE

- ALL CONCRETE WORK SHALL CONFORM TO THE AMERICAN CONCRETE INSTITUTE SPECIFICATION, A.C.I. #301 AND BUILDING CODE REQUIREMENTS, A.C.I. #318, LATEST EDITION.
- ALL DETAILING, FABRICATION AND ERECTION OF REINFORCING BARS, UNLESS OTHERWISE NOTED, MUST FOLLOW THE A.C.I. "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE", A.C.I. #315, LATEST EDITION.
- CONCRETE SHALL HAVE A MINIMUM COMPRESSION STRENGTH OF 4000 PSI AT 28 DAYS. PORTLAND CEMENT SHALL MEET ASTM C150, TYPE II (MODERATE).
- A MAXIMUM OF 25% FLYASH MAY BE USED AS A CEMENT SUBSTITUTE AND SHALL CONFORM TO ASTM C618, CLASS C. THE WATER/CEMENT RATIO SHALL NOT EXCEED 0.5 AND SLUMPS SHALL BE 5 INCHES (±1 INCH). CONCRETE FOR PIERS SHALL BE DESIGNED TO ACHIEVE SPECIFIED STRENGTH WHEN PLACED WITH A SEVEN (7) INCH (±1) SLUMP. AGGREGATE SHALL BE WELL-GRADED, 1" MAXIMUM FOR THE SLAB ON GRADE, 1" MAXIMUM FOR CAST-IN-PLACE BEAMS AND ABOVE GRADE SLABS. COARSE AGGREGATE SHALL MEET ASTM C33, GRADATION #57. A QUALIFIED TESTING LABORATORY SHALL BE RETAINED TO FURNISH MIX DESIGNS FOR ALL CLASSES OF CONCRETE. A SAMPLE OF FOUR CYLINDERS SHALL BE TAKEN NOT LESS THAN ONCE A DAY, NOR LESS THAN ONE FOR EACH 100 YD3 OF CONCRETE. ONE CYLINDER SHALL BE TESTED AT 7 DAYS AND TWO AT 28 DAYS. THE FOURTH CYLINDER MAY BE DISPOSED OF AFTER 45 DAYS IF NOT USED.
- ADMIXTURES CONTAINING WATER SOLUBLE CHLORIDE IONS GREATER THAN 0.06% BY WEIGHT OF CEMENT SHALL NOT BE USED.
- REINFORCING BARS SHALL BE NEW BILLET STEEL CONFORMING TO ASTM A-615, GRADE 60. #3 BARS MAY BE GRADE 40.
- STANDARD PROTECTIVE COVER OF REINFORCING BARS UNLESS OTHERWISE NOTED SHALL BE:
 - WHERE CAST AGAINST DIRT OR FILL 3 IN.
 - EXPOSED TO EARTH OR WEATHER 2 IN.
 - SLABS AND WALLS 1 IN.
 - OTHER 1-1/2 IN.
- ALL ACCESSORIES SHALL BE IN ACCORDANCE WITH THE A.C.I. "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE", A.C.I. #315, LATEST EDITION. ACCESSORIES FOR EXPOSED CONCRETE SOFFITS SHALL HAVE PLASTIC COATED FEET.
- SLAB MAT TO BE SUPPORTED BY REINFORCING BAR CHAIRS SPACED AT 4 FEET ON CENTER EACH WAY (MAX). BEAM CAGES SUPPORTED BY CHAIRS AT 4 FEET ON CENTER.
- ALLOW 2.0 TON OF REINFORCING BARS #4 OR LARGER TO BE USED AS DIRECTED IN FIELD FOR SPECIAL CONDITIONS (LABOR FOR PLACING SAME TO BE INCLUDED). CREDIT OWNER FOR UNUSED MATERIAL & LABOR.
- MAINTAIN A MINIMUM OF ONE AND ONE-HALF (1-1/2) TIMES THE MAXIMUM COARSE AGGREGATE SIZE BETWEEN ALL REINFORCING BARS (EXCEPT AT LAPS).
- BAR SCHEDULED OR DETAILED "CONT" SHALL BE LAPPED 48 BAR DIAMETERS (24 INCHES MINIMUM) UNLESS OTHERWISE NOTED. ON REINFORCED CONCRETE BEAMS, SPLICES OF BEAM BOTTOM BARS SHALL BE LAPPED AT THE COLUMN SUPPORTS, AND SPLICES OF TOP BARS SHALL BE LAPPED AT THE MIDDLE THIRD OF THE SPAN OF THE BEAM.
- WHERE CONCRETE IS TO HAVE UNEXPOSED SURFACES, THE FORMS MAY BE CONSTRUCTED OF #2 LUMBER OR BETTER. WHERE SURFACES ARE EXPOSED, SUCH AS FOR FINISH PAINTING THE FORMS SHALL BE COMMERCIAL STANDARD DOUGLAS FIR, MOISTURE-RESISTANT CONCRETE FORM PLYWOOD, MINIMUM 5-PLY AND AT LEAST 9/16" THICK, OR FORMS LINED WITH COMMERCIAL STANDARD DOUGLAS FIR, CONCRETE FORM EXTERIOR, 3-PLY, NOT LESS THAN 1/4" THICK. WHERE CONCRETE IS EXPOSED, A SMOOTH SURFACE IS REQUIRED, FREE FROM FINS, HONEYCOMB, FORM MARKS OR OTHER DEFECTS.
- CONSTRUCT FORMS SO THAT JOINTS ARE LEAKPROOF. MAINTAIN FORMS SUFFICIENTLY RIGID TO PREVENT DEFORMATION UNDER LOAD.
- COLUMN FORMS AND BEAMS SIDE FORMS MAY BE REMOVED 48 HOURS AFTER CONCRETE PLACEMENT. BEAM AND SLAB BOTTOM FORMS AND SHORING MAY BE REMOVED AFTER CONCRETE COMPRESSIVE STRENGTH REACHES 3000 PSI OR GREATER.
- CONCRETE MAY BE PLACED WITH CHUTES UP TO 25' MAXIMUM. SLUMP SHALL NOT EXCEED 6" AT TRUCK DISCHARGE POINT.
- CONCRETE PLACED BY PUMPING SHALL MEET THE FOLLOWING REQUIREMENTS:
 - COARSE AGGREGATE SHALL BE GRADED FROM A MAXIMUM OF 1" DOWN
 - MAXIMUM ALLOWABLE INCREASE IN CEMENT FACTOR SHALL BE 1/2 SACK PER CUBIC YARD OVER NORMAL MIX DESIGN.
 - MAXIMUM WATER CEMENT RATIO SHALL BE 7-1/2 GALLONS PER SACK OF CEMENT. IF MORE WORKABILITY IS REQUIRED, AN ADMIXTURE MAY BE USED.
 - MAXIMUM WEIGHT RATIO OF FINE AGGREGATES TO COARSE AGGREGATES SHALL NOT EXCEED 2/3.
 - REFER TO A.C.I. #301, LATEST EDITION, SECTION 800, FOR OTHER PUMPING REQUIREMENTS.
 - IN NO CASE SHALL CONCRETE BE PUMPED THROUGH AN ALUMINUM TUBE.
 - SLUMP SHALL NOT EXCEED 6" AT TRUCK DISCHARGE POINT.
- FLOOR FINISH (TOLERANCES)
 - STEEL TROWEL FINISH 1/8" IN 10'
 - FLOAT FINISH 1/4" IN 10'
 - SCRATCH FINISH 1/2" IN 10'
 - IN ALL INSTANCES MINIMUM SLAB THICKNESS SHALL BE PROVIDED. COORDINATE SLAB FINISH REQUIREMENTS WITH PLANS/SPECIFICATIONS. REFERENCE PLANS AND/OR SPECIFICATIONS FOR CONCRETE FINISHES.
- CONCRETE TO BE CURED IN ACCORDANCE WITH ACI RECOMMENDATIONS. PROPOSED METHOD OF CURING TO BE COORDINATED WITH ENGINEER PRIOR TO CONCRETE PLACEMENT.
- SHOP DRAWINGS SHALL BE PREPARED FOR ALL REINFORCING STEEL AND SUBMITTED FOR REVIEW BY ENGINEER. SUBMITTALS SHALL BE TRANSMITTED AS A SINGLE ELECTRONIC FILE (PDF FORMAT). ENGINEERING DRAWINGS SHALL NOT BE REPRODUCED AND USED AS SHOP DRAWINGS.
- THE CONTRACTOR SHALL REVIEW AND ANNOTATE SHOP DRAWINGS BEFORE SUBMITTING THEM TO THE ARCHITECT/ENGINEER FOR REVIEW. THE CONTRACTOR SHALL ALLOW ARCHITECT/ENGINEER 10 WORKING DAYS FOR REVIEW OF SHOP DRAWINGS.
- ENGINEER TO BE NOTIFIED 24 HOURS PRIOR TO PLACEMENT OF FOUNDATION AND OF STRUCTURAL CONCRETE TO SCHEDULE REQUIRED INSPECTIONS.

STRUCTURAL STEEL

- ALL STRUCTURAL STEEL SHALL BE DESIGNED, FABRICATED AND ERECTED IN ACCORDANCE WITH THE LATEST SPECIFICATIONS OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION.
 - ALL MEMBERS SHALL BE FULL LENGTH WITHOUT SPLICES UNLESS INDICATED ON PLANS OR APPROVED BY THE ENGINEER IN WRITING.
 - ALL SHOP AND FIELD WELDS SHALL BE MADE BY WELDERS WHO HAVE BEEN QUALIFIED AND CERTIFIED TO MAKE THE REQUIRED WELDS IN ACCORDANCE WITH THE LATEST AMERICAN WELDING SOCIETY SPECIFICATIONS (A.W.S. D-1.1).
 - WELDS SHALL BE MADE WITH COVERED MILD STEEL ELECTRODES COMPLYING WITH AWS D1-72 CODE AND SERIES E 70XX.
 - ERECTION CONNECTORS SHALL BE PROVIDED IN ORDER TO PROPERLY ALIGN AND BE TRUE AND PLUMB WHEN WELDS ARE MADE.
 - ALL COMPLETE PENETRATION WELDS, BOTH SHOP AND FIELD, SHALL BE TESTED BY A QUALIFIED TESTING LABORATORY UTILIZING ULTRA SONIC TESTING PROCEDURES IN ACCORDANCE WITH AWS D1.1 ANY WELDS FOUND DEFECTIVE SHALL BE REMOVED AND REPLACED AT NO ADDITIONAL COST TO THE OWNER. ALL X-RAYED WELDS SHALL BE GROUND SMOOTH.
 - THE FABRICATOR SHALL SUPPLY BACK-UP PLATES AND EXTENSION TABS FOR ALL COMPLETE PENETRATION WELDS.
 - ALL STEEL MEMBERS, UNLESS NOTED OTHERWISE, SHALL STAINLESS STEEL.
 - AFTER ERECTION, PRIME WELDS, ABRASIONS AND SURFACES NOT PRIMED. USE PRIMER CONSISTENT WITH STEEL FINISH.
 - FIELD WELDS SHALL BE VISUALLY INSPECTED BY A QUALIFIED INDEPENDENT INSPECTOR. THE INSPECTOR SHALL PROVIDE A WRITTEN REPORT TO THE STRUCTURAL ENGINEER.
 - A SINGLE ELECTRONIC FILE (PDF FORMAT) SHOP DRAWINGS SHALL BE PREPARED FOR ALL STRUCTURAL STEEL COMPONENTS AND SUBMITTED FOR REVIEW BY ENGINEER. ENGINEERING DRAWINGS SHALL NOT BE REPRODUCED AND USED AS SHOP DRAWINGS.
 - THE CONTRACTOR SHALL REVIEW AND ANNOTATE SHOP DRAWINGS BEFORE SUBMITTING THEM TO THE ARCHITECT/ENGINEER FOR REVIEW. THE CONTRACTOR SHALL ALLOW ARCHITECT/ENGINEER 10 WORKING DAYS FOR REVIEW OF SHOP DRAWINGS.
 - THE STRUCTURAL ENGINEER SHALL BE NOTIFIED FOR A FRAMING OBSERVATIONS IMMEDIATELY AFTER ROOF DECK IS INSTALLED AND BEFORE INSTALLATION OF THE CEILING.
- ### FASTENERS
- CAST-IN-PLACE AND POST-INSTALLED ANCHORS SHALL BE PER ANCHOR DIAMETER AND EMBEDMENT DEPTH NOTED ON THE DRAWINGS. POST-INSTALLED ANCHORS SHALL BE UTILIZED ONLY WHERE SPECIFIED. ALL ANCHORS SHALL BE HOT-DIPPED GALVANIZED PER ASTM A153
 - ALL ANCHORS NOTED BELOW SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. CONTRACTOR SHALL CONTACT MANUFACTURER'S REPRESENTATIVE FOR THE INITIAL TRAINING AND INSTALLATION OF ANCHORS, AND FOR PRODUCT RELATED QUESTIONS AND AVAILABILITY.
 - SPECIAL INSPECTIONS SHALL BE PROVIDED FOR ALL MECHANICAL AND ADHESIVE ANCHORS PER THE APPLICABLE EVALUATION REPORT NOTED BELOW. SPECIAL INSPECTIONS SHALL BE PERFORMED BY INDEPENDENT TESTING LABORATORY PERFORMING QA/QC SERVICES ON PROJECT.
 - EXPANSION BOLTS (EB) IN CONCRETE/CMU SHALL BE TESTED AND QUALIFIED FOR USE IN ACCORDANCE WITH ACI 355.2 AND ICC-ES AC193. ACCEPTABLE PRODUCTS:
 - KWK BOLT III (ICC-ES ESR-2302) BY HILTI (CONCRETE)
 - KWK BOLT III (ICC-ES-ESR-1385) BY HILTI (MASONRY)
 - STRONG-BOLT 2 (ICC-ES ESR-3037) BY SIMPSON STRONG-TIE (CONCRETE)
 - WEDGE-ALL ANCHOR (ICC-ES ESR-1396) BY SIMPSON STRONG-TIE (MASONRY)
 - HEAVY DUTY SLEEVE ANCHORS IN CONCRETE/CMU SHALL BE TESTED AND QUALIFIED OR USE IN ACCORDANCE WITH ACI 355.2 AND ICC-ES AC193. EXPANSION BOLTS (EB) SHALL NOT BE SUBSTITUTED FOR SLEEVE ANCHORS WITHOUT PRIOR WRITTEN APPROVAL BY STRUCTURAL ENGINEER. ACCEPTABLE PRODUCTS:
 - HSL-3 (ICC-ES ESR-1545) BY HILTI (CONCRETE)
 - KWK HUS-EZ (ICC-ES ESR-3027) BY HILTI (CONCRETE)
 - KWK HUS-EZ (ICC-ES ESR-3056) BY HILTI (MASONRY)
 - TITEN HD (ICC-ES ESR-2713) BY SIMPSON STRONG-TIE (CONCRETE)
 - TAPCON ANCHORS (ICC-ES ESR-1671) (MASONRY)
 - POWERS WEDGE BOLT (ICC-ES ESR-1678) (MASONRY)
 - UNDERCUT ANCHORS IN CONCRETE SHALL BE TESTED AND QUALIFIED FOR USE IN ACCORDANCE WITH ACI 355.2 AND ICC-ES AC193. ACCEPTABLE PRODUCTS:
 - HDA (ICC-ES ESR-1546) BY HILTI (CONCRETE)
 - TORQ-CUT (ICC-ES ESR-2705) BY SIMPSON STRONG-TIE (CONCRETE)
 - POWDER ACTUATED FASTENERS IN CONCRETE/CMU SHALL BE TESTED AND QUALIFIED FOR USE IN ACCORDANCE WITH ACI 355.2 AND ICC-ES AC193. ACCEPTABLE PRODUCTS:
 - X-U (ICC-ES ESR-2269) BY HILTI (CONCRETE/MASONRY)
 - POWDER ACTUATED FASTENERS (ICC-ES ESR-2138) BY SIMPSON STRONG TIE (CONCRETE/MASONRY)
 - ADHESIVE ANCHORS IN CONCRETE/CMU SHALL BE TESTED AND QUALIFIED FOR USE IN ACCORDANCE WITH ACI 355.4 AND ICC-ES AC308. ACCEPTABLE PRODUCTS:
 - HIT-RE 500-SD (ICC-ES ESR-2322) BY HILTI (CONCRETE)
 - HIT-HY 150 MAX (ICC-ES ESR-1967) BY HILTI (MASONRY)
 - SET-XP (ICC-ES ESR-2508) BY SIMPSON STRONG-TIE (CONCRETE)
 - SET (ICC-ES ESR-1772) BY SIMPSON STRONG-TIE (MASONRY)

FASTENERS CONTINUED:

- J-BOLTS SHALL BE FABRICATED FROM ASTM A36/A307 ROD. BOLTS, NUTS AND WASHERS SHALL BE GALVANIZED. EXPANSION BOLTS/SLEEVE ANCHORS SHALL NOT BE SUBSTITUTED FOR J-BOLTS WITHOUT PRIOR WRITTEN APPROVAL BY STRUCTURAL ENGINEER.
- HEADED ANCHOR RODS SHALL BE FABRICATED FROM ASTM F1554 MATERIAL, FY=36 KSI
- SUBSTITUTION REQUESTS FOR PRODUCTS LISTED ABOVE SHALL BE SUBMITTED BY THE CONTRACTOR TO THE STRUCTURAL ENGINEER ALONG WITH CALCULATIONS THAT ARE PREPARED & SEALED BY A REGISTERED PROFESSIONAL ENGINEER. THE CALCULATIONS SHALL DEMONSTRATE THAT THE SUBSTITUTED PRODUCT IS CAPABLE OF ACHIEVING THE PERTINENT EQUIVALENT PERFORMANCE VALUES OF THE SPECIFIED PRODUCT USING THE APPROPRIATE DESIGN PROCEDURE AND/OR STANDARDS. SUBSTITUTED ANCHORS SHALL HAVE A VALID CURRENT EVALUATION (ICC-ES OR IAPMO-ES) REPORT.

ROUGH CARPENTRY SPECIFICATIONS AND NOTES

- ROUGH CARPENTRY SHALL COMPLY WITH THE PROVISIONS OF THE 2009 EDITION OF THE INTERNATIONAL BUILDING CODE.
- ALL LUMBER USED FOR LOAD SUPPORTING PURPOSES SHALL BE IDENTIFIED BY THE GRADE MARK OF AN APPROVED LUMBER GRADING OR INSPECTION BUREAU OR AGENCY.
- ALL LUMBER SHALL BE PRESERVATIVELY TREATED AND SHALL BEAR AN APPROVED AWPB QUALITY MARK. THE QUALITY MARK SHALL BE ON A STAMP OR LABEL AFFIXED TO THE PRESERVATIVE-TREATED WOOD, AND SHALL INCLUDE THE FOLLOWING INFORMATION:
 - IDENTIFICATION OF TREATING MANUFACTURER.
 - TYPE OF PRESERVATIVE USED.
 - MINIMUM PERSERVATIVE RETENTION (pcf).
 - END USE FOR WHICH THE PRODUCT IS TREATED.
 - AWPA STANDARD TO WHICH THE PRODUCT WAS TREATED.
 - IDENTITY OF THE ACCREDITED INSPECTION AGENCY.

FRAMING LUMBER	LUMBER SPECIES	MINIMUM GRADE
JOISTS, BEAMS	SOUTHERN PINE	#2
PLANKS	2x6 WOOD COMPOSITE DECKING	SEE MFR REQUIREMENTS
FASTENERS		
		1. NAILS AND BOLTS SHALL BE STAINLESS STEEL.

- VERTICAL FRAMING MEMBERS SHALL BE CONTINUOUS LENGTH WITHOUT SPLICING. SPLICES IN HORIZONTAL MEMBERS SHALL OCCUR ONLY OVER BEARING POINTS. LAP MEMBERS WHICH BEAR ON PLATES TO PROVIDE FULL BEARING FOR EACH MEMBER.
- STRUCTURAL MEMBERS WHOSE STRENGTH IS IMPAIRED BY IMPROPER CUTTING, DRILLING, OR EXCESSIVE DEFECTS SHALL BE REPLACED OR REINFORCED IN A MANNER ACCEPTABLE TO THE ENGINEER.
- PROVIDE SOLID BLOCKING BETWEEN FLOOR JOISTS AT BEARING LOCATIONS AND AT MID OPENING OF SPANS GREATER THAN 8'-0" OR AS NOTED. BLOCKING TO MATCH SIZE OF FRAMING MEMBER.
- ALL METAL HANGERS, ETC., SHALL BE STAINLESS STEEL.

WOOD COMPOSITE DECKING MATERIAL FOR PLANKS

- NOMINAL SIZE OF WOOD COMPOSITE DECKING MATERIAL FOR PLANKS SHALL BE 2"x6" BOARD.
- WOOD COMPOSITE DECKING BOARD MANUFACTURED BY TREX COMPANY, INC., OR EQUIVALENT COMPOSITE DECKING BOARDS MAY BE USED SUBJECT TO REVIEW AND EVALUATION OF THE ENGINEER.
- WOOD COMPOSITE DECKING SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS, PROCEDURES AND REQUIREMENTS.
- ALL FASTENERS SHALL BE MADE OF STAINLESS STEEL.
- DECKING SHALL BE DESIGNED AND INSTALLED TO LIMIT BENDING DEFLECTION UNDER TOTAL LOAD TO LESS THAN OR EQUAL TO L/360. DESIGN LIVE LOAD IS 100 PSF.
- THE CONTRATOR AND MANUFACTURER SHALL SUBMIT TO THE ENGINEER THE FOLLOWING FOR REVIEW AND EVALUATION:
 - PRODUCT DATA INCLUDING SPECIFICATIONS, PRODUCT HANDLING, AND INTALLATION INSTRUCTION.



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SEAL

PROJECT

**WALKOVER
AT WHITECAP CIRCLE**

**SOUTH PADRE ISLAND,
TEXAS**

CLIENT



**CITY OF
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PROJECT NO.	1065-16
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GENERAL STRUCTURAL NOTES

SHEET NO.

S2.0

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GENERAL STRUCTURAL NOTES

SPECIAL INSPECTIONS

SPECIAL INSPECTIONS INDEPENDENT OF THE CONTRACTOR, THE ARCHITECT, OR THE ENGINEER, SHALL BE PROVIDED BY A SPECIAL INSPECTOR EMPLOYED BY THE OWNER ACCORDING TO CHAPTER 17 OF THE IBC 2018. THE SPECIAL INSPECTOR SHALL OBSERVE THE WORK FOR CONFORMANCE WITH THE CONTRACT DOCUMENTS. THE SPECIAL INSPECTOR SHALL SEND WRITTEN REPORTS TO THE OWNER, THE ARCHITECT, THE ENGINEER AND THE CONTRACTOR. THE REPORTS SHALL INDICATE IF WORK INSPECTED WAS DONE IN CONFORMANCE WITH THE CONTRACT DOCUMENTS. ALL DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CONTRACTOR FOR CORRECTION. IF THE DISCREPANCIES ARE NOT CORRECTED, THE SPECIAL INSPECTOR SHALL BRING THE DISCREPANCIES TO THE ATTENTION OF THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE PRIOR TO THE COMPLETION OF THAT PHASE OF THE WORK. THE SPECIAL INSPECTOR SHALL SUBMIT A FINAL SIGNED REPORT STATING THAT THE SPECIAL INSPECTION WORK WAS, TO THE BEST OF THEIR KNOWLEDGE, IN OR NOT IN CONFORMANCE WITH THE DRAWINGS, SPECIFICATIONS AND APPLICABLE WORKMANSHIP PROVISIONS OF THE IBC 2018.

CONTINUOUS OR PERIODIC SPECIAL INSPECTION IS REQUIRED FOR THE FOLLOWING WORK:

REQUIRED VERIFICATION AND INSPECTION OF SOILS

VERIFICATION AND INSPECTION TASK	CONTINUOUS DURING TASK LISTED	PERIODICALLY DURING TASK LISTED
VERIFY EXCAVATIONS ARE EXTENDED TO PROPER DEPTH AND HAVE REACHED PROPER MATERIAL		X
PERFORM CLASSIFICATION AND TESTING OF SELECT FILL MATERIALS		X
VERIFY USE OF PROPER MATERIALS, DENSITIES AND LIFT THICKNESSES DURING PLACEMENT AND COMPACTION OF SELECT FILL	X	
PRIOR TO PLACEMENT OF SELECT FILL, OBSERVE SUBGRADE AND VERIFY THAT SITE HAS BEEN PREPARED PROPERLY		X

REQUIRED VERIFICATION AND INSPECTION OF PIER FOUNDATIONS

VERIFICATION AND INSPECTION TASK	CONTINUOUS DURING TASK LISTED	PERIODICALLY DURING TASK LISTED
OBSERVE DRILLING OPERATIONS AND MAINTAIN COMPLETE AND ACCURATE RECORDS OF EACH PIER	X	
VERIFY PLACEMENT LOCATIONS AND PLUMBNESS, CONFIRM PIER DIAMETERS, BELL DIAMETERS (IF APPLICABLE), LENGTHS, EMBEDMENT INTO BEDROCK (IF APPLICABLE) AND ADEQUATE END BEARING STRATA CAPACITY	X	
FOR CONCRETE PIERS, PERFORM ADDITIONAL INSPECTIONS AS REQUIRED FOR CONCRETE CONSTRUCTION		

REQUIRED VERIFICATION AND INSPECTION OF CONCRETE CONSTRUCTION

VERIFICATION AND INSPECTION	CONTINUOUS	PERIODIC
INSPECTION OF REINFORCING STEEL, INCLUDING PRESTRESSING TENDONS, AND PLACEMENT		X
INSPECT BOLTS TO BE INSTALLED IN CONCRETE PRIOR TO AND DURING PLACEMENT OF CONCRETE	X	
VERIFY USE OF REQUIRED DESIGN MIX		X
PERFORM SLUMP AND AIR CONTENT TEST, AND DETERMINE THE TEMPERATURE OF THE CONCRETE AT THE TIME OF SAMPLING FRESH CONCRETE FOR MAKING SPECIMENS FOR STRENGTH TESTS PER ACI 318	X	
INSPECTION OF CONCRETE AND SHOTCRETE PLACEMENT FOR PROPER APPLICATION TECHNIQUES	X	
INSPECTION FOR MAINTENANCE OF SPECIFIED CURING TEMPERATURE AND TECHNIQUES		X
INSPECTION OF PRESTRESSED CONCRETE APPLICATION OF PRESTRESSING FORCES	X	
VERIFICATION OF IN-SITU CONCRETE STRENGTH, PRIOR TO STRESSING OF TENDONS IN POST-TENSIONED CONCRETE AND PRIOR TO REMOVAL OF SHORES AND FORMS FROM BEAMS AND STRUCTURAL SLABS		X
ERECTION OF PRECAST CONCRETE MEMBERS		X
INSPECT FORMWORK FOR SHAPE, LOCATION AND DIMENSIONS OF THE CONCRETE MEMBER BEING FORMED		X

REQUIRED VERIFICATION AND INSPECTION OF ANCHORS

VERIFICATION AND INSPECTION	CONTINUOUS	PERIODIC
CAST-IN-PLACE, POST-INSTALLED, MECHANICAL AND EPOXY SET ANCHORS:		
AS APPLICABLE, THE INSPECTION PROGRAM SHALL VERIFY THE ANCHOR TYPE, EMBEDMENT, TIGHTENING TORQUE, DIMENSIONS, HOLE DEPTH & DIAMETER AND CLEANOUT, EPOXY MIXING AND PLACEMENT PROCEDURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND THE CURRENT ICC-ES EVALUATION REPORT		FREQUENCY OF INSPECTION SHALL BE IN ACCORDANCE WITH THE CURRENT ICC-ES EVALUATION REPORT, OR PER THE SPECIAL INSPECTION REQUIREMENTS OF THE ANCHOR SUBSTRATE, WHICHEVER IS MORE STRINGENT

REQUIRED VERIFICATION AND INSPECTION OF STEEL CONSTRUCTION

VERIFICATION AND INSPECTION	CONTINUOUS	PERIODIC
MATERIAL VERIFICATION OF HIGH-STRENGTH BOLTS, NUTS AND WASHERS		X
INSPECTION OF HIGH STRENGTH BOLTING		X
INSPECTION OF WELDING:		
COMPLETE AND PARTIAL PENETRATION GROOVE WELDS	X	
MULTIPASS FILLET WELDS	X	
SINGLE-PASS FILLET WELDS		X
FLOOR AND ROOF DECK WELDS		X
INSPECTION OF STEEL FRAME JOINT DETAILS FOR COMPLIANCE WITH APPROVED CONSTRUCTION DOCUMENTS		X



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SEAL

PROJECT

**WALKOVER
AT WHITECAP CIRCLE**

**SOUTH PADRE ISLAND,
TEXAS**

CLIENT

**CITY OF
SOUTH PADRE ISLAND**



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F: 956-761-3898



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**GENERAL
STRUCTURAL
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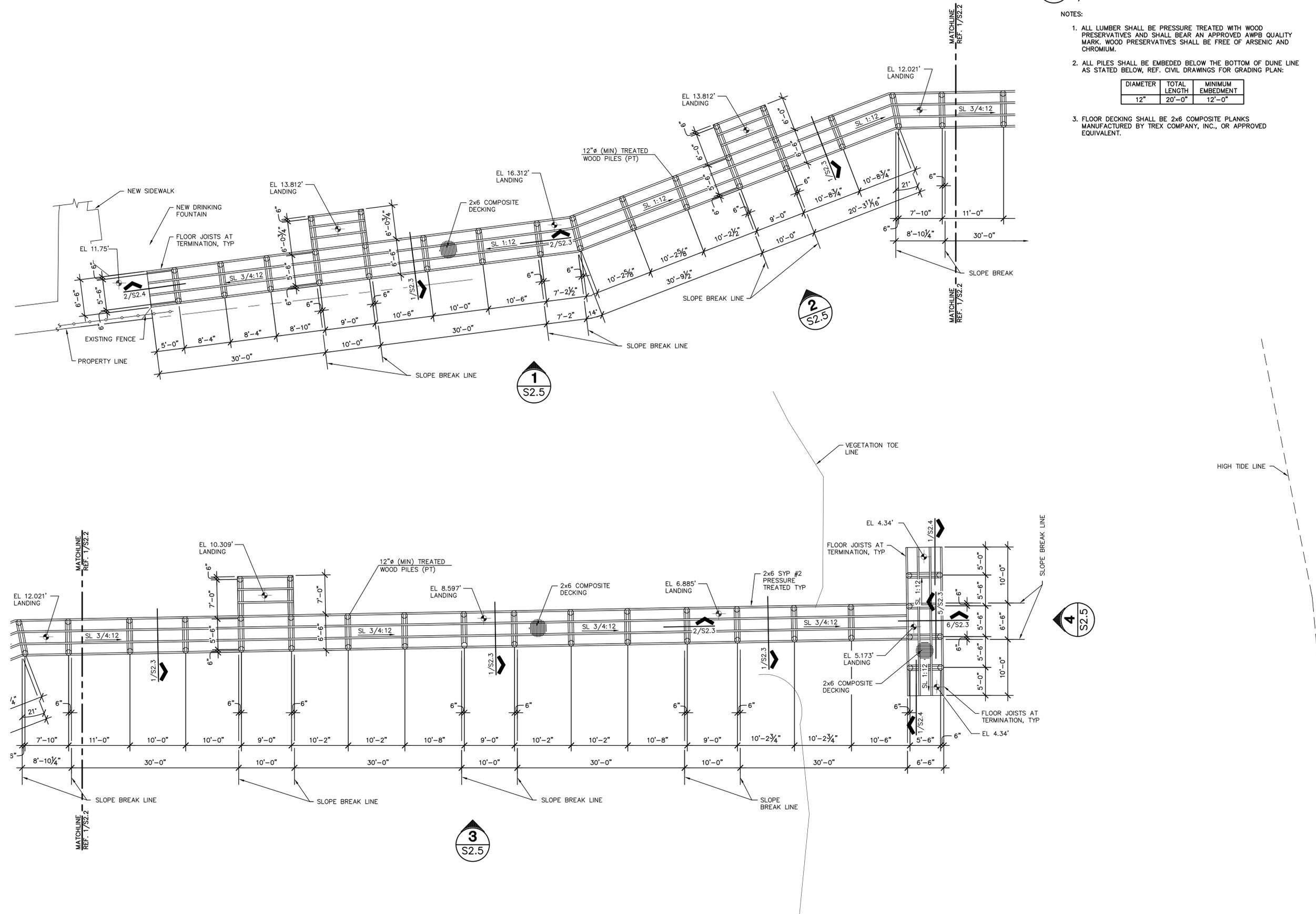
SHEET TITLE
PEDESTRIAN WALKOVER FRAMING PLAN

SHEET NO.
S2.2



1 WALKOVER FRAMING PLAN
 1/8" = 1'-0"

- NOTES:
- ALL LUMBER SHALL BE PRESSURE TREATED WITH WOOD PRESERVATIVES AND SHALL BEAR AN APPROVED AWPB QUALITY MARK. WOOD PRESERVATIVES SHALL BE FREE OF ARSENIC AND CHROMIUM.
 - ALL PILES SHALL BE EMBEDDED BELOW THE BOTTOM OF DUNE LINE AS STATED BELOW, REF. CIVIL DRAWINGS FOR GRADING PLAN:
- | DIAMETER | TOTAL LENGTH | MINIMUM EMBEDMENT |
|----------|--------------|-------------------|
| 12" | 20'-0" | 12'-0" |
- FLOOR DECKING SHALL BE 2x6 COMPOSITE PLANKS MANUFACTURED BY TREX COMPANY, INC., OR APPROVED EQUIVALENT.



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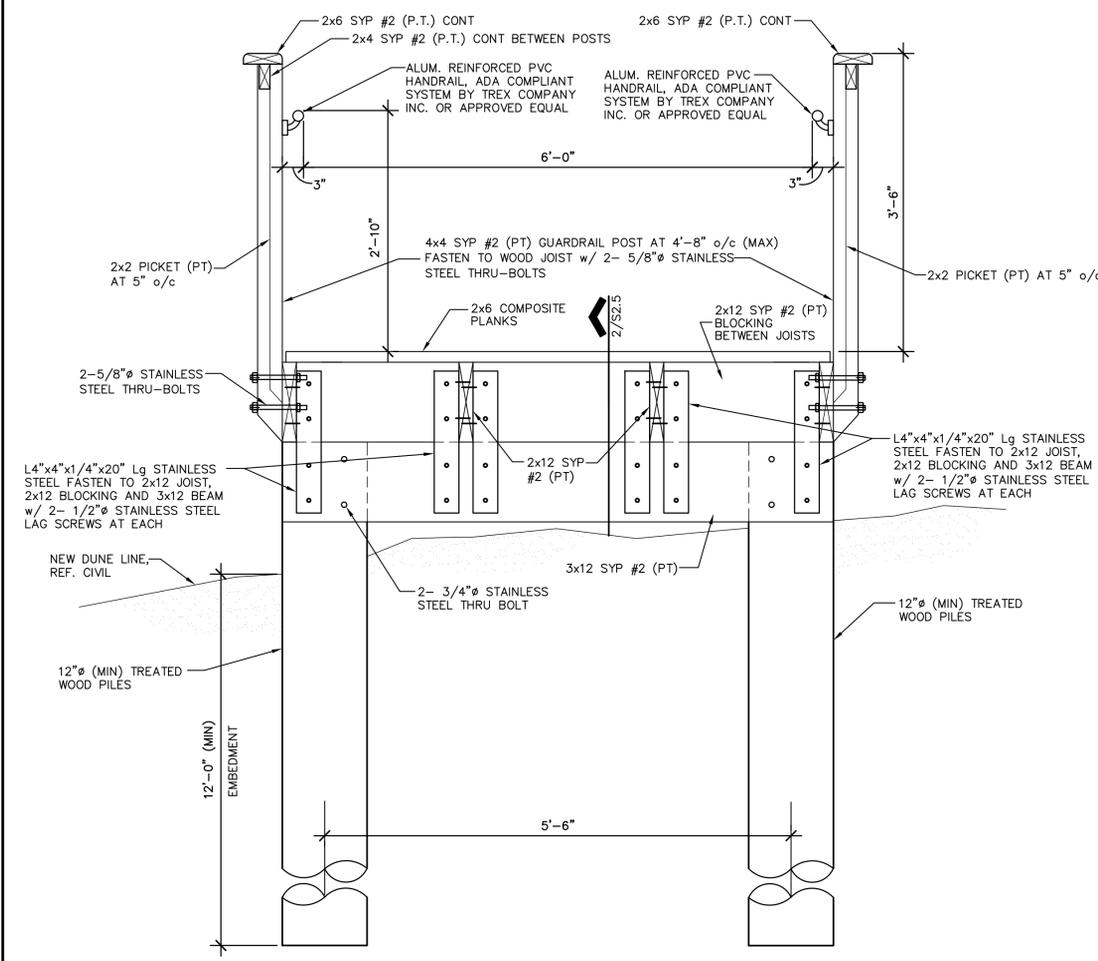
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**FRAMING
 DETAILS**

SHEET NO.

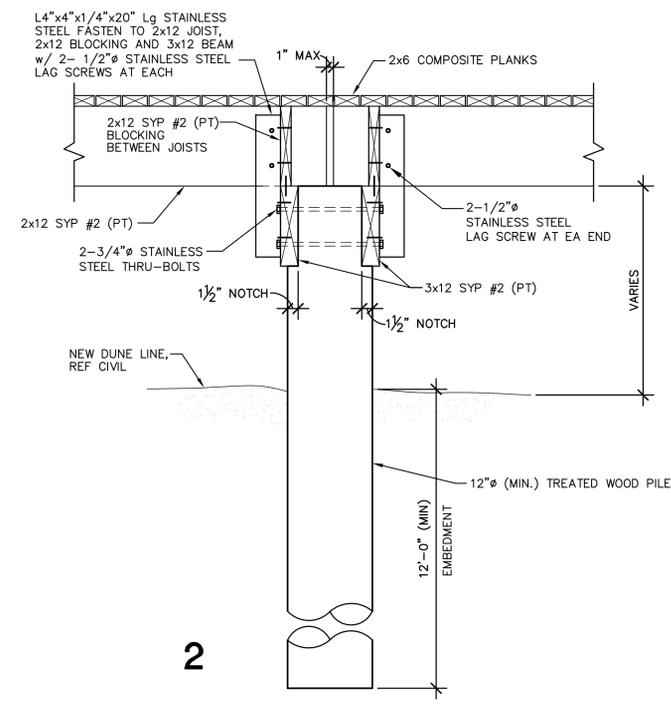
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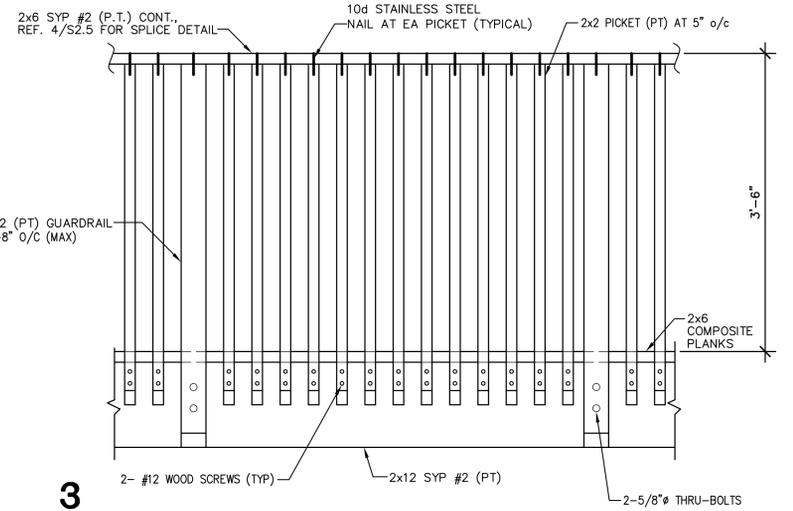


1 TYPICAL BOARDWALK SECTION

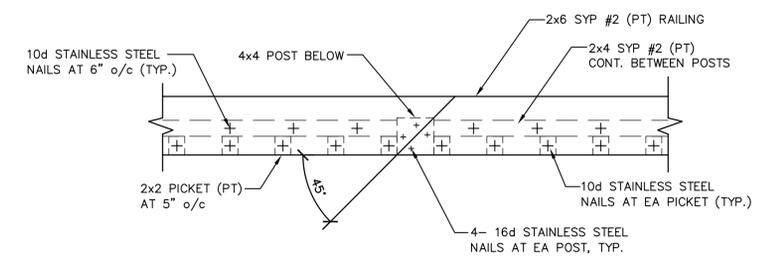
NOTES:
 1. SECURE DECK PLANKS PER MANUFACTURER'S RECOMMENDATIONS.



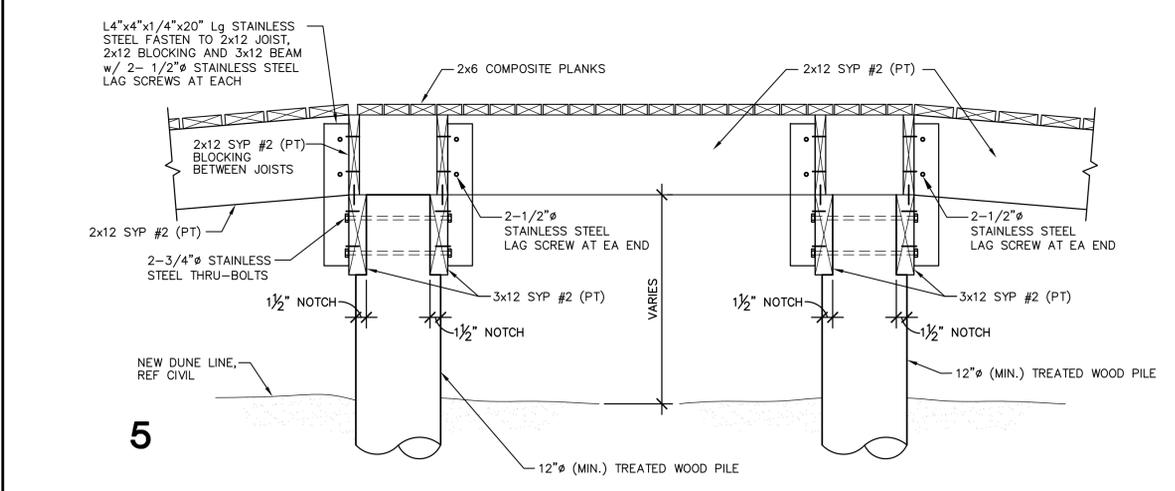
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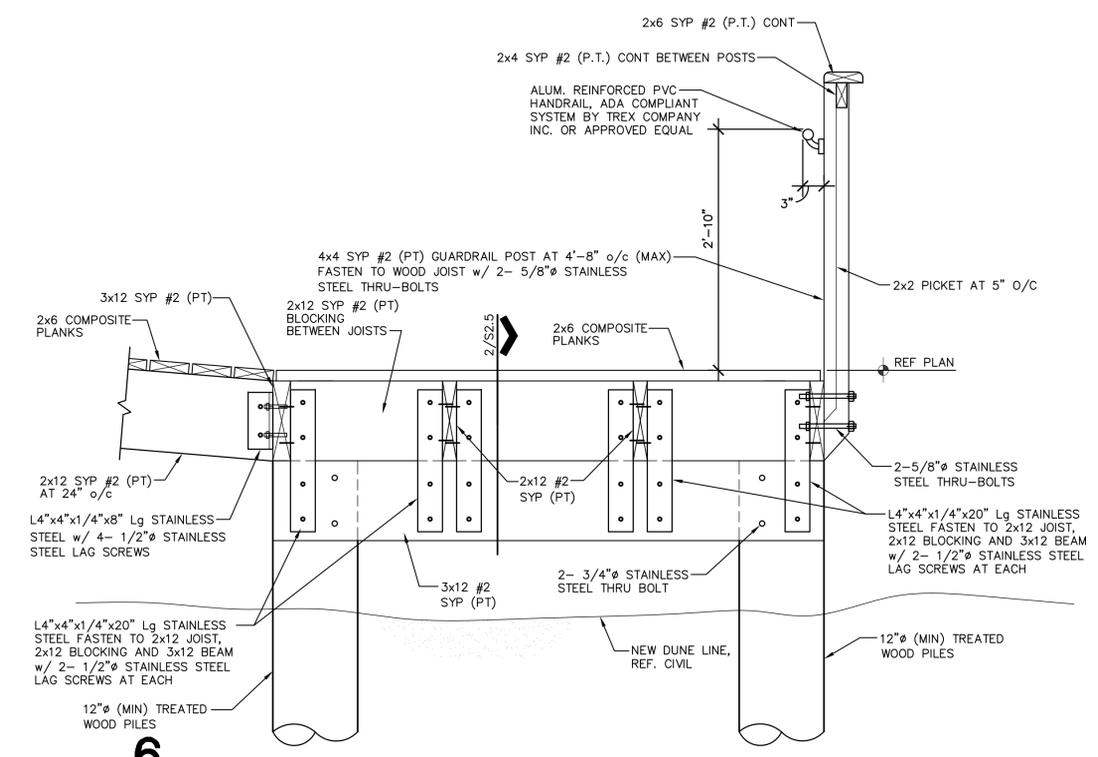
3



4 2x6 RAIL SPLICE DETAIL
 1.1/2" = 1'-0"



5



6



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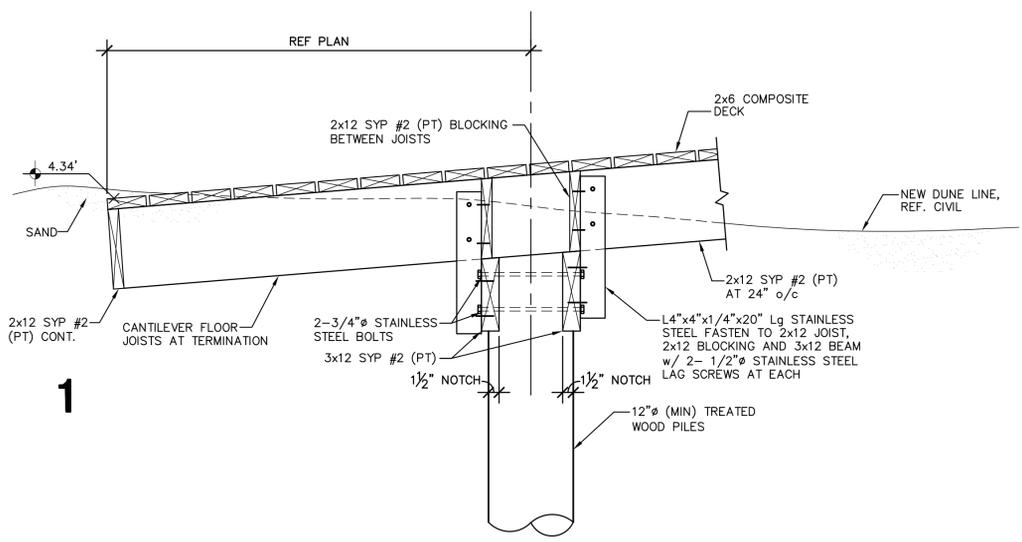
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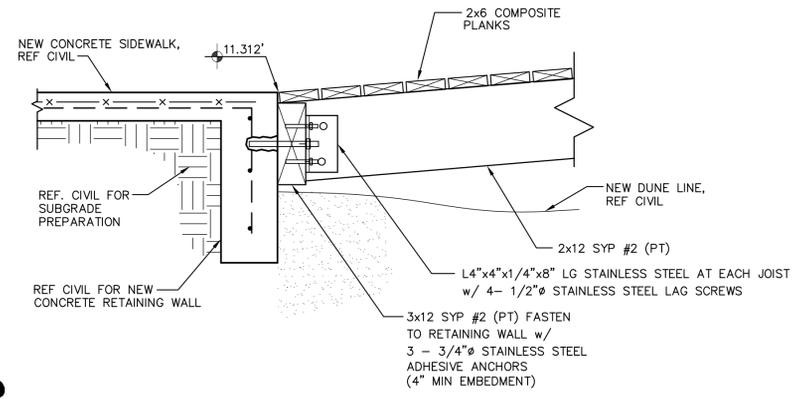
**FRAMING
 DETAILS**

SHEET NO.

S2.4



1



2

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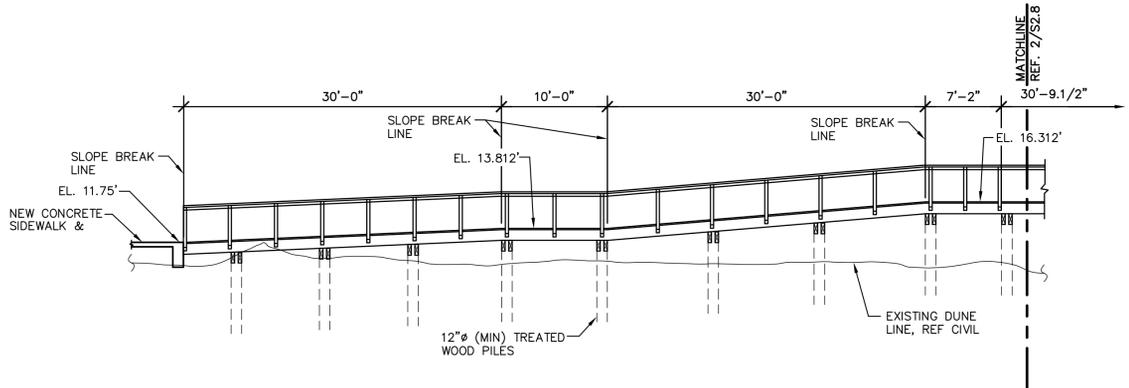
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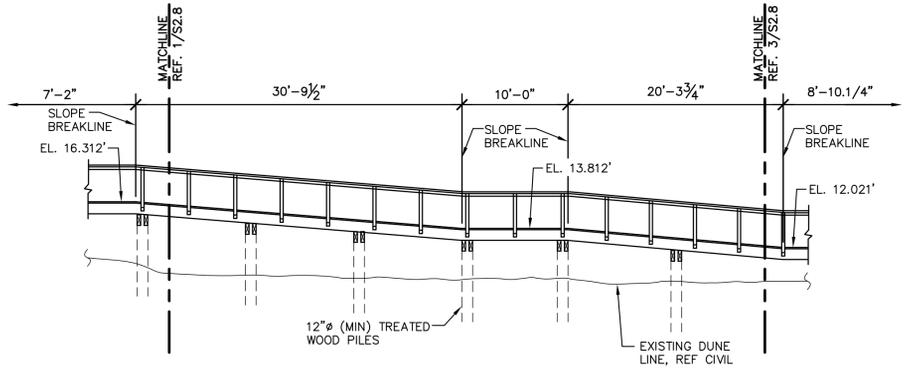
SHEET TITLE
**WALKOVER
 ELEVATIONS**

SHEET NO.

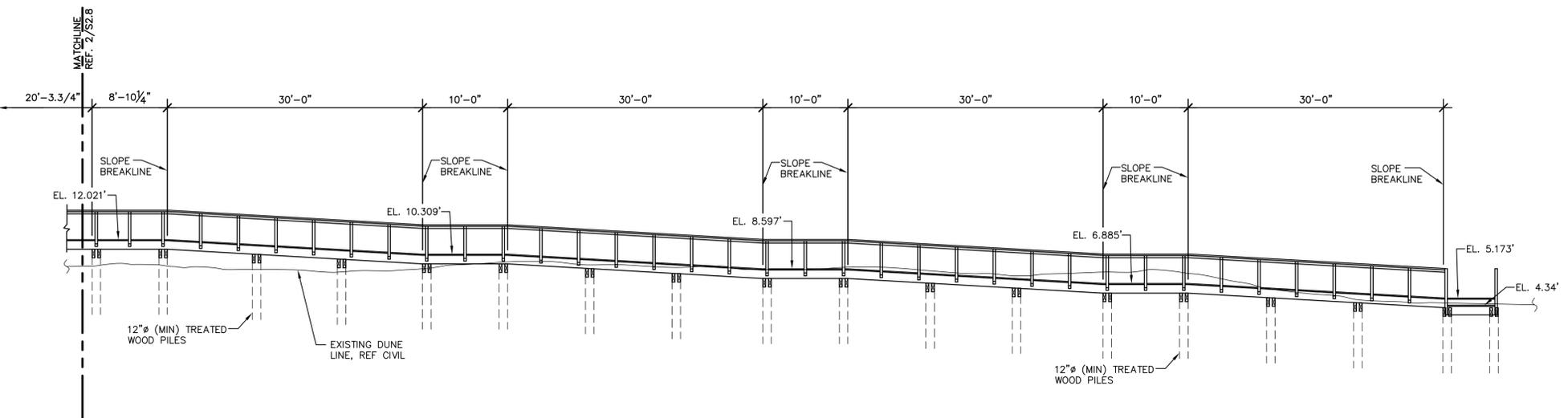
S2.5



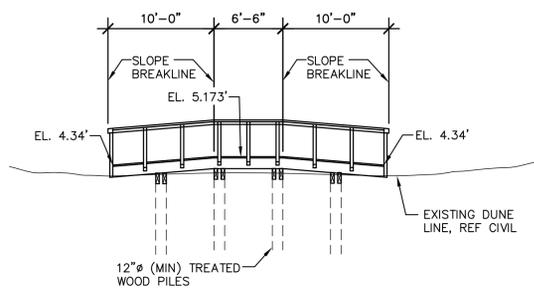
1 WALKOVER ELEVATION
 1/8" = 1'-0"



2 WALKOVER ELEVATION
 1/8" = 1'-0"



3 WALKOVER ELEVATION
 1/8" = 1'-0"



4 WALKOVER ELEVATION
 1/8" = 1'-0"

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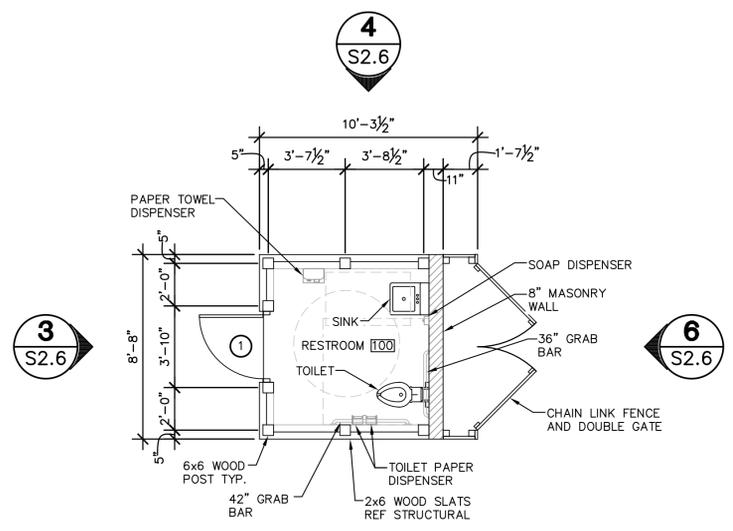
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SHEET TITLE

**RESTROOM
 FLOOR PLAN,
 ROOF PLAN, AND
 ELEVATIONS**

SHEET NO.

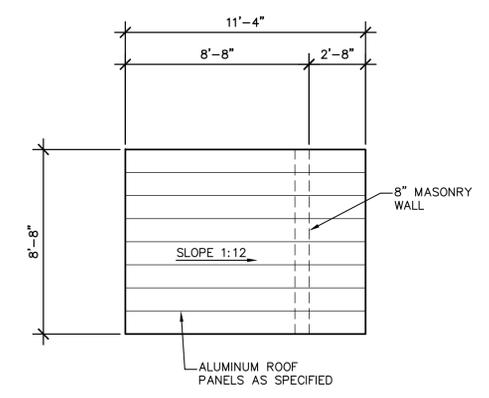
S2.6



1 RESTROOM FLOOR PLAN
 1/4" = 1'-0" 2 LOCATIONS

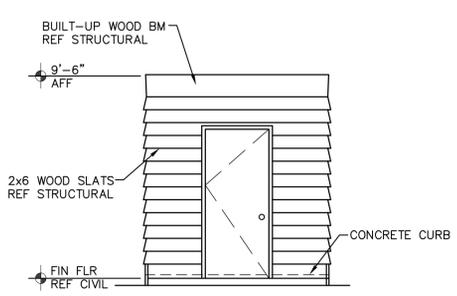
PLAN NORTH

NOTES:
 1. REFERENCE SITE IMPROVEMENT PLAN AND CIVIL FOR LOCATION AND ORIENTATION OF RESTROOM



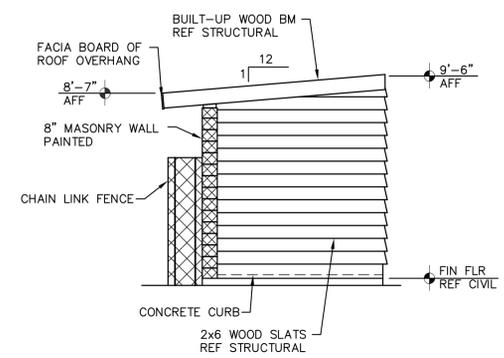
2 RESTROOM ROOF PLAN
 1/4" = 1'-0" 2 LOCATIONS

PLAN NORTH



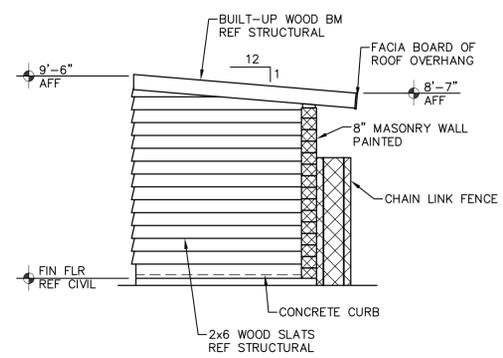
3 WEST ELEVATION
 1/4" = 1'-0"

PLAN NORTH



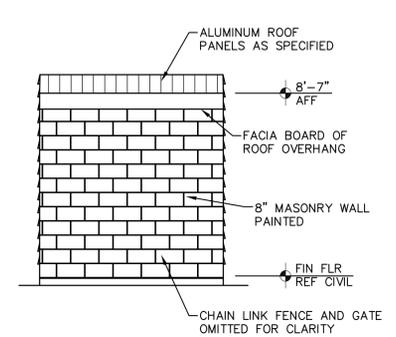
4 NORTH ELEVATION
 1/4" = 1'-0"

PLAN NORTH



5 SOUTH ELEVATION
 1/4" = 1'-0"

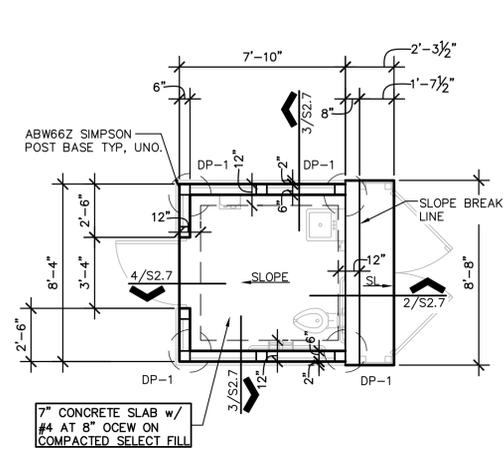
PLAN NORTH



6 EAST ELEVATION
 1/4" = 1'-0"

PLAN NORTH

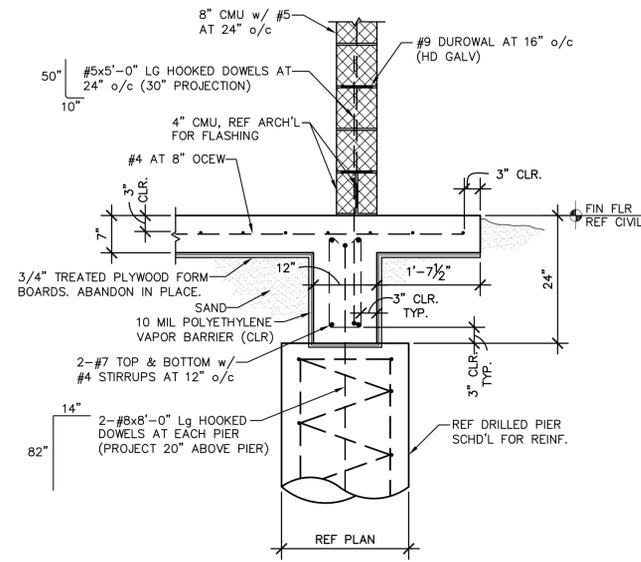
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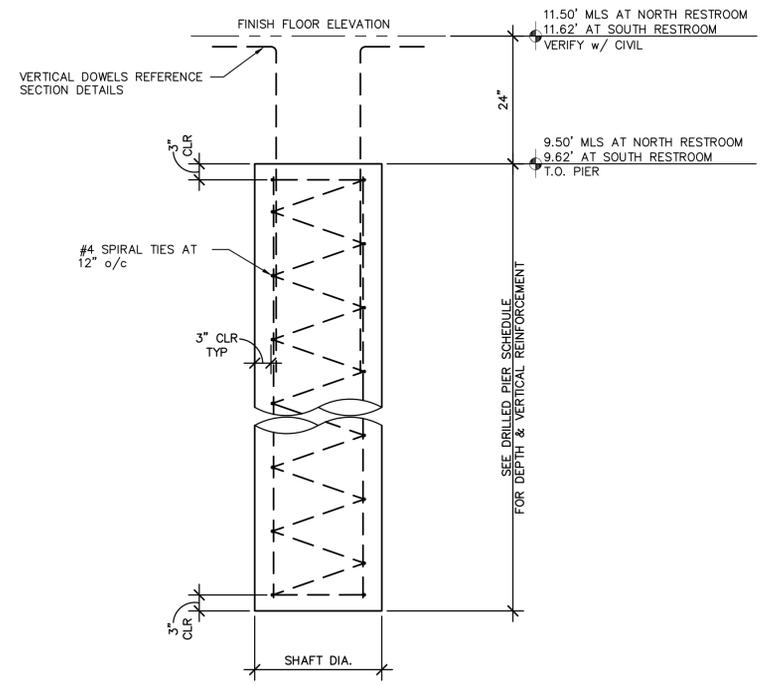
1 FOUNDATION PLAN
1/4" = 1'-0" 2 LOCATIONS PLAN NORTH

- NOTES:
1. ALL SLABS & BEAMS ARE SUSPENDED. REFER TO SECTIONAL DETAILS FOR REINFORCEMENT.
 2. SPLICE JOINTS FOR TOP BARS FOR REINFORCED CONCRETE SLABS AND BEAMS SHALL BE LOCATED AT MIDDLE THIRD OF THE SPAN OF SLABS OR BEAMS.
 3. SPLICE JOINTS FOR BOTTOM BARS FOR REINFORCED CONCRETE SLAB AND BEAMS SHALL BE LOCATED AT SUPPORTS.
 4. CONSTRUCTION JOINTS OF CONCRETE BEAMS/SLABS SHALL BE LOCATED WITHIN THE MIDDLE THIRD OF THE SPAN. CONTRACTOR TO SUBMIT PROPOSED LOCATION OF CONSTRUCTION JOINTS TO ARCHITECT/ENGINEER FOR APPROVAL.
 5. LAPPING OF SPLICE BARS AT SPLICE JOINTS SHALL BE 62 BAR DIAMETER OR A MINIMUM OF 36" LONG.
 6. ALL CONDUIT GREATER THAN 1.1/2" IN DIAMETER (O.D.) SHALL BE RECESSED TO PROVIDE 1.1/2" CLEAR DISTANCE BETWEEN SLAB REBAR & CONDUIT.
 7. MAINTAIN 2" MINIMUM CLEAR DISTANCE BETWEEN ALL CONDUIT IN SLAB.
 8. A SINGLE CONDUIT (MAX 3" O.D.) MAY BE PLACED WITHIN THE BEAM CAGE. ALL CONDUIT IN BEAM CAGES TO BE TIED TO STIRRUPS MINIMUM OF 4" FROM HORIZONTAL BARS.
 9. □ INDICATES ABW66Z SIMPSON STAND-OFF POST BASE.

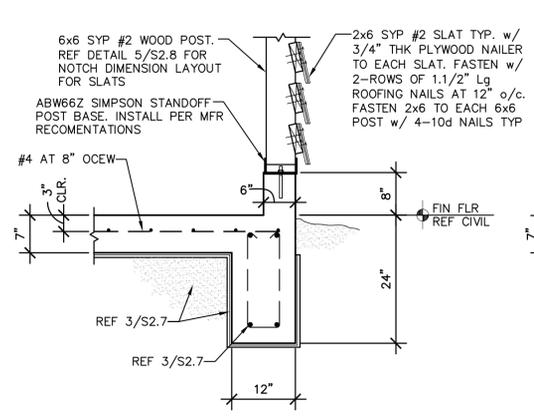
DRILLED PIER SCHEDULE			
MARK	SHAFT DIA. (INCHES)	VERTICAL REINFORCING	BEARING DEPTH BELOW MEAN SEA LEVEL (FEET MSL)
DP-1	**"	8-#7	-**.**



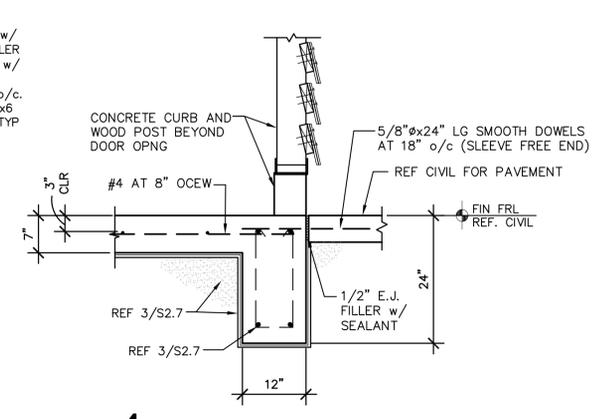
2



5 DRILLED PIER PROFILE



3



4

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SEAL

PROJECT
WALKOVER AT WHITECAP CIRCLE
SOUTH PADRE ISLAND, TEXAS

CLIENT
CITY OF SOUTH PADRE ISLAND

SOUTH PADRE ISLAND, TEXAS
P: 956-761-3044
F: 956-761-3898



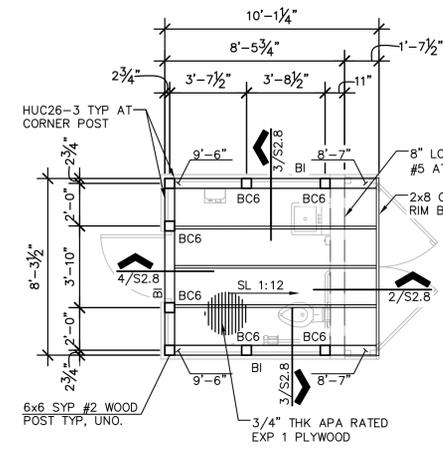
MARK	DATE	DESCRIPTION

PROJECT NO. 1065-16
DATE 03-29-2021
DRAWN BY LC
CHECKED BY BD
SCALE AS SHOWN

SHEET TITLE
FOUNDATION PLAN/DETAILS

SHEET NO.
S2.7

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BEAM SCHEDULE		
HEADER MARK	HEADER TYPE	POST SIZE
B1	3-2x6	6x6

NOTES:

1. PROVIDE PLYWOOD FILLER AS REQUIRED TO BE FLUSH WITH WOOD POST.

ROOF SHEATHING NAILING SCHEDULE	
10d NAILS AT 4\"/>	

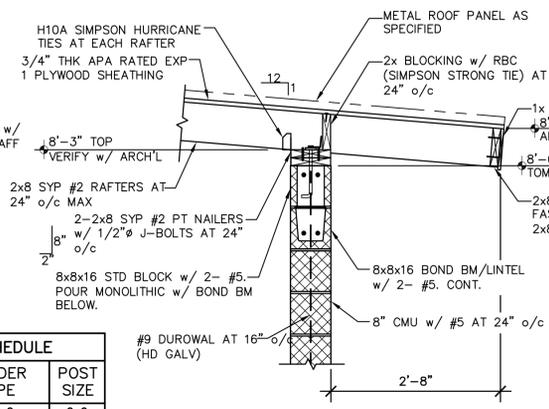
ALL 10d NAILS TO MEET MINIMUM LENGTH/DIAMETER BELOW
 LENGTH 3"
 SHANK DIAMETER 0.148"

2 ROOF FRAMING PLAN

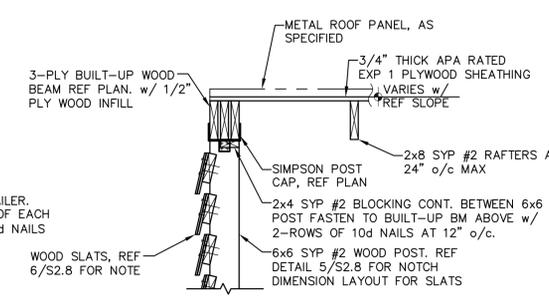
1/4" = 1'-0" NORTH TOLL BOOTH

NOTES:

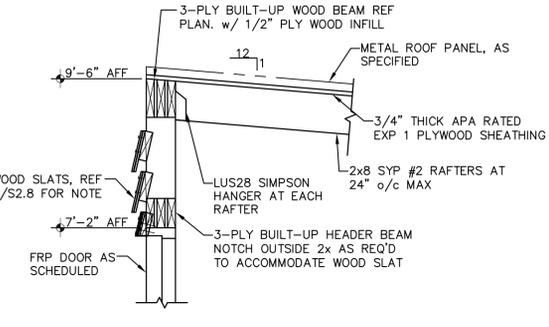
1. ROOF SHEATHING SHALL BE 3/4" APA RATED EXPOSURE 1. SPAN RATED 48/24.
2. REFERENCE ROOF SHEATHING NAILING SCHEDULE FOR PROPER PLYWOOD ATTACHMENT.
3. ALL HURRICANE TIES SHALL BE SIMPSON STRONG-TIE STAINLESS STEEL TYPE 316 OR APPROVED EQUAL. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.



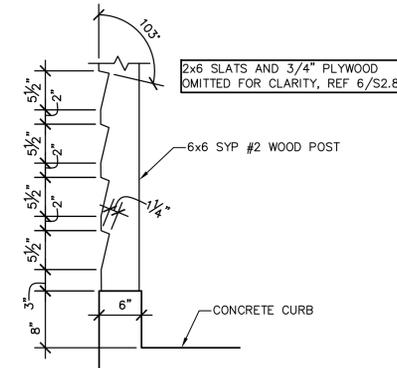
2



3

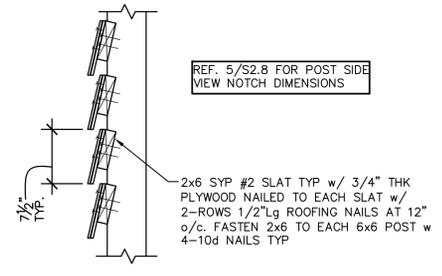


4



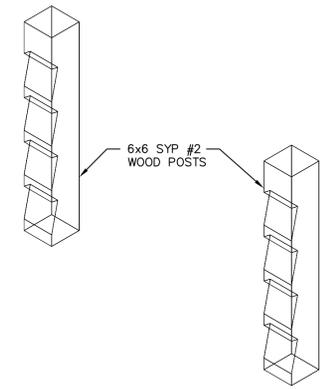
5 POST SIDE VIEW NOTCH DIMENSIONS

1" = 1'-0"



6 SLAT CONNECTION DETAIL

1" = 1'-0"



7 ISOMETRIC VIEWS OF WOOD POST

1" = 1'-0"

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SEAL

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SOUTH PADRE ISLAND, TEXAS

CLIENT
CITY OF SOUTH PADRE ISLAND

SOUTH PADRE ISLAND, TEXAS
 P: 956-761-3044
 F: 956-761-3898



MARK	DATE	DESCRIPTION

PROJECT NO.	1065-16
DATE	03-29-2021
DRAWN BY	LC
CHECKED BY	BD
SCALE	AS SHOWN

SHEET TITLE
FRAMING PLAN/DETAILS

SHEET NO.
S2.8

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GENERAL CONSTRUCTION NOTES:

1. ALL MATERIALS, WORKMANSHIP AND IMPROVEMENTS SHALL BE IN ACCORDANCE WITH ALL LOCAL CODES, INCLUDING THE STANDARD CONSTRUCTION DETAILS AND TECHNICAL SPECIFICATIONS FROM THE CITY OF SOUTH PADRE ISLAND (THE OWNER), TEXAS DEPARTMENT OF TRANSPORTATION AND ALL OTHER GOVERNING AGENCIES.
2. PRIOR TO BEGINNING CONSTRUCTION, THE OWNER OR THEIR AUTHORIZED REPRESENTATIVE SHALL SCHEDULE A PRE-CONSTRUCTION CONFERENCE BETWEEN THE CONSULTING ENGINEER, CONTRACTOR, CITY OF SOUTH PADRE ISLAND, LAGUNA MADRE WATER DISTRICT, AND ALL AFFECTED PARTIES.
3. PRE-CONSTRUCTION PHOTOGRAPHS SHALL BE TAKEN ACCORDING TO SPECIFICATION 01 32 33 - PHOTOGRAPHIC DOCUMENTATION THAT SHOW EXISTING CONDITIONS OF THE SITE AND ADJOINING STRUCTURES TO REMAIN. PHOTOS SHALL INCLUDE DAMAGE TO FINISH SURFACES THAT MIGHT BE MISCONSTRUED AS DAMAGE CAUSED BY DEMOLITION OPERATIONS. (NO SEPARATE PAY)
4. THE CONTRACTOR SHALL HAVE A PERSON ON CALL 24 HOURS A DAY TO ADDRESS CONSTRUCTION AREA MAINTENANCE ITEMS, TRAFFIC CONTROL, OR OTHER NEEDS NECESSARY FOR PUBLIC SAFETY. THIS PERSON SHALL HAVE AUTHORITY TO ACT ON BEHALF OF THE CONTRACTOR IN EMERGENCY CONDITIONS. THE PERSON SHALL BE STATIONED WITHIN 1/2 HOUR TRAVEL TIME FROM THE PROJECT SITE. THE PERSON SHALL BE IDENTIFIED IN WRITING PRIOR TO START OF CONSTRUCTION. THE ON-SITE REPRESENTATIVE SHALL HAVE ACCESS ALL EQUIPMENT AND MATERIAL AND HAVE FULL AUTHORITY NECESSARY TO CORRECT ANY PROBLEMS, DEFICIENCIES, OR EMERGENCIES WHICH MAY ARISE DURING NON-WORKING HOURS AND DURING THE ABSENCE OF THE SUPERINTENDENT.
5. STANDARD WORK HOURS:
 - 5.1. THE STANDARD WORK HOURS FOR THE OWNER IS 8:00 AM TO 5:00 PM, MONDAY THROUGH FRIDAY. SHOULD THE CONTRACTOR ELECT TO WORK ON SATURDAY, SUNDAYS OR HOLIDAYS, HE SHALL BE RESPONSIBLE FOR PAYING OVERTIME CHARGES FOR THE OWNERS PERSONNEL INVOLVED. THESE CHARGES WILL BE AT COST AND WILL BE CALCULATED EITHER AT TIME AND A HALF OR DOUBLE TIME, AS APPLICABLE TO THE PARTICULAR DAY BEING WORKED. PRE-APPROVAL SHALL BE OBTAINED FROM THE ENGINEER OR ENGINEER'S REPRESENTATIVE BY COMPLETING AND SIGNING A OWNER'S FORM ENTITLED "CONSTRUCTION INSPECTORS OVERTIME COMPENSATION AUTHORIZATION", PRIOR TO COMMENCING ANY OVERTIME WORK.
 - 5.2. ANY WORK DONE OUTSIDE THE STANDARD WORKDAY, WITHOUT PRIOR AUTHORIZATION, SHALL BE CONSIDERED UNDER UNAUTHORIZED WORK. THE CONTRACTOR IS REQUIRED TO PAY THE OVERTIME WAGES OF THE OWNER INSPECTORS THAT WORK OVERTIME MONDAYS THROUGH FRIDAYS AT TIME IN A HALF. THE CONTRACTOR IS RESPONSIBLE FOR THE OVERTIME WAGES OF THE OWNER INSPECTORS THAT WORK HOLIDAYS AT DOUBLE TIME. MINIMUM HOURS WILL BE BILLED TO CONTRACTOR FOR CALL OUTS OR FOR INSUFFICIENT NOTICE OF TWO (2) HOURS.
6. THE CONTRACTOR SHALL VERIFY ALL HORIZONTAL AND VERTICAL DIMENSIONS AND THE LOCATION OF EXISTING AND PROPOSED PROJECT ELEMENTS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES BETWEEN PLAN DIMENSIONS AND ACTUAL FIELD CONDITIONS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND OWNER. NO CONSTRUCTION ACTIVITY SHALL CONTINUE WITHOUT APPROVAL FROM THE OWNER.
7. ALL MATERIALS AND LABOR, WHETHER SPECIFICALLY INDICATED ON PLANS OR NOT, WHICH ARE NECESSARY FOR THE PROPER INSTALLATION AND FUNCTION OF THE SYSTEM SHALL BE FURNISHED BY THIS CONTRACTOR.
8. CONTRACTOR SHALL NOT PROCEED WITH ANY WORK INVOLVING A CHANGE IN PROJECT SCOPE, EQUIPMENT, MATERIALS OR COST WITHOUT FIRST HAVING OBTAINED ENGINEER'S AND/OR OWNER'S APPROVAL IN WRITING. IF APPROVAL HAS NOT BEEN OBTAINED IN WRITING PRIOR TO PROCEEDING WITH ANY CHANGE, CONTRACTOR WILL NOT BE REIMBURSED FOR SUCH CHANGE.
9. CONTRACTOR TO PLAN AND PERFORM THEIR WORK IN A MANNER THAT WILL PERMIT SAFE PUBLIC TRAFFIC MOVEMENT ON ALL STREETS.
10. THE CONTRACTOR SHALL PLAN AND SEQUENCE ALL CONSTRUCTION ACTIVITY IN SUCH A MANNER THAT WILL PERMIT SAFE PEDESTRIAN AND VEHICULAR MOVEMENT.
11. TEMPORARY TRAFFIC CONTROL DURING CONSTRUCTION SHALL BE IN ACCORDANCE WITH TXDOT SPECIFICATIONS. CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN, IN ACCORDANCE WITH SPECIFICATION 01 55 26 TRAFFIC CONTROL AND REGULATION FOR APPROVAL BY THE OWNER, PRIOR TO CONSTRUCTION. THE TRAFFIC CONTROL PLAN SHALL BE PREPARED BY A PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF TEXAS. ALL TRAFFIC CONTROL / TRAFFIC SAFETY SHALL BE IN ACCORDANCE WITH THE LATEST MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) CRITERIA.
12. CONTRACTOR SHALL PROVIDE PROTECTIVE DEVICES SUCH AS SIGNS, LIGHTS, SIGNALS, AND OTHER DEVICES, AS NEEDED FOR THE SAFETY OF THE PUBLIC AND WORKERS. (NO SEPARATE PAY)
13. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION AND SAFETY OF THE WORK SITE, WORKERS, SUBCONTRACTORS, MATERIALS AND EQUIPMENT.
14. THE DRAWINGS AND SPECIFICATIONS REPRESENT THE COMPLETED STRUCTURES/DESIGN. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL MEASURES AND MEANS NECESSARY TO PROTECT PERSONS AND STRUCTURES DURING CONSTRUCTION. OBSERVATION BY THE ENGINEER OR THE OWNER DOES NOT INCLUDE REVIEW OF THESE MEASURES.
15. THESE PLANS, PREPARED BY HALFF ASSOCIATES, INC., DO NOT EXTEND TO OR INCLUDE DESIGN OF SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF HALFF ASSOCIATES, INC., REGISTERED PROFESSIONAL ENGINEER(S) HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED IN THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS, INCLUDING THE PLANS AND SPECIFICATIONS REQUIRED BY THE HOUSE BILLS 662 AND 665 ENACTED BY THE TEXAS LEGISLATURE IN THE 70TH LEGISLATURE REGULAR SESSION.
16. CONTRACTOR SHALL PROVIDE A SEQUENCE OF WORK AND PERFORM ASSOCIATED GRADING THAT PROVIDES POSITIVE OUTFALLS AT ALL TIMES.
17. CONSTRUCTION STAKING AND SURVEYING SHALL BE PROVIDED BY THE CONTRACTOR AND AT CONTRACTOR'S EXPENSE. ALL DIMENSIONS ARE TO BACK OF CURB OR, WHERE NO CURB EXISTS, TO EDGE OF PAVEMENT UNLESS SHOWN OTHERWISE. ALL UTILITY DIMENSIONS AND STATIONS/COORDINATES ARE TO CENTER OF THE STRUCTURE UNLESS SHOWN OTHERWISE.
18. CONTRACTOR TO COORDINATE WITH THE OWNER ON WORK SCHEDULES, TESTING, GENERAL INSPECTION, AND OPERATION AND LOCATION OF EXISTING LINES.
19. THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING ALL CONSTRUCTION MATERIALS TESTING AND GENERAL INSPECTIONS. THE CONTRACTOR SHALL COORDINATE THROUGH THE OWNER'S DESIGNATED FIELD REPRESENTATIVE A MINIMUM OF 24-HOURS PRIOR TO TESTING OR INSPECTION. FAILURE TO BE PREPARED FOR TESTING MAY RESULT IN TRAVEL CHARGES. RE-TESTING WILL BE BORNE BY THE CONTRACTOR.
20. MATERIAL TESTING SHALL BE PROVIDED BY THE OWNER. RE-TEST TO BE AT CONTRACTOR'S EXPENSE.
21. THE CONTRACTOR SHALL INSPECT ALL MATERIALS AT DELIVERY AND NOTIFY THE OWNER OF ANY DAMAGED OR QUESTIONABLE MATERIALS. ANY DAMAGED OR QUESTIONABLE MATERIAL INSTALLED WITHOUT PRIOR INSPECTION BY THE OWNER SHALL BE REMOVED AT THE CONTRACTOR'S EXPENSE.
22. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED. (NO SEPARATE PAY)
23. THE CONTRACTOR IS ENCOURAGED TO INSPECT AND DOCUMENT THE PRE-CONSTRUCTION CONDITION OF ALL PRIVATE DRIVEWAYS, MAILBOXES, PAVEMENT AREAS, SIDEWALKS, CURB AND GUTTER, FENCES AND ALL OTHER ITEMS TO BE AFFECTED BY PROPOSED CONSTRUCTION PRIOR TO COMMENCING.

24. ANY DAMAGE TO EXISTING PAVEMENT OR EXISTING STRUCTURES SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITION OR BETTER AT CONTRACTOR'S EXPENSE. EXISTING STRUCTURES MAY INCLUDE BUT ARE NOT LIMITED TO INLETS, MANHOLES, POWER POLES, SIDEWALKS, CURB AND GUTTER, FENCES, SPRINKLER SYSTEMS, LAWNS OR PRIVATE PROPERTY IMPROVEMENTS.
25. NO TREES SHALL BE REMOVED WITHOUT PERMISSION OF THE OWNER OR ENGINEER, UNLESS OTHERWISE NOTED.
26. CONTRACTOR SHALL GIVE NOTICE TO ALL AUTHORIZED INSPECTORS, SUPERINTENDENTS, OR PERSONS IN CHARGE OF PRIVATE AND PUBLIC UTILITIES AFFECTED BY THEIR OPERATIONS PRIOR TO COMMENCEMENT OF WORK. NOTIFY TEXAS ONE CALL FOR UTILITY LOCATIONS PRIOR TO ANY AND ALL EXCAVATIONS.
27. CONTRACTOR TO EXERCISE EXTREME CAUTION WHEN WORKING NEAR EXISTING FACILITIES AND/OR UTILITIES. ALL DAMAGE TO BE REPAIRED AT CONTRACTOR'S EXPENSE. ALL COSTS FOR INTERRUPTION OF GAS, ELECTRICAL, COMMUNICATIONS AND/OR WATER SERVICE DUE TO CONTRACTOR'S WORK SHALL BE BORNE BY THE CONTRACTOR.
28. INFORMATION ON EXISTING UTILITIES, AS SHOWN ON THESE PLANS, IS FROM BEST AVAILABLE INFORMATION OF RECORD AND SPOT FIELD LOCATIONS. ALTHOUGH EVERY EFFORT HAS BEEN MADE TO ACCURATELY DEPICT ALL UTILITIES, NOT ALL (PUBLIC AND PRIVATE) MAY BE SHOWN. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION AND LOCATION OF THESE UNDERGROUND UTILITIES AS REQUIRED AT NO SEPARATE PAY. CONTRACTOR TO COORDINATE WITH ALL UTILITY COMPANIES.
29. ALL WORK SHALL BE PERFORMED WITHIN THE OWNER'S RIGHT-OF-WAY, EASEMENTS OR ON PUBLIC-OWNED PROPERTY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMISSION TO USE PRIVATE PROPERTY, IF NECESSARY, FOR THE PURPOSES OF STAGING, STOCKPILE, STORAGE OR REFUSE AREAS. THE CONTRACTOR SHALL PROVIDE WRITTEN EVIDENCE TO THE OWNER PRIOR TO USE.
30. THE CONTRACTOR SHALL NOTIFY ALL AFFECTED RESIDENTS OR BUSINESS OWNERS OF CONSTRUCTION ACTIVITY THROUGH THE USE OF BILINGUAL (ENGLISH AND SPANISH) DOOR TAGS, PAMPHLETS OR SIMILAR METHODS. ALL AFFECTED PARTIES MUST BE NOTIFIED A MINIMUM OF 48-HOURS PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE A SAMPLE OF THE NOTIFICATION TO THE OWNER PRIOR TO IMPLEMENTATION.
31. CONTRACTOR TO ENSURE SAME DAY ACCESS TO ALL RESIDENCES AND BUSINESSES ADJACENT TO CONSTRUCTION.
32. THE CONTRACTOR SHALL DO ALL NECESSARY CLEARING, EXCAVATION, TRENCHING, SHORING, DE-WATERING, DEMOLITION, GRADING, BACKFILLING, ETC. TO COMPLETE THE PROJECT. ASSOCIATED COSTS SHALL BE SUBSIDIARY TO THE RESPECTIVE BID ITEMS AS IDENTIFIED IN THE CONTRACT UNLESS NOTED OTHERWISE.
33. THE CONTRACTOR SHALL PROVIDE AN EMERGENCY PLAN, IN CASE OF A LARGE RAIN EVENT OR OTHER IMPACTFUL EVENT, FOR APPROVAL BY THE OWNER PRIOR TO CONSTRUCTION. THE PLAN SHALL BE DEVELOPED, SIGNED AND SEALED BY A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS. ADEQUACY AND IMPLEMENTATION OF THE PLAN IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE OWNER RESERVES THE RIGHT TO REJECT THE PLANS. (NO SEPARATE PAY)
34. ALL COMPACTION SHALL BE ACHIEVED BY MECHANICAL METHODS. NO WATER JETTING ALLOWED, UNLESS APPROVED BY THE OWNER.
35. ALL SPOIL MATERIAL AND DEBRIS SHALL BE DISPOSED OFFSITE BY THE CONTRACTOR IN A LEGAL MANNER. FURNISHING AND TRANSPORTATION OF ALL OFFSITE MATERIAL TO BE AT CONTRACTOR'S EXPENSE.
36. DEMOLITION, REMOVAL AND DISPOSAL OF ALL EXCESS CONCRETE, CURBS, RUBBLE, ETC. TO BE DONE IN A LEGAL MANNER AT CONTRACTOR'S EXPENSE.
37. THE CONTRACTOR SHALL KEEP THE CONSTRUCTION AREA AS CLEAN AS POSSIBLE. ALL ASSOCIATED DEBRIS SHALL BE COLLECTED AND PROPERLY DISPOSED OF AT THE END OF EACH WORKDAY.
38. UPON COMPLETION OF CONSTRUCTION, CONTRACTOR SHALL RETURN THE SITE TO ORIGINAL CONTOURS UNLESS DIFFERENT FINISHED ELEVATIONS ARE SHOWN ON PLANS. CONTRACTOR TO ENSURE NO AREAS OF FONDING ARE PRESENT.
39. CONCRETE NOTES (FOR CIVIL SITE WORK):
 - 39.1. ALL CONCRETE WORK TO BE FORMED, UNLESS OTHERWISE APPROVED.
 - 39.2. ALL CONCRETE TO BE 3000-PSI MINIMUM AT 28 DAYS, UNLESS OTHERWISE SHOWN.
 - 39.3. STRENGTH TO BE DETERMINED BY CYLINDER BREAK TEST.
 - 39.4. ALL REINFORCING STEEL TO BE ASTM A-615, GRADE 60, UNLESS OTHERWISE SHOWN.
 - 39.5. ALL EXPOSED CONCRETE WORK TO BE CHAMFERED.
 - 39.6. ALL CONCRETE USED FOR CURB AND GUTTER, CONCRETE PAVEMENT, DRIVEWAYS, SIDEWALKS AND OTHER FLAT WORK SHALL CONTAIN A MINIMUM OF 1.5 POUNDS OF FIBER MESH PER CUBIC YARD.
 - 39.7. ALL EXPOSED CONCRETE SURFACES SHALL BE TREATED WITH CURING COMPOUND RESIN BASE ASTM C 309 TYPE 2 WITH PIGMENTED TINT OF FUGITIVE DYE.
 - 39.8. EXPANSION JOINTS WILL BE PLACED AT CURB RETURNS, INLETS AND AT THE END OF EACH POUR WITH INTERVALS NOT TO EXCEED 40 FT. JOINTS SHALL CONSIST OF 1/2" PRE-MOLDED EXPANSION JOINT MATERIAL WITH 3, 36" X 1/2" DOWELS, ONE END GREASED AND WRAPPED. CARE MUST BE TAKEN THAT DOWELS ARE STRAIGHT AND LAID PARALLEL WITH CURB AND NO CONCRETE PLUGS OR OTHER MATERIAL BE ALLOWED THROUGH THE DOWEL HOLES OR EXPANSION MATERIAL WHICH WOULD PREVENT THE JOINT FROM OPERATION AS AN EXPANSION JOINT. EXPANSION JOINT MATERIALS SHALL BE PRE-MOLDED ASPHALT IMPREGNATED EXPANSION JOINT MATERIAL CONFORMING WITH ASTM D 994 (NOT WOOD FIBER TYPE)
 - 39.9. CONTRACTION (DUMMY, SAWED OR GROVED) JOINTS SHALL BE 2' DEEP AND PLACED AT MAXIMUM OF 10-FOOT INTERVALS.
 - 39.10. WHEN CONNECTING TO EXISTING CURB AND GUTTER, THE CONTRACTOR SHALL DRILL AND DOWEL TWO #6 X 16" TIE BARS A MINIMUM OF 6-INCHES DEEP INTO THE EXISTING CURB AND GUTTER SECTION.
40. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING ALL FIELD CHANGES AND FURNISHING A LEGIBLE SET OF "RECORD" DRAWINGS TO THE OWNER.
41. WHEN INSTALLING ANY MANUFACTURED PRODUCT, THE CONTRACTOR SHALL FOLLOW ALL MANUFACTURER'S RECOMMENDED INSTALLATION DIRECTIONS. IF ANY CONFLICTS OR DISCREPANCIES BETWEEN MANUFACTURER'S DIRECTIONS AND THE CONTRACT DOCUMENTS ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING AND SHALL NOT PERFORM ANY WORK ON ANY ITEM UNTIL SUCH CONFLICT HAS BEEN RESOLVED IN WRITING.
42. INDEMNIFICATION: TO THE FULLEST EXTENT PERMITTED BY APPLICABLE LAWS AND REGULATIONS, CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS OWNER, ENGINEER, ENGINEER'S SUBCONSULTANTS AND THE OFFICERS, DIRECTORS, EMPLOYEES, AGENTS, AND OTHER CONSULTANTS OF EACH AND ANY OF THEM FROM AND AGAINST ALL CLAIMS, COSTS, LOSSES, AND DAMAGES (INCLUDING BUT NOT LIMITED TO ALL FEES AND CHARGES OR ENGINEERS, ARCHITECTS, ATTORNEYS, AND OTHER PROFESSIONALS AND ALL COURT OR ARBITRATION OR OTHER DISPUTE RESOLUTION COSTS) CAUSED BY, ARISING OUT OF, OR RESULTING FROM, THE PERFORMANCE OF THE WORK, PROVIDED THAT ANY SUCH CLAIM, COST, LOSS OR DAMAGE:

- 42.1. IS ATTRIBUTABLE TO BODILY INJURY, SICKNESS, DISEASE, OR DEATH, OR TO INJURY TO OR DESTRUCTION OF TANGIBLE PROPERTY (OTHER THAN THE WORK ITSELF), INCLUDING THE LOSS OF USE RESULTING THEREFROM, AND
- 42.2. IS CAUSED IN WHOLE OR IN PART BY ANY NEGLIGENT ACT OR OMISSION OF CONTRACTOR, ANY SUBCONTRACTOR, ANY SUPPLIER, ANY PERSON, OR ORGANIZATION DIRECTLY OR INDIRECTLY EMPLOYED BY ANY OF THEM TO PERFORM OR FURNISH ANY OF THE WORK, OR ANYONE FOR WHOSE ACTS ANY OF THEM MAY BE LIABLE, REGARDLESS OF WHETHER OR NOT CAUSED IN PART BY ANY NEGLIGENCE OR OMISSION OF A PERSON OR ENTITY INDEMNIFIED HEREUNDER OR WHETHER LIABILITY IS IMPOSED UPON SUCH INDEMNIFIED PARTY BY LAWS AND REGULATIONS REGARDLESS OF THE NEGLIGENCE OF ANY SUCH PERSON OR ENTITY, CLAIMS, COSTS, LOSSES, DAMAGES, SUITS AND CAUSES OF ACTION, AND ANY AND ALL LIABILITY, COSTS, EXPENSES, SETTLEMENTS, DAMAGES, AND JUDGMENTS INCURRED IN CONNECTION THEREWITH (INCLUDING BUT NOT LIMITED TO ALL FEES AND CHARGES OF ENGINEERS, ARCHITECTS, ATTORNEYS, AND OTHER PROFESSIONALS, AND ALL COURT OR ARBITRATION OR OTHER DISPUTES RESOLUTION COSTS) WHETHER ARISING IN EQUITY, AT COMMON LAW, OR BY STATUTE, INCLUDING THE TEXAS DECEPTIVE TRADE PRACTICES ACT OR SIMILAR STATUTE OF OTHER JURISDICTIONS, OR UNDER THE LAW OF CONTRACTS, TORTS (INCLUDING WITHOUT LIMITATION, NEGLIGENCE AND STRICT LIABILITY WITHOUT REGARD TO FAULT) OR PROPERTY, OF EVERY KIND OR CHARACTER
- 42.3. IS CAUSED IN WHOLE OR IN PART BY ANY NEGLIGENT ACT OR OMISSION, OTHER FAULT, BREACH OF CONTRACT OR WARRANTY, VIOLATION OF THE TEXAS DECEPTIVE TRADE PRACTICES ACT, OR STRICT LIABILITY WITHOUT REGARD TO FAULT OF CONTRACTOR. REGARDLESS OF WHETHER OR NOT CAUSED IN PART BY ANY NEGLIGENCE OR OMISSION, OTHER FAULT, BREACH OF CONTRACT OR WARRANTY, VIOLATION OF THE TEXAS DECEPTIVE TRADE PRACTICES ACT, OR STRICT LIABILITY WITHOUT REGARD TO FAULT OF A PERSON OR ENTITY INDEMNIFIED HEREUNDER.

CONTRACTOR'S OBLIGATIONS OF INDEMNIFICATION UNDER THIS PARAGRAPH SHALL NOT BE LIMITED BY THE AMOUNT OF ANY INSURANCE.

UTILITY NOTES:

1. THE TYPE, SIZE AND LOCATION OF ALL UNDERGROUND UTILITIES DEPICTED ON THE CONSTRUCTION PLANS WERE RESEARCHED WITH RESPECT TO THE BEST AVAILABLE DATA AND THEREFORE SHOWN APPROXIMATE. ALTHOUGH EVERY EFFORT HAS BEEN MADE TO ACCURATELY DEPICT ALL UTILITIES, NOT ALL (PUBLIC AND PRIVATE) MAY BE SHOWN. NEITHER THE ENGINEER NOR THE OWNER IS RESPONSIBLE FOR THE ACCURACY OF THE LOCATION OF THE UTILITIES SHOWN ON THE CONSTRUCTION PLANS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL UTILITY COMPANIES WITH JURISDICTION WITHIN THE LIMITS OF CONSTRUCTION FOR FIELD VERIFICATION AT NO ADDITIONAL EXPENSE TO THE OWNER. UTILITY COMPANIES TO INCLUDE BUT NOT LIMITED TO THE FOLLOWING:
 - 1.1. SOUTH PADRE ISLAND PUBLIC WORKS DEPT. (956) 761-8159
 - 1.2. TOWN OF SOUTH PADRE ISLAND (956) 761-1025
 - 1.3. LAGUNA MADRE WATER DISTRICT OFFICE (956) 943-2626
 - 1.4. LAGUNA MADRE WATER DISTRICT EMERGENCIES AFTER HOURS (956) 572-1716
 - 1.5. TXDOT - BROWNSVILLE OFFICE (956) 542-2260
 - 1.6. TEXAS 811
 - 1.7. TEXAS GAS SERVICE (800) 959-5325
 - 1.8. SPECTRUM/TIME WARNER CABLE/AT&T/VERIZON/CHARTER COMMUNICATIONS/FRONTIER COMMUNICATIONS
 - 1.9. AMERICAN ELECTRIC AND POWER (AEP) TEXAS/MAGIC VALLEY ELECTRICAL COOPERATIVE

2. CONTRACTOR SHALL EXPOSE ANY EXISTING UTILITY THAT MAY BE IN CONFLICT PRIOR TO COMMENCING CONSTRUCTION AND EXCAVATION.
3. THE CONTRACTOR SHALL NOTIFY ALL AUTHORIZED INSPECTORS, SUPERINTENDENTS, OR PERSONS RESPONSIBLE FOR PUBLIC AND PRIVATE UTILITIES AFFECTED BY HIS/HER OPERATIONS PRIOR TO COMMENCING CONSTRUCTION.
4. CONTRACTOR SHALL AT ALL TIMES ALLOW ACCESS TO EXISTING DRIVEWAY OR PROVIDE/MAINTAIN ALTERNATIVE ALL-WEATHER ROUTES.
5. IN ACCORDANCE WITH HOUSE BILLS 662 AND 665 ENACTED BY THE TEXAS LEGISLATURE (70th REGULAR LEGISLATIVE SESSION), THE CONTRACTOR SHALL MEET THE REQUIREMENTS FOR TRENCH SAFETY AS OUTLINED IN THE CURRENT VERSION OF THE UNITED STATES DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS, 29 CFR, PART 1926, SUBPART P-EXCAVATIONS.
6. PRIOR TO COMMENCING ANY EXCAVATION, THE CONTRACTOR SHALL PROVIDE A TRENCH SAFETY PLAN. ALL PLANS SHALL BE PREPARED BY A PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF TEXAS. THE PLAN SHALL BE SUBMITTED TO THE OWNER FOR APPROVAL.
7. IN THE EVENT CONDITIONS ENCOUNTERED IN THE FIELD REQUIRE TRENCH SAFETY SYSTEMS OUTSIDE OF THE EXTENTS SUGGESTED TRENCH PROTECTION SHOWN ON THE CONSTRUCTION PLANS, ALL EXCAVATION SHALL CEASE AND THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING A REVISED TRENCH SAFETY PLAN. NO EXCAVATION SHALL RESUME UNTIL THE REVISED TRENCH SAFETY PLAN HAS BEEN APPROVED. (NO SEPARATE PAY)
8. THE CONTRACTOR SHALL ENSURE APPROVED TRENCH SAFETY PLANS ARE IMPLEMENTED. FAILURE TO ADHERE TO THE TRENCH SAFETY PLAN WILL RESULT IN A STOP WORK ORDER. NON-COMPLIANCE INCIDENTS MAY BE REPORTED TO OSHA.
9. TRENCHES OR EXCAVATIONS MAY NOT BE LEFT OPEN OVERNIGHT UNLESS AUTHORIZED IN WRITING BY THE OWNER. IN CASES WHERE TRENCHES ARE LEFT OPEN, THE CONTRACTOR MUST PROVIDE TRAFFIC-RATED, ANCHORED STEEL PLATE COVERS APPROVED BY THE OWNER.
10. CONTRACTOR SHALL PROTECT AND SUSPEND ALL EXISTING UTILITIES TO REMAIN.
11. ALL UTILITIES SHALL REMAIN IN SERVICE AT ALL TIMES. THE PROTECTION, TEMPORARY BYPASS PUMPING, ETC. OF ALL UTILITY LINES SHALL BE INCIDENTAL TO THE INSTALLATION OF THE PROPOSED UTILITIES. CONTRACTOR SHALL COORDINATE WITH UTILITY OWNERS.
12. ALL CONSTRUCTION OPERATIONS TO BE ACCOMPLISHED IN ACCORDANCE WITH APPLICABLE REGULATIONS OF THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION. COPIES OF OSHA STANDARDS MAY BE PURCHASED FROM THE U.S. GOVERNMENT PRINTING OFFICE.
13. ELECTRICAL LINES ARE LOCATED IN THE PROJECT AREA. THE ATTENTION OF THE CONTRACTOR IS DIRECTED TO STATE LAW (VERNON'S ANNOTATED TEXAS STATUTES, ARTICLE 1436 (C)) CONCERNING CONSTRUCTION OPERATIONS IN THE VICINITY OF ELECTRICAL LINES AND THE NEED FOR EFFECTIVE PRECAUTIONARY MEASURES.
14. ANY CHANGES OR REVISIONS TO THE UTILITY DESIGN MUST FIRST BE SUBMITTED TO THE LAGUNA MADRE WATER DISTRICT FOR REVIEW AND WRITTEN APPROVAL.
15. THE CONTRACTOR SHALL GIVE THE LAGUNA MADRE WATER DISTRICT 24 HOUR ADVANCE NOTICE PRIOR TO PLACEMENT OF ANY CONCRETE, TO PERMIT THE REVIEW OF FORMS. REINFORCING STEEL PLACEMENT, AND OTHER PREPARATIONS.



1075 PAREDES LINE ROAD, SUITE B
BROWNSVILLE, TEXAS 77859
TEL (956) 303-7100
TBPELS ENGINEERING FIRM #312

HALFF PROJECT NO. (AVO): 42852.001



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PH: (956)428-4461 FAX: (956)428-0287
FIRM REGISTRATION #F-4145

SEAL

PROJECT

WALKOVER
AT WHITECAP CIRCLE

SOUTH PADRE ISLAND,
TEXAS

CLIENT



SOUTH PADRE ISLAND,
TEXAS

P: 956-761-3044
F: 956-761-3898



MARK	DATE	DESCRIPTION

PROJECT NO.	1065-16
DATE	03-29-2021
DRAWN BY	TE
CHECKED BY	RA
SCALE	AS SHOWN
SHEET TITLE	

GENERAL NOTES

90% SUBMITTAL

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THEY WERE PREPARED BY OR UNDER THE SUPERVISION OF:
R. THOMAS EVERETT II, P.E. 136374 03/29/21
TBPE FIRM #F-312

C1.1

SHEET NO.

UTILITY NOTES CONTINUED...

16. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST LAGUNA MADRE WATER DISTRICT STANDARD SPECIFICATIONS.

17. UNLESS OTHERWISE SPECIFIED BY THE ENGINEER, ALL UTILITY CONCRETE IS TO BE CLASS "K" (4000 PSI~28 DAYS), AND ALL REINFORCING STEEL TO BE ASTM A615 GRADE 60.

18. MAXIMUM LENGTH OF OPEN TRENCH TO BE 60', OR AS DIRECTED BY THE OWNER.

SANITARY SEWER NOTES:

2. ALL PIPE BEDDING MATERIAL SHALL CONFORM TO DETAILS AND THE MANUFACTURER'S RECOMMENDATION.

3. ALL INTERNAL CONCRETE SURFACES FOR SANITARY SEWER MANHOLES TO BE COATED PER MATERIALS AND PROCEDURES SPECIFIED IN CONTRACT SPECIFICATIONS AND DESIGN PLANS.

4. ALL MANHOLE COVERS SHALL BE 32" DIAMETER WATERTIGHT SANITARY SEWER MANHOLE FRAME AND COVER EAST JORDAN IRON WORKS MODEL V-1430A (OR APPROVED EQUAL).

5. THE DISTANCE FROM TOP OF SANITARY SEWER MANHOLE CONE TO FINISHED GRADE TO BE 12" MINIMUM OR 18" MAX (AS PER DETAIL), UNLESS NOTED OTHERWISE ON PLANS.

6. EXISTING SANITARY SEWER LINES SHALL BE KEPT IN SERVICE UNTIL PROPOSED SANITARY SEWER SYSTEM IMPROVEMENTS HAVE BEEN COMPLETED AND APPROVED BY THE OWNER.

7. CONTRACTOR TO CONSTRUCT SANITARY SEWER GRAVITY MAIN FROM DOWNSTREAM END TO UPSTREAM END WITH BELLS FACING UPSTREAM.

8. ALL MANHOLES TO BE BENCHED IN THE DIRECTION OF FLOW TO MINIMIZE TURBULENCE.

9. ALL SEWER LINES, MANHOLES AND FORCE MAINS SHALL BE TESTED IN ACCORDANCE WITH TCEQ CHAPTER 217.57 REGULATIONS AND SPECIFICATION 33 31 11 - SANITARY SEWER PIPEWORK.

10. THE OWNER RETAINS THE RIGHTS TO TELEVIEW THE LINE TO DETERMINE THE CONDITION OF THE SEWER LINE PRIOR TO FINAL ACCEPTANCE, IN ACCORDANCE WITH SPECIFICATION 33 31 11 - SANITARY SEWER PIPEWORK.

11. THE CONTRACTOR SHALL PERFORM QUALITY TESTING FOR THE WATER AND SANITARY SEWER SYSTEM INSTALLED AND SHALL PROVIDE ALL EQUIPMENT (INCLUDING PUMPS AND GAUGES), SUPPLIES AND LABOR NECESSARY TO PERFORM THE TESTS AT HIS EXPENSE. LAGUNA MADRE WATER DISTRICT TO BE GIVEN 48 HRS NOTICE PRIOR TO ALL TESTING AND SHALL BE MONITORED BY LAGUNA MADRE WATER DISTRICT PERSONNEL. TESTING IS TO BE DONE IN ACCORDANCE WITH L.M.W.D. STANDARDS.

12. ALL MANHOLES LOCATED WITHIN A ROADSIDE DITCH SHALL HAVE A MINIMUM COVER OF 18". AND HAVE WATERTIGHT COVERS. MANHOLES SHALL BE MARKED WITH MANHOLE MARKERS (USE MARKER DETAIL AS SHOWN IN "TYPICAL SERVICE CONNECTION") LOCATED AT THE RIGHT-OF-WAY. COST SUBSIDIARY TO OTHER ITEMS.

WATER NOTES:

1. WATER AND SEWER SERVICE LINE INSTALLATION SHALL MEET THE INTERNATIONAL BUILDING CODE SEPARATION CONDITIONS AND PIPING REQUIREMENTS.

2. CONTRACTOR SHALL MAINTAIN AS MINIMUMS 10 FEET HORIZONTAL AND 2 FEET VERTICAL SEPARATION BETWEEN WATERLINES AND ANY OTHER SEWER LINES.

3. NO WATER JETTING ALLOWED; MECHANICAL COMPACTION REQUIRED.

4. THE FOLLOWING GUIDELINES AND PROCEDURES SHALL BE FOLLOWED BY ANY CONTRACTOR, SUB-CONTRACTOR, OR ANY PERSON OR PERSONS DOING ANY WORK ON LAGUNA MADRE WATER DISTRICT (LMWD) WATER LINES, TO INCLUDE WATER LINE EXTENSIONS, WATERLINE UPGRADES, WATER TAPS, OR ANY PHYSICAL WORK AND/OR CONNECTIONS TO EXISTING WATERLINES OR ANY NEW WATERLINES THAT ARE TO BE ADOPTED BY LMWD.

5. GENERAL CONTRACTOR (GC) MUST BE LICENSED/BONDED, GC WILL BE RESPONSIBLE FOR THE WORK AND MATERIALS ON WATERLINE UPGRADE.

6. CONTRACTOR/COMPANY PROPOSING TO WORK ON LMWD WATERLINES WILL MAKE CONTACT AND MEET WITH LMWD PERSONNEL, TO BE WATER DISTRIBUTION MANAGER, WATER DISTRIBUTION ASSISTANT MGR AND DIRECTOR OF OPERATIONS, TO REVIEW ALL DOCUMENTS AND SHARE INFORMATION AS NEEDED. ALL LINE EXTENSIONS AND/OR UPGRADES WILL BE 6" MINIMUM.

7. CONTRACTOR/COMPANY WILL ONLY USE LMWD APPROVED PARTS AND MATERIALS: LIST OF VENDORS USED BY LMWD PROVIDED:

1. HD SUPPLY —(956)350-0771
2. FERGUSON WATER WORKS — (956)-584-8199
3. ACT PIPE & SUPPLY (956)-583-1558
4. AGUAWORKS PIPE — (956)-831-2500

8. CONTRACTOR INSTALLING NEW LINE IS RESPONSIBLE FOR REPLACING ANY EXISTING SERVICE CONNECTIONS WHERE ONE EXISTS, TO INCLUDE TAPPING SADDLE, CORPORATION STOP WITH CUT-OFF VALVE, MUNICIPEX TUBBING AND ANGLE VALVE WITH CUT-OFF. CONTRACTOR WILL ALSO PREP NEW WATERLINE TO CONNECT TO ANY AND ALL OTHER EXISTING WATERLINE.

9. CONTRACTOR, SHALL FOLLOW STANDARD RULES OF WATER LINE INSTALLATIONS, TO INCLUDE PREPPING WATERLINE FOR HYDROSTATIC TESTING, BACTERIOLOGICAL SAMPLE COLLECTION, AND A FLUSHING POINT AS NEEDED.

10. CONTRACTOR WILL BE REQUIRED TO USE DEWATERING (WELL-POINT) SYSTEM, WHEN WORKING AT OR NEAR GROUND WATER TABLE.

11. CONTRACTOR WILL BE RESPONSIBLE TO RESTORE AREAS TO ORIGINAL CONDITIONS OR BETTER AS REQUIRED BY CITY/TOWN AND STATE CODES/ORDINANCES.

12. CONTRACTOR WILL BE RESPONSIBLE TO PERFORM A HYDRO-STATIC TEST (PRESSURE TEST) ON NEWLY INSTALLED LINE, USING THEIR OWN EQUIPMENT. LMWD PERSONNEL MUST BE PRESENT TO WITNESS TEST FROM BEGINNING TO END. STANDARD TEST IS (150 PSI FOR 2 HOURS), FAILURE TO MAINTAIN PRESSURE, IS A FAILED TEST.

13. LMWD WILL COLLECT THE BACTERIOLOGICAL SAMPLE AND SUBMIT IT FOR TESTING. IF TEST IS NEGATIVE, INSPECTION OF WATERLINE IS COMPLETE AND LINE CAN BE PUT INTO SERVICE. AS REQUIRED BY TCEQ.

14. OFF-SITE TAP FEES MAY APPLY, IF LINE EXTENSION REQUIRES A 6" TAP.

15. LMWD WILL SUBMIT TX-DOT PERMITS AS NEEDED.

16. GC WILL SUBMIT A 1 YEAR WARRANTY ON NEWLY INSTALLED LINES, TO INCLUDE ANY AND ALL TYPE OF WORK CONTRACTOR DID ON EXISTING LINE AT TIE-IN. DATE OF NEWLY INSTALLED WATERLINE WILL BE WHEN IT IS PUT INTO SERVICE.

17. WITH THE EXCEPTION OF TX-DOT PERMITS, CONTRACTOR WILL BE RESPONSIBLE FOR ANY AND ALL PERMITS, PERMIT FEES, ADMINISTRATIVE FEES THAT MAY APPLY WITH THE WATERLINE UPGRADE/EXTENSION. LMWD PROVIDES WATER SERVICES TO PORT ISABEL, SOUTH PADRE ISLAND, LAGUNA VISTA.

18. CONTRACTOR INSTALLING/UPGRADING LINES WILL SIGN OFF ON;

- A) HYDROSTATIC TEST
- B) BACTERIOLOGICAL SAMPLE (PASSING SAMPLE)
- C) RESTORED AREAS AS APPLICABLE
- D) MET ALL REQUIREMENTS AS SET FORTH BY LMWD

19. LAGUNA MADRE WATER DISTRICT WILL PROVIDE SIGN OFF SHEET ON ALL ITEMS REQUESTED.

20. APPROVED CONTRACTORS

1. 5125 COMPANY — 956-867-5125
2. GNT PAVING — 956-592-1744
3. COMETT CONSTRUCTION — 956-245-1009
4. CLOSNER CONSTRUCTION — 956-472-8613
5. PEDERSON CONSTRUCTION — 956-233-4471

POLLUTION PREVENTION / EROSION CONTROL NOTES:

1. CONTRACTOR SHALL OBTAIN A SWPPP PERMIT AND POST IT AT THE CONSTRUCTION SITE, IN ACCORDANCE WITH SPECIFICATION 01 57 23 TEMPORARY EROSION AND SEDIMENTATION CONTROL AND 01 57 23 - TOPES REQUIREMENTS, PRIOR TO CONSTRUCTION.

2. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO COMMENCING ANY EARTH DISTURBING ACTIVITY.

3. ALL EFFORTS SHALL BE MADE TO CONTAIN DISTURBED SOILS WITHIN THE EXTENTS OF PERIMETER EROSION AND SEDIMENT CONTROL MEASURES.

4. THE CONTRACTOR SHALL SEQUENCE ALL CONSTRUCTION IN SUCH A MANNER AS TO MINIMIZE THE AMOUNT AND EXTENTS OF DISTURBED EARTH.

5. A STABILIZED CONSTRUCTION EXIT IS REQUIRED AT ALL POINTS OF DESIGNATED EGRESS FROM THE LIMITS OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE LOCATION(S) UNLESS OTHERWISE NOTED ON THE PLANS. THE LOCATION(S) OF THE STABILIZED CONSTRUCTION EXIT(S) MAY BE MODIFIED WITH RESPECT TO THE SEQUENCE OF CONSTRUCTION.

6. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PROPERLY MAINTAINED DURING THE COURSE OF THEIR INTENDED USE.

7. ALL STAGING, MATERIAL STORAGE, STOCKPILE AND REFUSE AREAS SHALL REQUIRE APPLICABLE EROSION AND SEDIMENT CONTROL MEASURES.

8. ALL CONSTRUCTION DEBRIS SHALL BE CONTAINED WITHIN APPROPRIATE RECEPTACLES(ROLL-OFF CONTAINERS, DUMPSTERS, TRASH CANS, WIRE-MESH CAGES, ETC.) AND CONFINED WITHIN PERIMETER EROSION AND SEDIMENT CONTROLS.

9. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL REMAIN IN PLACE DURING THE COURSE OF EARTH DISTURBING ACTIVITY AND UNTIL FINAL STABILIZATION IS ACHIEVED. STRUCTURAL MEASURES MAY BE REMOVED ONLY UPON FINAL PROJECT ACCEPTANCE BY THE OWNER OR AS DIRECTED BY THE OWNER.

10. PERMANENT STABILIZATION SHALL BEGIN AS SOON AS PRACTICABLE OR AS DIRECTED BY THE OWNER.

11. DUST CONTROL SHALL BE IMPLEMENTED AS NECESSARY OR AS DIRECTED BY THE OWNER. DUST CONTROL MAY CONSIST OF WATERING OR OTHER METHODS APPROVED BY THE OWNER. DUST CONTROL AND ASSOCIATED WATERING OR OTHER METHOD SHALL BE SUBSIDIARY TO THE EROSION CONTROL BID ITEM IN THE UNIT PRICE SCHEDULE.

12. TRACKED DEBRIS SHALL BE SWEEPED AT THE END OF EACH WORKDAY OR AS DIRECTED BY THE OWNER.

13. ALL DISCHARGES ASSOCIATED WITH DEWATERING OPERATIONS SHALL IMPLEMENT APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES. MEASURES MAY INCLUDE BUT ARE NOT LIMITED TO SEDIMENTATION BASINS OR FILTER SOCKS.

14. CONCRETE WASH-WATER SHALL NOT BE DISCHARGED DIRECTLY INTO A STORM SEWER SYSTEM OR RECEIVING STREAM. ALL WASH ACTIVITIES MUST BE PERFORMED WITHIN THE EXTENTS OF ESTABLISHED EROSION AND SEDIMENT CONTROL MEASURES OR DESIGNATED AREAS APPROVED BY THE OWNER.

15. SEDIMENT SHALL BE CLEARED FROM ALL STORM SEWER PIPES, CULVERTS AND APPURTENANCES WITHIN THE LIMITS OF CONSTRUCTION PRIOR TO FINAL PROJECT ACCEPTANCE. SEDIMENT SHALL BE PROPERLY DISPOSED.

16. STAGING, STOCKPILE AND EQUIPMENT STORAGE AREAS SHALL NOT BE LOCATED WITHIN THE EXTENTS OF ANY TREE DRIP LINES.

LAGUNA MADRE WATER DISTRICT SUBDIVISION AND EXTENSION STANDARDS:

1. UTILITY BONDS: COPY OF BONDS FROM SUBDIVISION JURISDICTION
2. WARRANTY: 1 YEAR FROM DATE OF PROJECT COMPLETION
3. AS BUILT DRAWINGS: FURNISH AND CERTIFIED BY PE OR RPLS
4. PRE CONSTRUCTION MEETING REQUIRED
5. NOTIFICATION ONE CALL
6. TESTING REQUIREMENTS:

- 6.1. TO BE COMPLETE AFTER ALL UTILITIES INSTALLED
- 6.2. 150 PSI FOR 2 HOURS FOR WATER LINES, HYDROSTATIC TESTED
- 6.3. 100 PSI FOR 2 HOURS FOR FORCE MAIN LINES, HYDROSTATIC TESTED
- 6.4. 4 PSI FOR 10 MINUTES FOR SEWER GRAVITY LINES, AIR TESTED

6.5. WATER LINES TO BE STERILIZED (HTH) 24 HOURS, THEN FLUSHED, AND BACTERIOLOGICAL TESTED.

6.6. AFTER BACTERIOLOGICAL TEST APPROVED, THEN INTERCONNECT TO MAIN LINE.

7. METERS

7.1. METERS ARE PROVIDED BY DISTRICT PAID FOR BY DEVELOPER

7.2. METER BOX ARE PROVIDED BY DISTRICT ON 8" 1", AND 2" METERS.

7.3. METER VAULT MUST BE INSTALLED BY THE DEVELOPER FOR 4", 6", 8", 10" METERS OR LARGER.

8. BACKFLOW ASSEMBLY

8.1. REQUIRED BY DISTRICT PER STATE REGULATIONS ON FIRELINE METERS, FIRE PROTECTION METERS, IRRIGATIONS METERS,

8.2. MOTEL/HOTELS OVER 4 STORIES HIGH, RESTAURANTS WITH FOUNTAIN DRINKS, ASSEMBLY TESTED BY CERTIFIED TESTER

8.3. WHEN INSTALLED AND ONCE A YEAR THEREAFTER, REPORT TURNED IN TO BACKFLOW PREVENTION DEPARTMENT AT DISTRICT.

8.4. BACKFLOW ASSEMBLY PAID BY THE DEVELOPER INSTALLED AFTER THE METER BEFORE ANY SPIGOT OR SINK OUTFLOW.

8.5. BACKFLOW ASSEMBLY APPROVED BY THE DISTRICT ON EACH APPLICATION.



1075 PAREDES LINE ROAD, SUITE B
BROWNSVILLE, TEXAS 77850
TEL (956) 303-7100
TBPELS ENGINEERING FIRM #312

HALFF PROJECT NO. (AVO): 42852.001



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FIRM REGISTRATION #F-4145

SEAL

PROJECT

WALKOVER
AT WHITECAP CIRCLE

SOUTH PADRE ISLAND,
TEXAS

CLIENT

CITY OF
SOUTH PADRE ISLAND



SOUTH PADRE ISLAND,
TEXAS

P: 956-761-3044
F: 956-761-3898



LEGEND			
PROPOSED	EXISTING	PROPOSED	EXISTING

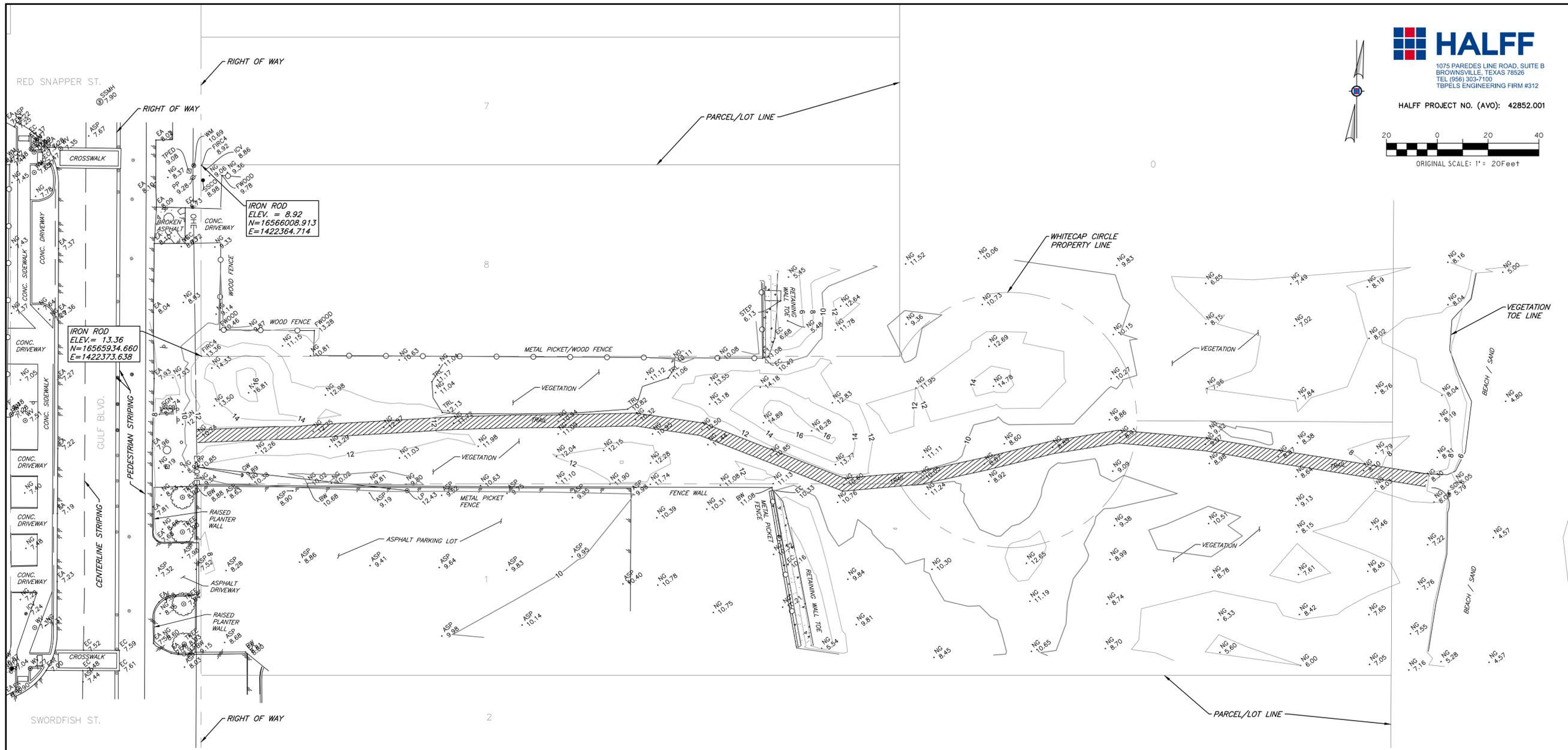
MARK	DATE	DESCRIPTION

PROJECT NO.	1065-16
DATE	03-29-2021
DRAWN BY	TE
CHECKED BY	RA
SCALE	AS SHOWN

SHEET TITLE
**GENERAL NOTES
AND LEGEND**

SHEET NO.
C1.2

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R. THOMAS EVERETT II, P.E. 136374 03/29/21
TBPE FIRM #F-312



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TBPELS ENGINEERING FIRM #312

HALFF PROJECT NO. (AVO): 42852.001

ORIGINAL SCALE: 1" = 20 FEET

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PROJECT

**WALKOVER
AT WHITECAP CIRCLE**

**SOUTH PADRE ISLAND,
TEXAS**

CLIENT

**CITY OF
SOUTH PADRE ISLAND**

**SOUTH PADRE ISLAND,
TEXAS**

P: 956-761-3044
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LEGEND

PROPOSED	EXISTING	DESCRIPTION
		INLET
		SANITARY SEWERMANHOLE
		WATER GATE VALVE & BOX
		WATER METER
		FIRE HYDRANT
		SANITARY CLEAN OUT
		SANITARY SERVICE
		TREE
		BIKE LANE DELINEATOR
		LIGHT POLE
		ELECTRIC/TRAFFIC BOX
		POWER POLE
		GUY WIRE
		FENCE
		TRAFFIC SIGN
		OVERHEAD ELECTRIC
		UNDERGROUND ELECTRIC
		SAN. SEWER GRAVITY
		FORCE MAIN
		WATER
		STORM SEWER
		SPOT ELEVATION
		ASPHALT PAVEMENT
		CONCRETE PAVEMENT
		PARKING LOT PAVERS
		LANDSCAPE / SOD

CAMERON COUNTY APPRAISAL DISTRICT - PROPERTY INFORMATION:

LOT NO. 0
NO INFORMATION AVAILABLE

LOT NO. 1 AND LOT NO. 2
PROPERTY ID: 110413
OWNER: OV 101 LLC
LOCATION: Q 2800 GULF BLVD SOUTH PADRE ISLAND, TX 78597
LEGAL DESCRIPTION: UNT 101 OCEAN VISTA TOWERS CONDOMINIUMS & CAR PORT 27

LOT NO. 7 (OF 7)
PROPERTY ID: 115131
OWNER: CARRILLO MARTHA DELIA LLERENA DE
LOCATION: 3000 GULF BLVD 101 SOUTH PADRE ISLAND, TX 78597-7045
LEGAL DESCRIPTION: UNT 101 SUN TIDE PHASE III CONDOMINIUMS PADRE BEACH SEC V LOTS 1-7 BLK 62

LOT NO. 8
PROPERTY ID: 111055
OWNER: DYCUSA USA LLC
LOCATION: 2900 GULF BLVD SOUTH PADRE ISLAND, TX 78597
LEGAL DESCRIPTION: SO PADRE IS - PADRE BEACH SECTION V LOT 8 BLK 62

THE LOT NO., PROPERTY ID, OWNER, LOCATION, AND LEGAL DESCRIPTION SHOWN FOR EACH PARCEL IS AS SHOWN ON THE CAMERON COUNTY APPRAISAL DISTRICT WEBSITE MAP.

TOPOGRAPHY NOTES:
1. ALL ELEVATIONS IN FEET, UNLESS OTHERWISE STATED.

MARK	DATE	DESCRIPTION

PROJECT NO.	1065-16
DATE	03-29-2021
DRAWN BY	TE
CHECKED BY	RA
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SHEET TITLE

**EXISTING
TOPOGRAPHY**

SHEET NO.

C1.3

90% SUBMITTAL

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R. THOMAS EVERETT II, P.E. 136374 03/29/21
TBPE FIRM #F-312



1075 PAREDES LINE ROAD, SUITE B
BROWNSVILLE, TEXAS 77808
TEL (956) 303-7100
TBPELS ENGINEERING FIRM #312

HALFF PROJECT NO. (AVO): 42852.001



GREEN, RUBIANO & ASSOCIATES
CONSULTING STRUCTURAL ENGINEERS
1220 WEST HARRISON
HARLINGEN, TEXAS 78550
PH: (956)428-4461 FAX: (956)428-0287
FIRM REGISTRATION #F-4145

SEAL

PROJECT

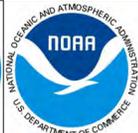
WALKOVER
AT WHITECAP CIRCLE

SOUTH PADRE ISLAND,
TEXAS

CLIENT

CITY OF
SOUTH PADRE ISLAND

SOUTH PADRE ISLAND,
TEXAS
P: 956-761-3044
F: 956-761-3898



MARK	DATE	DESCRIPTION

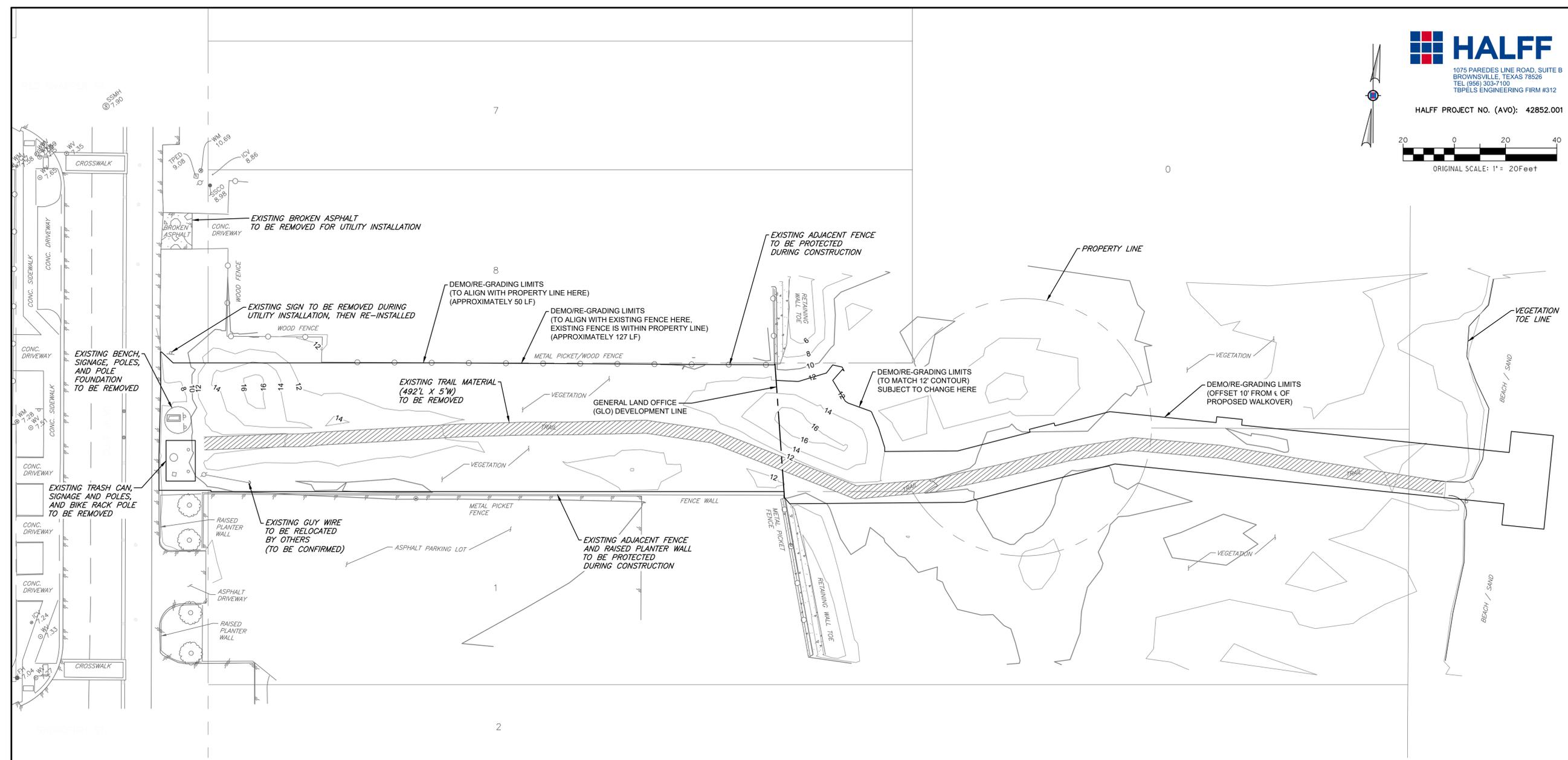
PROJECT NO.	1065-16
DATE	03-29-2021
DRAWN BY	TE
CHECKED BY	RA
SCALE	AS SHOWN

SHEET TITLE

DEMOLITION PLAN

SHEET NO.

C1.4



- DEMOLITION NOTES:**
1. ALL ITEMS TO BE REMOVED SHALL BE PROPERLY DISPOSED AT AN APPROVED LANDFILL BY THE CONTRACTOR, UNLESS OTHERWISE STATED.
 2. ALL ITEMS TO BE RELOCATED OR TEMPORARILY REMOVED, SHALL BE PROTECTED DURING INITIAL REMOVAL AND RE-INSTALLATION. THESE ITEMS SHALL BE PROPERLY STORED DURING TRANSITION.
 3. CONTRACTOR IS SOLELY RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING ADJACENT PROPERTY IMPROVEMENTS AT CONTRACTOR'S OWN COST.
 4. ADJACENT PROPERTY FENCES AND POLE FOUNDATIONS SHALL BE PROTECTED DURING CONSTRUCTION.
 - 5.

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TBPE FIRM #F-312

- SITE NOTES:**
1. ALL PARKING AISLE STRIPING MATERIAL SHALL BE COLORED PAVERS. NO PAINT SHALL BE USED FOR STRIPING, UNLESS OTHERWISE STATED.
 2. HANDICAPPED PARKING PAVEMENT MARKINGS AND SYMBOL SHALL BE COLORED PAVERS. NO PAINT SHALL BE USED FOR STRIPING, UNLESS OTHERWISE STATED.
 3. ALL DIMENSIONS SHOWN ARE IN FEET, UNLESS OTHERWISE STATED.
 4. ALL DIMENSIONS ARE SHOWN TO BACK OF CURB OR EDGE OF SIDEWALK.
 5. SEE SHEET C1.9 FOR DETAILS.



1075 PAREDES LINE ROAD, SUITE B
BROWNSVILLE, TEXAS 77856
TEL: (956) 303-7100
TBPELS ENGINEERING FIRM #312

HALFF PROJECT NO. (AVO): 42852.001



ORIGINAL SCALE: 1" = 10Feet



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SEAL

PROJECT

WALKOVER
AT WHITECAP CIRCLE

SOUTH PADRE ISLAND,
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MARK	DATE	DESCRIPTION

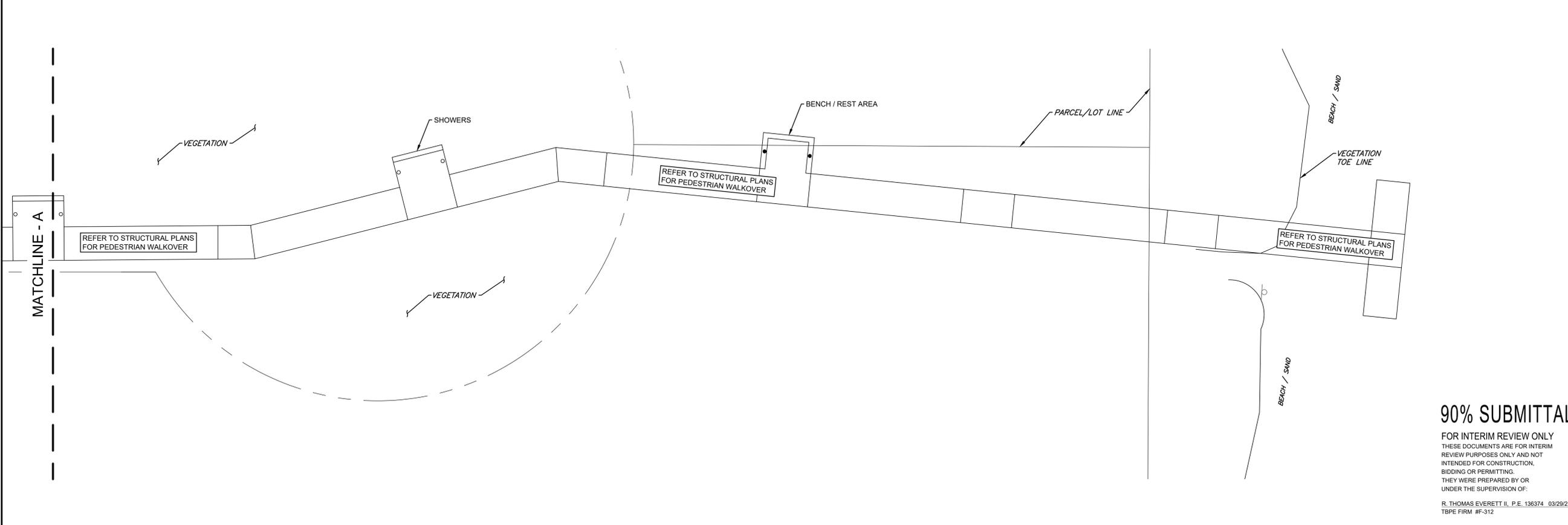
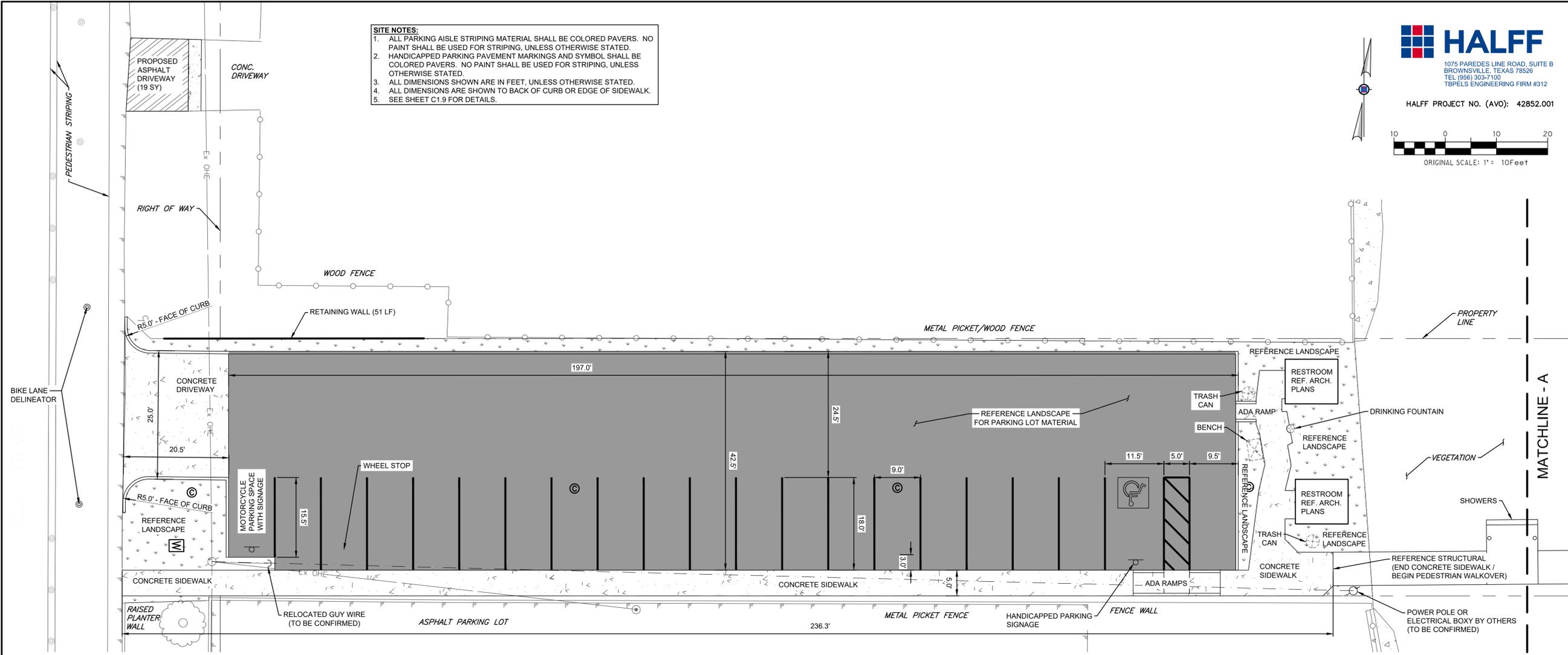
PROJECT NO.	1065-16
DATE	03-29-2021
DRAWN BY	TE
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SCALE	AS SHOWN

SHEET TITLE

PROPOSED SITE PLAN

SHEET NO.

C1.5



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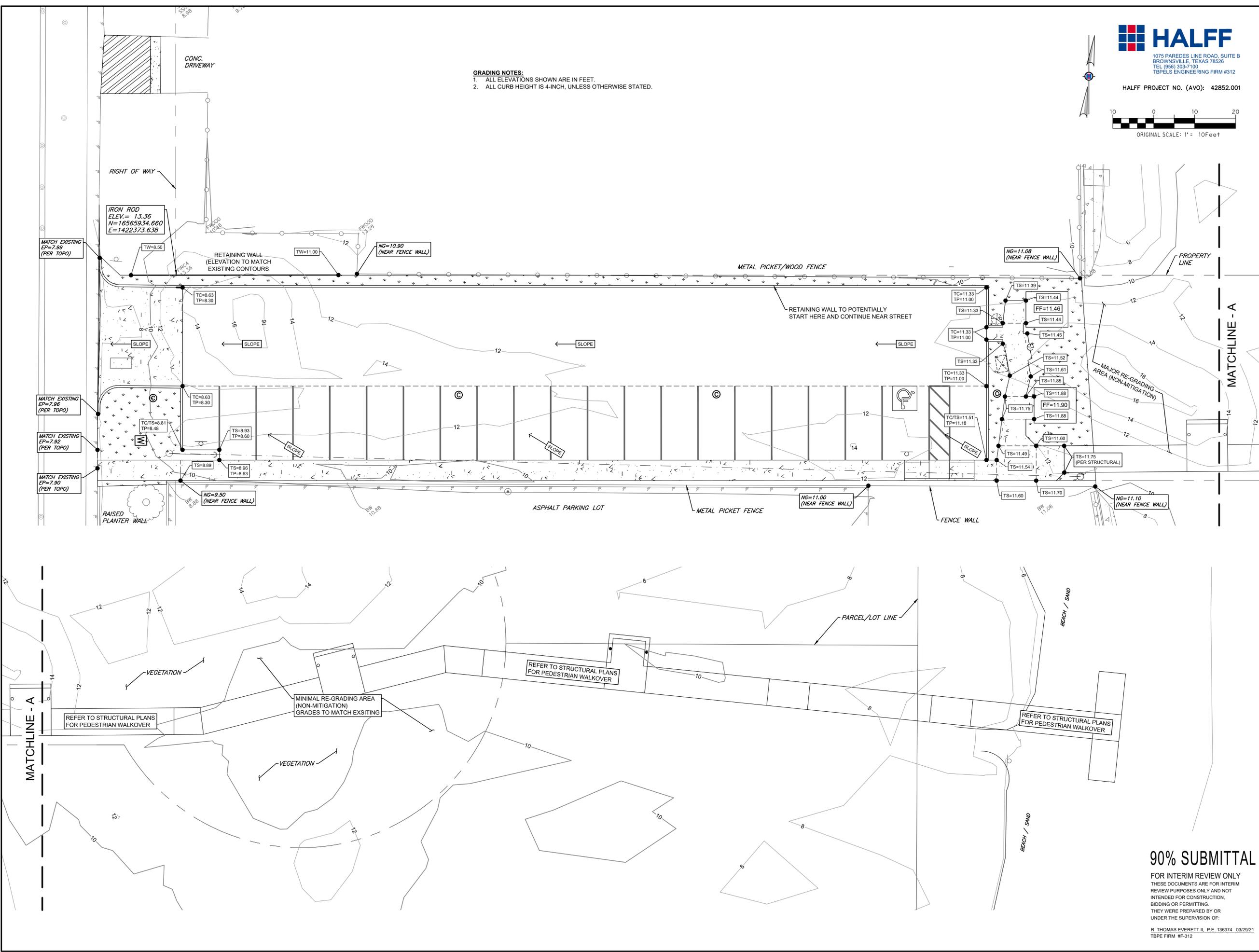
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HALFF PROJECT NO. (AVO): 42852.001



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PH: (956)428-4461 FAX: (956)428-0287
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GRADING NOTES:
1. ALL ELEVATIONS SHOWN ARE IN FEET.
2. ALL CURB HEIGHT IS 4-INCH, UNLESS OTHERWISE STATED.



SEAL

PROJECT
**WALKOVER
AT WHITECAP CIRCLE**
SOUTH PADRE ISLAND,
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**CITY OF
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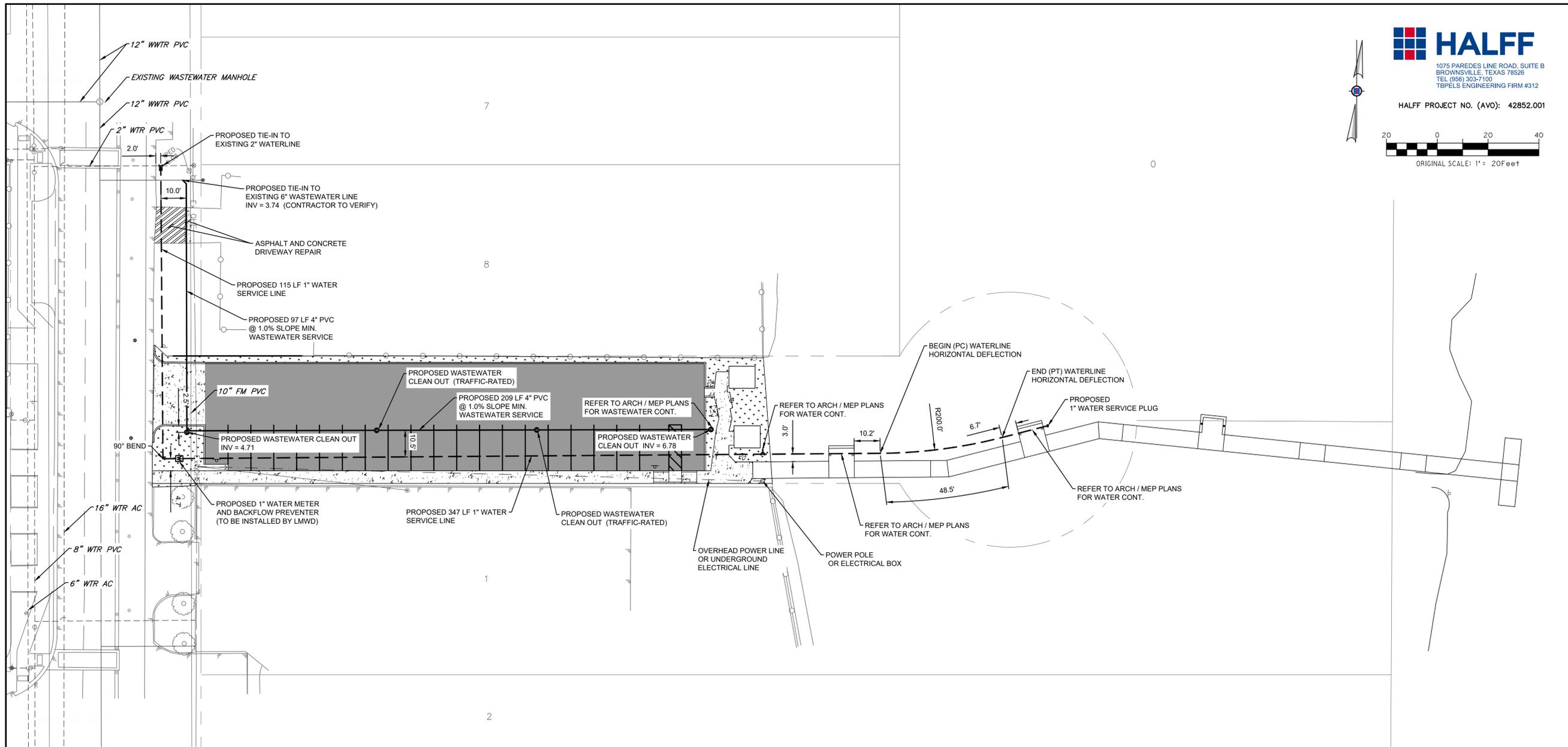
MARK	DATE	DESCRIPTION

PROJECT NO. 1065-16
DATE 03-29-2021
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CHECKED BY RA
SCALE AS SHOWN
SHEET TITLE

**PROPOSED
GRADING PLAN**

SHEET NO.
C1.6

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HALFF PROJECT NO. (AVO): 42852.001

ORIGINAL SCALE: 1" = 20' Feet

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AT WHITECAP CIRCLE

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- UTILITY NOTES:
1. CONTRACTOR SHALL LOCATE ALL UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
 2. CONTRACTOR SHALL NOTIFY THE ENGINEER WHEN UNANTICIPATED UTILITY CONFLICTS ARISE.
 3. ALL ELEVATIONS SHOWN ARE IN FEET, UNLESS OTHERWISE STATED.

MARK	DATE	DESCRIPTION

PROJECT NO.	1065-16
DATE	03-29-2021
DRAWN BY	TE
CHECKED BY	RA
SCALE	AS SHOWN

SHEET TITLE

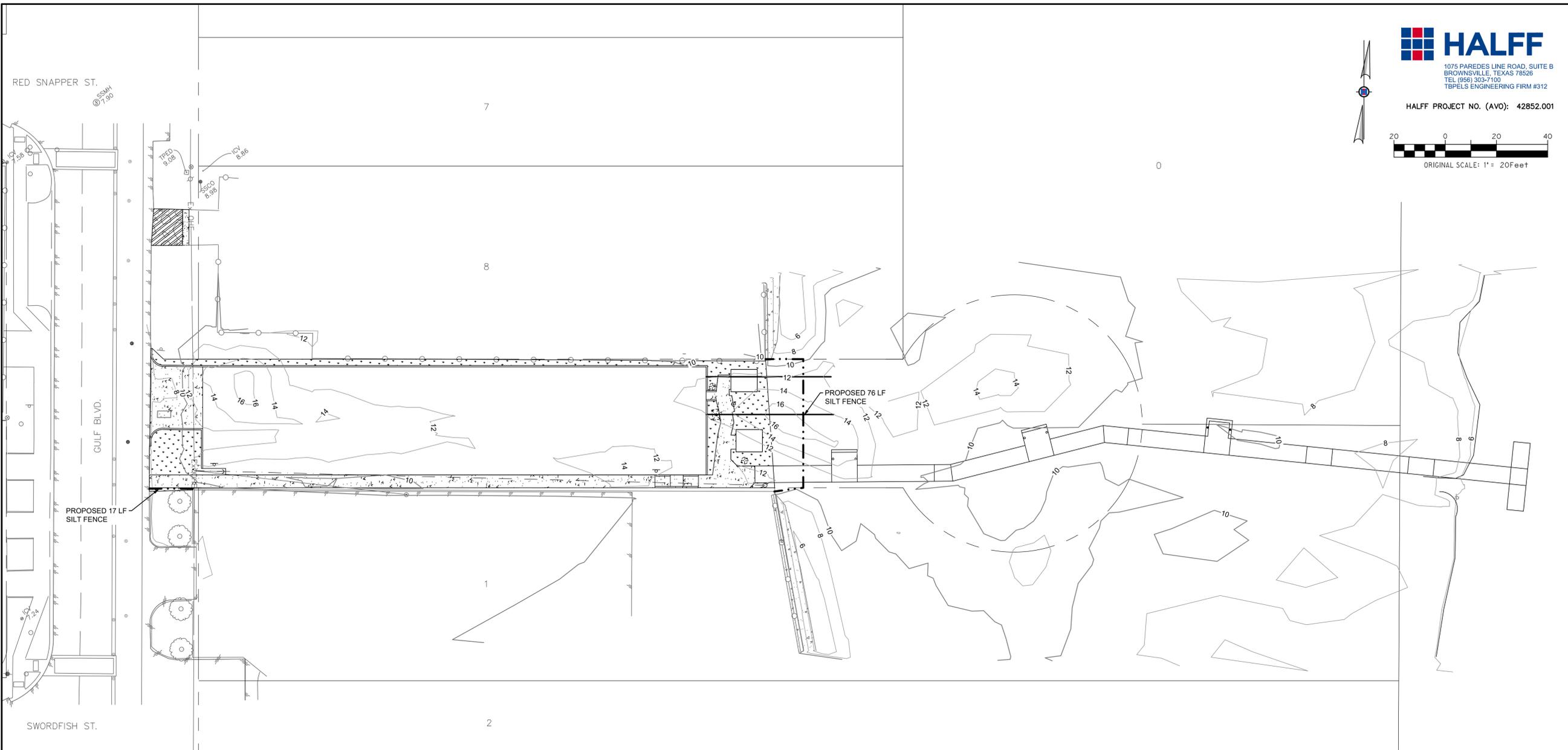
**PROPOSED
UTILITY PLAN**

SHEET NO.

C1.7

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HALFF PROJECT NO. (AVO): 42852.001

ORIGINAL SCALE: 1" = 20' Feet

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PROJECT NO.	1065-16
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SHEET TITLE

**POLLUTION
PREVENTION
PLAN**

SHEET NO.

C1.8

- POLLUTION PREVENTION NOTES:
1. CONTRACTOR SHALL INSTALL POLLUTION PREVENTION ITEMS PRIOR TO COMMENCING CONSTRUCTION.
 - 2.
 - 3.

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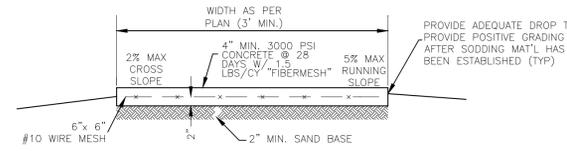
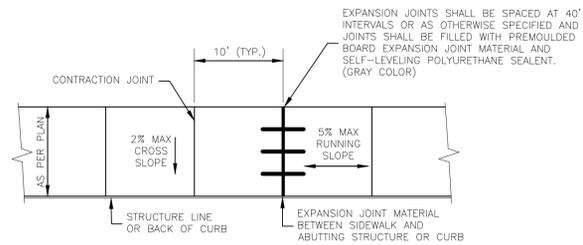
PROJECT NO.	1065-16
DATE	03-29-2021
DRAWN BY	TE
CHECKED BY	RA
SCALE	AS SHOWN

SHEET TITLE

MISCELLANEOUS
DETAILS

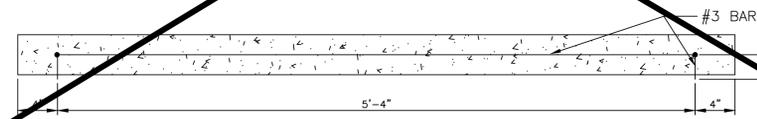
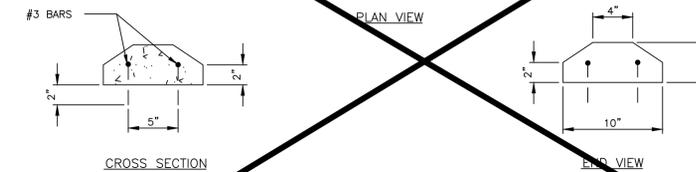
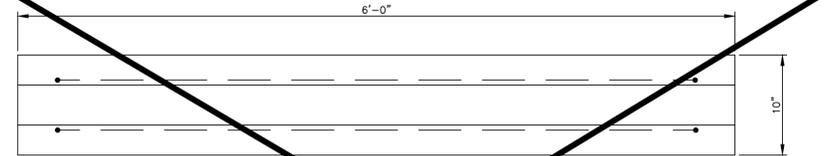
SHEET NO.

C1.9

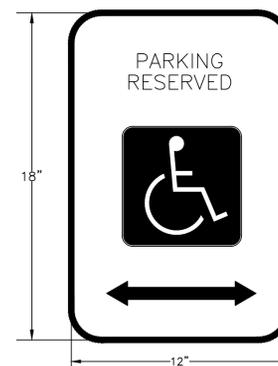
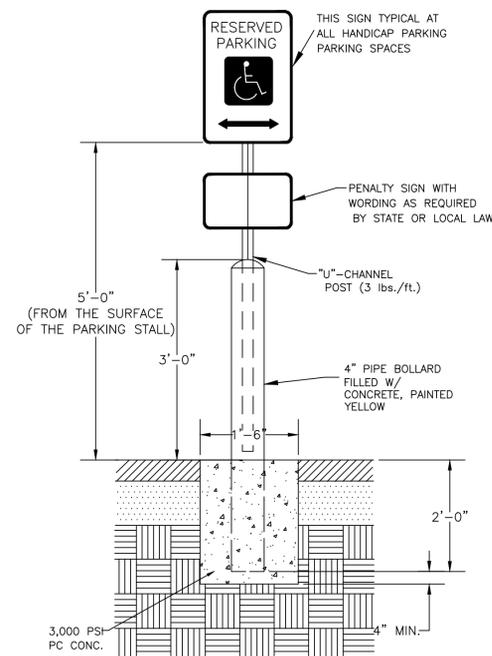
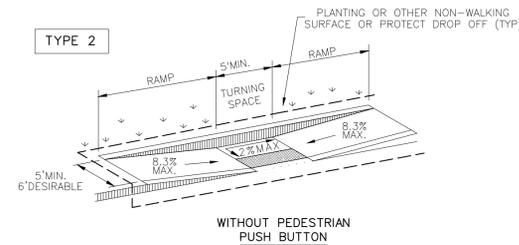


CONCRETE SIDEWALK DETAIL
NTS

NOTE:
ALL CONCRETE SHALL BE CLASS 'A'



WHEEL STOP DETAIL
NTS



- COLORS:
- LEGEND AND BORDER - GREEN
 - WHITE SYMBOL ON BLUE BACKGROUND
 - BACKGROUND - WHITE

HANDICAP SIGN
NTS

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HALFF
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SEAL

PROJECT
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 AT WHITECAP CIRCLE
 SOUTH PADRE ISLAND,
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MARK	DATE	DESCRIPTION

PROJECT NO.	1065-16
DATE	03-29-2021
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SHEET TITLE
 MISCELLANEOUS
 DETAILS

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**MISCELLANEOUS
 DETAILS**

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SSP Design
 SITE PLANNING
 LANDSCAPE DESIGN
 789 E. WASHINGTON ST.
 BROWNSVILLE, TX 77875
 TEL: (956) 547-9788
 FAX: (956) 547-9977
 www.sspdesign.com



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MULTI-BUBBLER LAYOUT



SEAL

PROJECT

WALKOVER
 AT WHITECAP CIRCLE
 SOUTH PADRE ISLAND,
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CITY OF
 SOUTH PADRE ISLAND

SOUTH PADRE ISLAND,
 TEXAS
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NOTES:
 REFER TO CIVIL PLANS/SPECS FOR SAND FENCING,
 DUNE GRADING AND STABILIZATION.
 CONTRACTOR TO INSTALL TEMPORARY IRRIGATION
 AND WATER/LEACH DUNES DAILY AT LEAST 14 DAYS
 PRIOR TO PLANTING.

IRRIGATION LEGEND

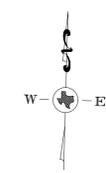
- RV RAINBIRD R-VAN SERIES ROTARY NOZZLE
- ☒ RAINBIRD 1404 BUBBLER HEAD
- ▲ RAINBIRD QUICK COUPLER VALVE (33-DLRC) QUICK COUPLERS SHALL BE CONNECTED TO MAINLINE ADD ONE ZONE THAT ACTIVATES MASTER VALVE AND ACTIVATES THE QUICK COUPLERS, LABEL ON COLORED ZONING DIAGRAM - LOCATED ALONG MAINLINE 200' SPACING
- ⊕ RAINBIRD PEB SERIES ELECTRIC VALVE
- ⊙ CONTROLLER (ESP-LX WITH RAIN/FREEZE SENSOR)
- WATER METER (AS SIZED)
- ⊖ BACKFLOW PREVENTER (AS SIZED)
- CLASS 200 PVC LATERAL PIPING
- - - CLASS 200 PVC MAINLINE
- - - SCH. 40 PVC SLEEVING (AS SIZED)
- ⊕ VALVE SIZE
- GPM

- DRIPLINE (BED)
 RAINBIRD DRIPLINE XFS (18" LATERAL SPACING, 12" EMITTER SPACING)
 XF SERIES TIE DOWN STAKES (TDS-050) @ 36" O.C. & TWO ON EACH TEE/ELBOW
 PVC LATERAL PIPING SIZED AS REQUIRED
- TEMPORARY IRRIGATION
 RAINBIRD DRIP CONTROL ZONE KIT XCZ-100-PRB-COM (EACH DRIP ZONE)
 1" BALL VALVE WITH REGULATED PRESSURE AND 200 MESH FILTRATION
 (1) DRIP SYSTEM OPERATION INDICATOR (OPERIND) PER IRRIGATION ZONE
 INSTALL ALL EQUIPMENT ACCORDING TO MANUFACTURERS SPECIFICATIONS
 ALL VALVE BOXES SHALL BE RAINBIRD VB-STD OR APPROVED EQUAL
 ALL VALVE BOXES SHALL HAVE FILTER FABRIC AND 4" OF GRAVEL AT BASE

DESIGN PRESSURE 60 PSI
 ELECTRICAL SPLICES AT EACH VALVE
 AND CONTROLLER ONLY.
 IRRIGATION IN TEXAS IS REGULATED
 BY THE TEXAS COMMISSION ON
 ENVIRONMENTAL QUALITY (TCEQ)
 MC-178 P.O. BOX 13097, AUSTIN, TX
 78711-3087, TCEQ'S WEBSITE IS:
 www.tceq.state.tx.us

BUBBLER PIPING CHART

NUMBER OF BUBBLERS	SIZE OF PIPE
1 - 5	1/2"
6 - 10	3/4"
11 - 20	1"
21 - 30	1 1/4"
31 - 40	1 1/2"



MARK	DATE	DESCRIPTION

PROJECT NO.	1065-16
DATE	03-29-2021
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SHEET TITLE

**IRRIGATION
 PLAN**

SHEET NO.

L1.01

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NOTES:
REFER TO CIVIL PLANS/SPECS FOR SAND FENCING,
DUNE GRADING AND STABILIZATION.
CONTRACTOR TO INSTALL TEMPORARY IRRIGATION
AND WATER/LEACH DUNES DAILY AT LEAST 14 DAYS
PRIOR TO PLANTING.

IRRIGATION LEGEND

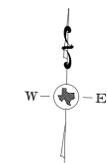
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- ☒ RAINBIRD 1404 BUBBLER HEAD
- ▲ RAINBIRD QUICK COUPLER VALVE (33-DLRC) QUICK COUPLERS SHALL BE CONNECTED TO MAINLINE ADD ONE ZONE THAT ACTIVATES MASTER VALVE AND ACTIVATES THE QUICK COUPLERS, LABEL ON COLORED ZONING DIAGRAM - LOCATED ALONG MAINLINE 200' SPACING
- ⊕ RAINBIRD PEB SERIES ELECTRIC VALVE
- ◼ CONTROLLER (ESP-LX WITH RAIN/FREEZE SENSOR)
- WATER METER (AS SIZED)
- ⊖ BACKFLOW PREVENTER (AS SIZED)
- CLASS 200 PVC LATERAL PIPING
- - - CLASS 200 PVC MAINLINE
- - - - SCH. 40 PVC SLEEVING (AS SIZED)
- VALVE SIZE
- GPM

- DRIPLINE (BED) RAINBIRD DRIPLINE XFS (18" LATERAL SPACING, 12" EMITTER SPACING) XF SERIES TIE DOWN STAKES (TDS-050) @ 36" O.C. & TWO ON EACH TEE/ELBOW PVC LATERAL PIPING SIZED AS REQUIRED
- TEMPORARY IRRIGATION RAINBIRD DRIP CONTROL ZONE KIT XCZ-100-PRB-COM (EACH DRIP ZONE) 1" BALL VALVE WITH REGULATED PRESSURE AND 200 MESH FILTRATION (1) DRIP SYSTEM OPERATION INDICATOR (OPERIND) PER IRRIGATION ZONE
- INSTALL ALL EQUIPMENT ACCORDING TO MANUFACTURERS SPECIFICATIONS ALL VALVE BOXES SHALL BE RAINBIRD VB-STD OR APPROVED EQUAL ALL VALVE BOXES SHALL HAVE FILTER FABRIC AND 4" OF GRAVEL AT BASE

DESIGN PRESSURE 60 PSI
ELECTRICAL SPLICES AT EACH VALVE AND CONTROLLER ONLY.
IRRIGATION IN TEXAS IS REGULATED BY THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ) MC-178 P.O. BOX 13897, AUSTIN, TX 78711-3897. TCEQ'S WEBSITE IS: www.tceq.state.tx.us

BUBBLER PIPING CHART

NUMBER OF BUBBLERS	SIZE OF PIPE
1 - 5	1/2"
6 - 10	3/4"
11 - 20	1"
21 - 30	1 1/4"
31 - 40	1 1/2"



SEAL

PROJECT

WALKOVER
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SOUTH PADRE ISLAND,
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MARK	DATE	DESCRIPTION

PROJECT NO.	1065-16
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SHEET TITLE
IRRIGATION PLAN

SHEET NO.
L1.02

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IRRIGATION LEGEND

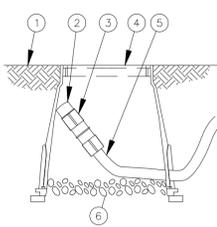
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- ⊕ RAINBIRD PEB SERIES ELECTRIC VALVE
- CONTROLLER (ESP-LX WITH RAIN/FREEZE SENSOR)
- WATER METER (AS SIZED)
- ⊖ BACKFLOW PREVENTER (AS SIZED)
- CLASS 200 PVC LATERAL PIPING
- CLASS 200 PVC MAINLINE
- SCH. 40 PVC SLEEVING (AS SIZED)
- VALVE SIZE
- GPM

DRIPLINE (BED)
 RAINBIRD DRIPLINE XFS (18" LATERAL SPACING, 12" EMITTER SPACING)
 XF SERIES TIE DOWN STAKES (TDS-050) @ 36" O.C. & TWO ON EACH TEE/ELBOW
 PVC LATERAL PIPING SIZED AS REQUIRED

TEMPORARY IRRIGATION
 RAINBIRD DRIP CONTROL ZONE KIT XCZ-100-PRB-COM (EACH DRIP ZONE)
 1" BALL VALVE WITH REGULATED PRESSURE AND 200 MESH FILTRATION
 (1) DRIP SYSTEM OPERATION INDICATOR (OPERIND) PER IRRIGATION ZONE
 INSTALL ALL EQUIPMENT ACCORDING TO MANUFACTURERS SPECIFICATIONS
 ALL VALVE BOXES SHALL BE RAINBIRD VB-STD OR APPROVED EQUAL
 ALL VALVE BOXES SHALL HAVE FILTER FABRIC AND 4" OF GRAVEL AT BASE

DESIGN PRESSURE 60 PSI
 ELECTRICAL SPLICES AT EACH VALVE AND CONTROLLER ONLY.
 IRRIGATION IN TEXAS IS REGULATED BY THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ)
 MC-178 P.O. BOX 13387 AUSTIN, TX 78711-3087. TCEQ'S WEBSITE IS: www.tceq.state.tx.us

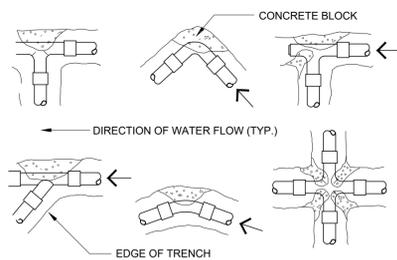
BUBBLER PIPING CHART		
NUMBER OF BUBBLERS	SIZE OF PIPE	
1-5	1/2"	
6-10	3/4"	
11-20	1"	
21-30	1 1/4"	
31-40	1 1/2"	



- 1 FINISH GRADE
- 2 FLUSH CAP FOR EASY FIT CORROSION FITTINGS:
 POTABLE: RAIN BIRD MDCFCAP
 NON-POTABLE: RAIN BIRD MDCFCAP
- 3 EASY FIT COUPLING:
 RAIN BIRD MDCFCOUP
- 4 SUBTERRANEAN EMITTER BOX:
 RAIN BIRD SEB 7XB
- 5 SUB-SURFACE DRIPLINE:
 RAIN BIRD XF SERIES DRIPLINE
 POTABLE: XFS DRIPLINE
 NON-POTABLE: XFSP DRIPLINE
- 6 3-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL WITH FILTER FABRIC AT BASE

NOTE:
 1. ALLOW A MINIMUM OF 6-INCHES OF DRIPLINE TUBING IN VALVE BOX IN ORDER TO DIRECT FLUSHED WATER OUTSIDE VALVE BOX.

1 DRIPLINE NOT TO SCALE



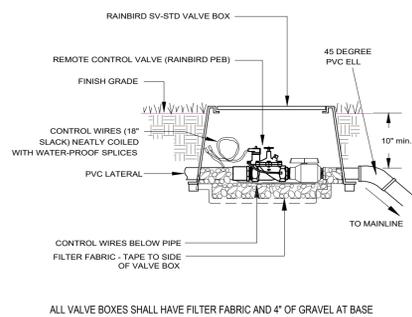
PIPE SIZE	THRUST BLOCK BEARING AREA (SQ. FT.)		
	1 1/4" - 2 1/2"	3"	4"
TEES/ELLS	1.00	1.00	1.25
90 BENDS	1.00	1.25	2.00
45 BENDS	1.00	1.00	2.4

NOTE:
 INSTALL THRUST BLOCK AT ALL MAINLINE BENDS, TEES OR ELLS AS SHOWN BELOW. THRUST BLOCKS SHALL BE MINIMUM OF (1) 50' FT. READY-MIX CONCRETE OR 2500 PSI 28 DAY CONCRETE.

2 THRUST BLOCK DETAIL NOT TO SCALE

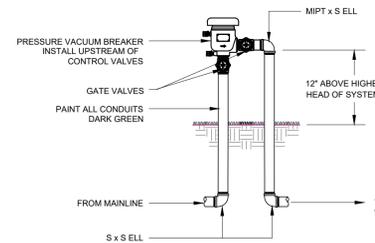
IRRIGATION NOTES

1. All equipment numbers reference Rainbird equipment catalog unless otherwise indicated.
2. LAWN SPRAY HEADS are RVAN installed as per detail.
3. SHRUB SPRAY HEADS are RVAN installed as per detail.
4. ELECTRIC CONTROL VALVES shall be PEB installed as per detail shown. Size valves as shown on plans. Valves shall be installed in valve boxes large enough to permit manual operation, removal of solenoid and/or valve cover without any earth excavation. (Refer to Specifications)
5. AUTOMATIC CONTROLLER shall be installed at location shown. Power (120V) shall be located in a junction box within five feet (5') of controller location. Power supply and junction box to be provided by General Contractor.
6. All 24 volt valve wiring is to be UF 14 single conductor. All wire splices are to be permanent and waterproof. (Refer to Specifications)
7. SLEEVES shall be supplied and installed by Irrigation Contractor. Sleeve material shall be Schedule 40. Bore under existing pavement as required. Sizes as indicated on plans.
8. Ten days prior to start of construction, contractor shall verify static water pressure. If static pressure is less than 50 PSI, do not start work until notified to do so by SSP Design.
9. All mainline and lateral piping shall have a minimum of 12 inches of cover. All piping under paving shall have a minimum of 18 inches of cover. (Refer to Specifications)
10. The irrigation contractor shall coordinate installation of the system with the landscape contractor so that all plant material will be watered in accordance with the intent of the plans and specifications.
11. The irrigation contractor shall select the proper arc and radius for each nozzle to insure 100% and proper coverage of all lawn areas and plant material. All nozzles in parking lots and planting beds shall be low angle to minimize overspray on pavement surfaces. No water will be allowed to spray on building.
12. The irrigation contractor shall warranty all system components for a period of one year plus 20 days. (Refer to Specifications).
13. See specifications for further instructions and project requirements. Contractor shall follow specification section 328000 - Site Irrigation for any discrepancies between plans and specifications.

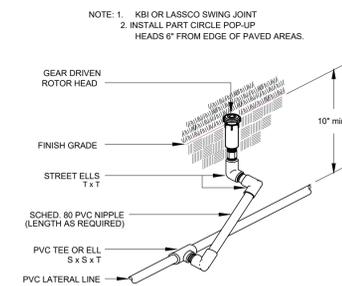


ALL VALVE BOXES SHALL HAVE FILTER FABRIC AND 4" OF GRAVEL AT BASE

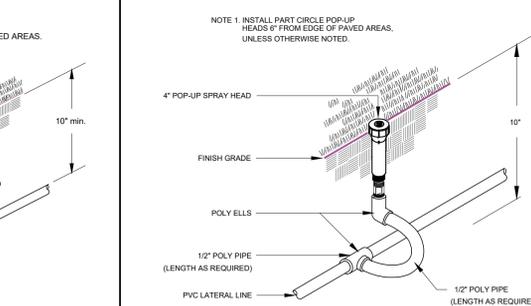
3 REMOTE CONTROL VALVE NOT TO SCALE



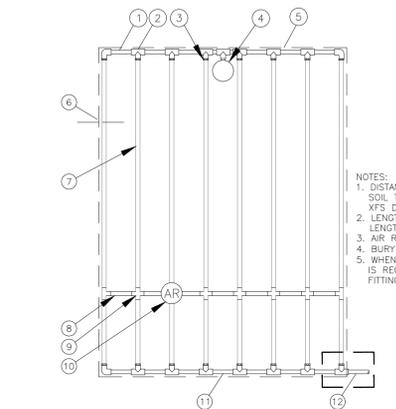
7 PRESSURE VACUUM BREAKER NOT TO SCALE



8 ROTOR POP-UP NOT TO SCALE



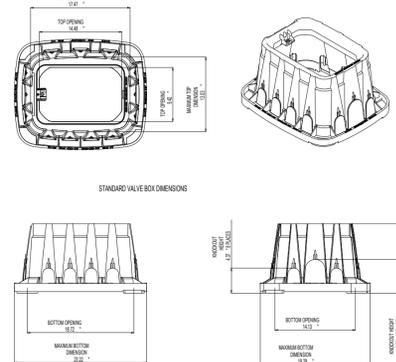
9 LAWN POP-UP HEAD NOT TO SCALE



- NOTES:
 1. DISTANCE BETWEEN LATERAL ROWS AND EMITTER SPACING TO BE BASED ON SOIL TYPE, PLANT MATERIALS AND CHANGES IN ELEVATION. SEE RAIN BIRD XFS DRIPLINE INSTALLATION GUIDE FOR SUGGESTED SPACINGS.
 2. LENGTH OF LONGEST DRIPLINE LATERAL SHOULD NOT EXCEED THE MAXIMUM LENGTH SHOWN IN THE ACCOMPANYING TABLE.
 3. AIR RELIEF VALVE TO BE INSTALLED AT HIGH POINT OF AREA.
 4. BURY DRIP LINE MIN. 1" BELOW SOIL LEVEL THAN ADD 2" MULCH.
 5. WHEN USING 17MM INSERT FITTINGS WITH DESIGN PRESSURE OVER 50PSI, IT IS RECOMMENDED THAT STAINLESS STEEL CLARVS BE INSTALLED ON EACH FITTING.

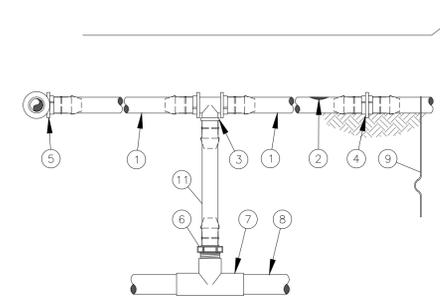
Inlet Pressure psi	12" Spacing		18" Spacing		24" Spacing	
	Nominal Flow (GPH)					
15	255	194	357	273	448	343
20	291	220	408	313	514	394
30	350	266	494	378	622	478
40	396	302	560	428	705	541
50	434	333	614	470	775	594

4 XFS SUB-SURFACE DRIPLINE END FEED LAYOUT INST. N.T.S.



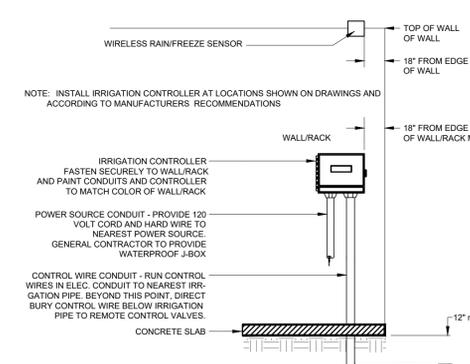
ALL VALVE BOXES SHALL BE RAINBIRD VB-STD OR APPROVED EQUAL
 ALL VALVE BOXES SHALL HAVE FILTER FABRIC AND 4" OF GRAVEL AT BASE

5 VALVE BOX (VB-STD) NOT TO SCALE



- NOTES:
 1. PLACE TIE DOWN STAKES EVERY THREE FEET IN SAND, FOUR FEET IN LOAM, AND FIVE FEET IN CLAY.
 2. AT FITTINGS WHERE THERE IS A CHANGE OF DIRECTION SUCH AS TEES OR ELBOWS, USE TIE-DOWN STAKES ON EACH LEG OF THE CHANGE OF DIRECTION.
 3. SAVE YOUR HANDS. USE THE RAIN BIRD FITTINGS-TOOL XF INSERTION TOOL FOR FITTING ASSEMBLY.

6 IRRIGATION SYSTEMS SUB-HEADER INST. N.T.S.



10 WALL/RACK MOUNTED CONTROLLER NOT TO SCALE

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CONSULTING STRUCTURAL ENGINEERS
 1220 WEST HARRISON
 HARLINGEN, TEXAS 78550
 PH: (956)428-4461 FAX: (956)428-0287
 FIRM REGISTRATION #F-4145

PROJECT
 WALKOVER
 AT WHITECAP CIRCLE
 SOUTH PADRE ISLAND,
 TEXAS

CLIENT
 CITY OF
 SOUTH PADRE ISLAND

 SOUTH PADRE ISLAND,
 TEXAS
 P: 956-761-3044
 F: 956-761-3898



MARK	DATE	DESCRIPTION

PROJECT NO. 1065-16
 DATE 03-29-2021
 DRAWN BY AG
 CHECKED BY BD
 SCALE AS SHOWN
 SHEET TITLE

IRRIGATION
 DETAILS

SHEET NO.
L1.03

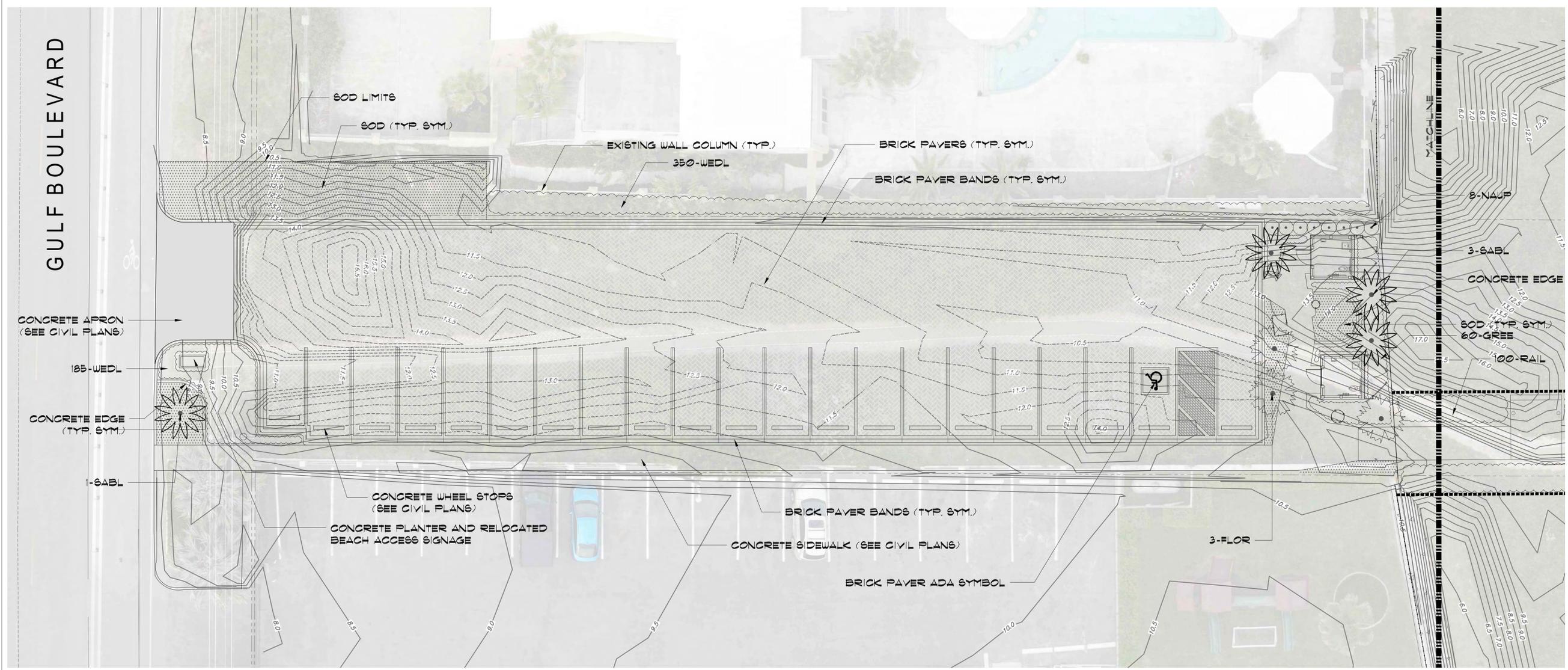


SSP Design
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 LANDSCAPE DESIGN
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 BROWNSVILLE, TX 77805
 TEL: (956) 547-9788
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 FIRM REGISTRATION #F-4145

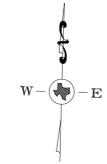
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GULF BOULEVARD

NOTE:
 THIS PROJECT INCLUDES DUNE RESTORATION PLANTING UTILIZING NATIVE DUNE SPECIES THAT MUST BE PRE ORDERED AND CONTRACT GROWN. DUNE RESTORATION PLANTING REQUIRES A DUNE RESTORATION SPECIALIST TO MEET STATE GUIDELINES AND APPROVALS. SUBMIT NAME/NUMBER OF DUNE SPECIALIST SUB CONTRACTOR TO SSP FOR APPROVAL
 CONTACT : STEVE MERCER (910) 431-9914 OR APPROVED EQUAL

NOTES:
 REFER TO CIVIL PLANS/SPECS FOR SAND FENCING, DUNE GRADING AND STABILIZATION.
 CONTRACTOR TO INSTALL TEMPORARY IRRIGATION AND WATER/LEACH DUNES DAILY AT LEAST 14 DAYS PRIOR TO PLANTING.



SEAL

PROJECT

WALKOVER
 AT WHITECAP CIRCLE
 SOUTH PADRE ISLAND,
 TEXAS

CLIENT

CITY OF
 SOUTH PADRE ISLAND

SOUTH PADRE ISLAND,
 TEXAS
 P: 956-761-3044
 F: 956-761-3898



MARK	DATE	DESCRIPTION

PROJECT NO.	1065-16
DATE	03-29-2021
DRAWN BY	AG
CHECKED BY	BD
SCALE	1" = 10'-0"

SHEET TITLE
**LANDSCAPE AND
 DUNE MITIGATION
 PLAN**

SHEET NO.

L2.01

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SEAL

PROJECT

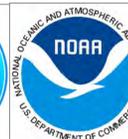
WALKOVER
AT WHITECAP CIRCLE

SOUTH PADRE ISLAND,
TEXAS

CLIENT

CITY OF
SOUTH PADRE ISLAND

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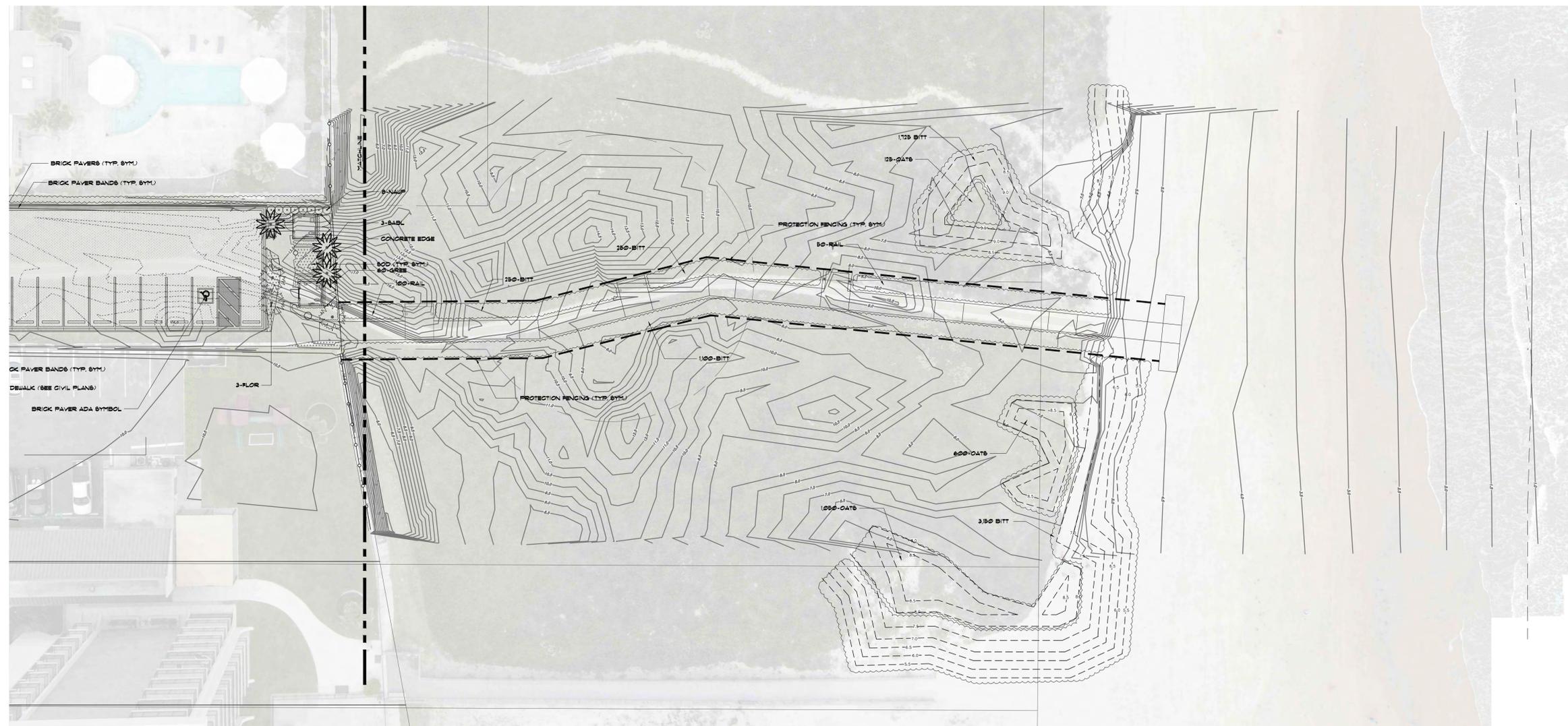
MARK	DATE	DESCRIPTION

PROJECT NO.	1065-16
DATE	03-29-2021
DRAWN BY	AG
CHECKED BY	BD
SCALE	1"=20'-0"

SHEET TITLE
**LANDSCAPE AND
DUNE MITIGATION
PLAN**

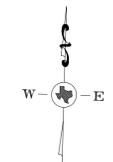
SHEET NO.

L2.02



NOTE:
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CONTACT : STEVE MERCER (910) 431-9814 OR APPROVED EQUAL

NOTES:
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PLANT SCHEDULE (SITE)

CODE	BOTANICAL NAME	COMMON NAME	TYPE	SIZE	SPACING	QTY
	PALMS					
FLOR	SABAL PALMETTO	FLORIDA SABAL PALM	B/B	10-12' TRUNK	A.S.	3
SABL	SABAL TEXANA	TEXAS SABAL PALM	B/B	6-8' TRUNK	A.S.	4
	SHRUBS					
NAUP	SCAEVOLA FRUTESCENS	NAUPAKA	3 GAL	18"HT-BUSHY	A.S.	8
GREE	FIGUS MICROCARPA	GREEN ISLAND FIGUS	3 GAL	12"HT-BUSHY	24" O.C.	60
	GROUND COVERING					
WEDL	WEDDIA TRILOBATA	WEDDIA	4" POTS		12" O.C.	535
	GRASS					
SOD	STENOTAPHRUM SECUNDATUM	#1 CERTIFIED FLORATAM ST. AUGUSTINE SOD				110 S.Y.

PLANT SCHEDULE (DUNE RESTORATION)

CODE	BOTANICAL NAME	COMMON NAME	TYPE	SIZE	SPACING	QTY
	DUNE PLANTS					
OATS	UNIOLA PANICULATA	SEA OATS	2"	TRAYS/CUTTINGS	12" O.C.	1,175
BITT	PANICUM AMARUM	BITTER PANICUM	2"	TRAYS/CUTTINGS	12" O.C.	6,475
RAIL	IPOMOEA PES-CAPRAE	RAILROAD VINE	2"	TRAYS/CUTTINGS	48" O.C.	100

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MATERIAL SCHEDULE

DESCRIPTION	NOTES	QUANTITY
PREMIUM COMPOST	2" LAYER PREMIUM COMPOST (EARTHWISE ORGANIC MIX) (NOT FOR DUNE AREA)	16 C.Y.
SCREENED TOP SOIL	8" FOR ALL PLANTING BEDS (NOT FOR DUNE AREA)	60 C.Y.
MULCH (HARDWOOD)	2" MIN. FOR ALL PLANTING BEDS AND WATERING BASINS (TEXAS NATIVES HARDWOOD)	220 BAGS (2 C.F.)
HERBICIDE	ALL PLANTING BED AREAS AS SPECIFIED	2,416 SF.
FERTILIZER	ALL PLANT MATERIAL PER DETAILS	2,416 SF.
PLANTING TABLETS	PER DETAILS / AS SPECIFIED	-
PRE-EMERGENT	ALL PLANTING BED AREAS AS SPECIFIED	2,416 SF.
GUYING / STAKING	ALL TREES/PALMS PER DETAILS	-
IRRIGATION SYSTEM	COMPLETE AUTOMATIC IRRIGATION SYSTEM BY LICENSED CONTR. PER PLAN/SPECS	-

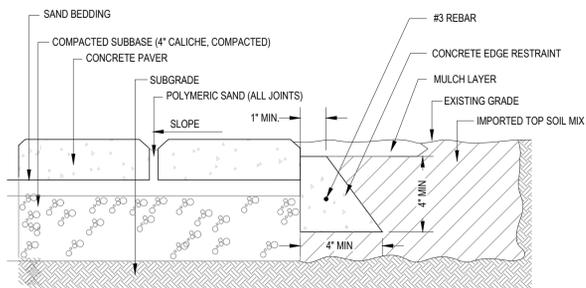
NOTE: CONTRACTORS MUST REVIEW TECHNICAL SPECIFICATIONS FOR ADDITIONAL PRODUCT INFORMATION AND PROJECT REQUIREMENTS.

MATERIAL SCHEDULE HARDSCAPE

DESCRIPTION	NOTES	QUANTITY
BRICK PAVERS	4x8" 80 MM PAVESTONE 'HOLLANDSTONE' BRICK PAVERS (CHARCOAL)	1570 SF.
BRICK PAVER BAND	4x8" 80 MM PAVESTONE 'HOLLANDSTONE' BRICK PAVERS BAND (TAN)	875 SF.

LANDSCAPE CONSTRUCTION NOTES

- WORK UNDER THIS CONTRACT INCLUDES SITE REVIEW AND COORDINATION WITH EXISTING CONDITIONS. SITE CLEANUP, EXCAVATION, BED PREP, TILLING, DUNE RESTORATION, PLANTING, STAKING, IRRIGATION, MAINTENANCE, AND GUARANTEE.
- LANDSCAPE CONTRACTOR SHALL FIELD VERIFY ALL QUANTITIES AND DIMENSIONS PRIOR TO BIDDING. QUANTITIES SHOWN IN SCHEDULE ARE FOR CONVENIENCE ONLY.
- NOTIFY SSP DESIGN PRIOR TO BID OF ANY DISCREPANCIES IN DRAWINGS/DETAILS OR INSUFFICIENT QUANTITIES DUE TO DIFFERENCES IN PLAN AND ACTUAL FIELD CONDITIONS.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING UTILITIES. SPOTTING OF ALL UTILITIES IS REQUIRED.
- NOTIFY AND MEET WITH SSP DESIGN PRIOR TO ANY CONSTRUCTION FOR VERIFICATION/INTERPRETATION OF PLANS.
- LANDSCAPE CONTRACTOR SHALL VERIFY ALL PROPERTY BOUNDARIES AND LIMITS OF WORK WITH GENERAL CONTRACTOR/CIVIL ENGINEER. DO NOT BEGIN LANDSCAPE CONSTRUCTION UNTIL ALL BOUNDARIES, EASEMENTS AND RIGHTS-OF-WAY HAVE BEEN VERIFIED IN THE FIELD.
- LANDSCAPE CONTRACTOR SHALL STAKE OUT ALL BEDS, TREES, PALM LOCATIONS PRIOR TO INSTALLATION FOR APPROVAL BY SSP DESIGN.
- LANDSCAPE CONTRACTOR TO COORDINATE WITH SSP DESIGN TO ENSURE PROPER PLACEMENT OF PLANT MATERIAL AND IRRIGATION EQUIPMENT.
- LANDSCAPE CONTRACTOR TO INSTALL EDGING AS SHOWN ON PLANS/DETAILS.
- NOTIFY SSP DESIGN PRIOR TO PLANTING OPERATIONS FOR APPROVAL OF ALL PLANT MATERIAL ON SITE. ANY PLANT MATERIAL NOT APPROVED BY SSP DESIGN WILL BE SUBJECT TO REJECTION.
- IRRIGATION CONTRACTOR SHALL SUPPLY AND INSTALL COMPLETE AUTOMATIC IRRIGATION SYSTEM INCLUDING WATER METER, BACKFLOW DEVICE, CONTROLLER, MAINLINE, SLEEVES, LATERALS AND POP-UP HEADS TO COVER ALL LANDSCAPE AREAS PER PLANS/DETAILS. IRRIGATION SYSTEM SHALL BE INSTALLED BY A TEXAS LICENSED IRRIGATOR ONLY.
- LANDSCAPE CONTRACTOR SHALL REMOVE ALL EXISTING GRASS/WEEDS BY HERBICIDING PRIOR TO BED PREP AND SOIL REPLACEMENT.
- LANDSCAPE CONTRACTOR SHALL REMOVE 12" OF EXIST'G SOIL WITHIN ALL BED AREAS AND REPLACE WITH IMPORTED TOP SOIL/PREMIUM COMPOST MIX.
- LANDSCAPE CONTRACTOR SHALL CONSTRUCT 6"x36" WATERING BASINS AROUND ALL TREES/PALMS WITH A MIN. 2" LAYER OF MULCH.
- LANDSCAPE CONTRACTOR SHALL LOOSEN / GRADE ALL BED AREAS PRIOR TO PLANTING TO ENSURE PROPER DRAINAGE AND UNIFORM SURFACE.
- LANDSCAPE CONTRACTOR SHALL REMOVE ALL EXISTING GRASS AND WEEDS BY HERBICIDING, DIGGING, FLOATING AND LIGHT GRADING OF ENTIRE PROJECT AREA PRIOR TO PLANTING.
- LANDSCAPE CONTRACTOR SHALL ESTABLISH AND MAINTAIN ALL PLANT MATERIAL FOR 90 DAYS AFTER SUBSTANTIAL COMPLETION AND SHALL GUARANTEE ALL TREES/PALMS FOR A PERIOD OF ONE YEAR.
- IRRIGATION CONTRACTOR SHALL GUARANTEE ALL SYSTEM COMPONENTS FOR A PERIOD OF ONE YEAR.
- SEE SPECIFICATIONS FOR FURTHER INSTRUCTIONS/REQUIREMENTS.

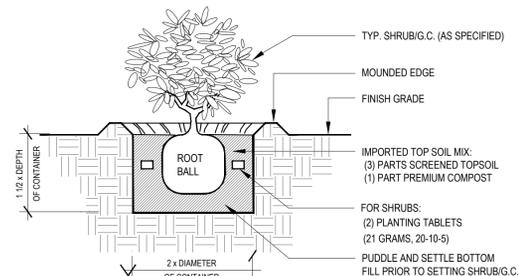


GENERAL SPECIFICATIONS

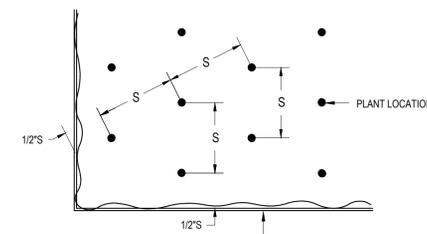
- INSTALLATION**
- EXCAVATE UNSUITABLE, UNSTABLE OR UNCONSOLIDATED SUBGRADE MATERIAL AND COMPACT THE AREA WHICH HAS BEEN CLEARED. THEN BACKFILL AND LEVEL WITH DENSE GRADED AGGREGATE SUITABLE FOR SUBBASE MATERIAL (4" OF COMPACTED CALICHE)
 - PLACE BEDDING COURSE OF WASHED CONCRETE SAND CONFORMING TO THE GRADING REQUIREMENTS OF ASTM C33 TO A UNIFORM DEPTH OF 1" TO 1 1/2" (25-38MM) SCREENED TO THE GRADE AND PROFILE REQUIRED.
 - INSTALL PAVERS WITH JOINTS APPROXIMATELY 1/8" (3MM). (PAVERS WITH SPACER RIBS AUTOMATICALLY PROVIDE MINIMUM JOINT WIDTH.)
 - WHERE REQUIRED, CUT PAVERS WITH AN APPROVED CUTTER TO FIT ACCURATELY, NEATLY AND WITHOUT DAMAGED EDGES.
 - TAMP PAVERS WITH A PLATE COMPACTOR, UNIFORMLY LEVEL, TRUE TO GRADE AND FREE OF MOVEMENT.
 - FILL JOINTS WITH POLYMERIC SAND BINDER (SANDLOCK OR APPROVED EQUAL.)

- NOTES:**
- INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 - DO NOT SCALE DRAWINGS.
 - CONFIRM COLOR AND SIZE WITH OWNER PRIOR TO INSTALLATION
 - CONTRACTOR TO PROVIDE 6x6' MOCKUP OF PAVING TO INCLUDE FIELD PATTERN, BORDER PATTERN COLORS AND EDGE RESTRAINT.

1 PAVING INSTALLATION DETAIL
NOT TO SCALE



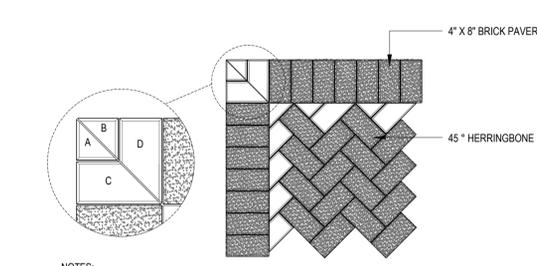
2 SHRUB/G.C. PLANTING DETAIL
NOT TO SCALE



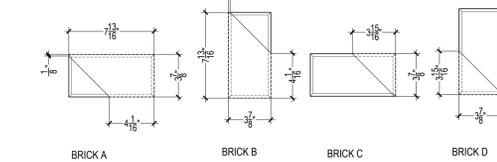
3 TRIANGULAR PLANT SPACING DIAGRAM
NOT TO SCALE

PAVING NOTES

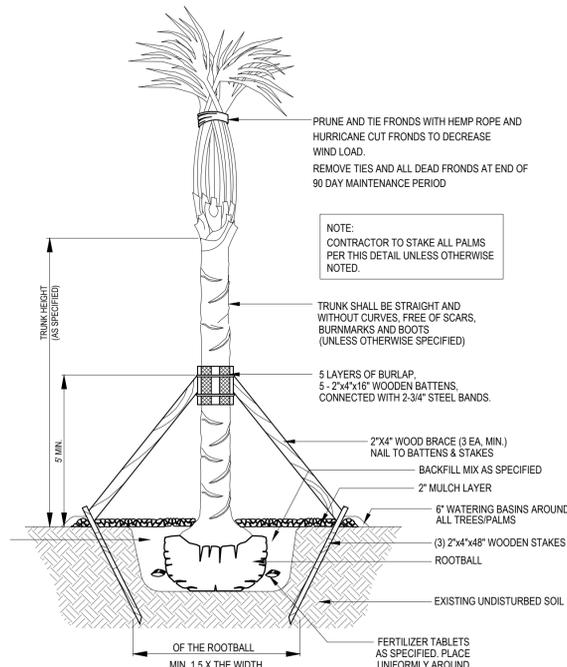
- CONTRACTOR SHALL REVIEW AND COORDINATE WITH EXISTING CONDITIONS. LOCATE AND PROTECT ALL UNDERGROUND UTILITIES, DRAINS, ELECTRICAL, ETC.
- CONTRACTOR TO FOLLOW CIVIL ENGINEER'S GRADING/DRAINAGE PLANS. ENSURE PROPER DRAINAGE AWAY FROM ALL BUILDINGS TO DRAIN INLETS PER GRADING/DRAINAGE PLANS.
- CONTRACTOR SHALL STAKE OUT ALL PAVING AREAS FOR SSP APPROVAL PRIOR TO STARTING ANY PAVING WORK.
- CONTRACTOR SHALL STRIP/REMOVE EXISTING UNSUITABLE SOIL/SOD/GRASS IN AL PAVEMENT AREAS.
- CONTRACTOR SHALL SUPPLY/INSTALL SELECT FILL, SUB-BASE, MOISTURE CONDITION, AND COMPACT SUB GRADE TO 95% PROCTOR DENSITY.
- CONTRACTOR SHALL SUPPLY/APPLY PRE-EMERGENT HERBICIDE TO SUB-BASE OF ALL PAVER AREAS. USE 'RONSTAR' PRE-EMERGENT HERBICIDE OR APPROVED EQUAL.
- CONTRACTOR SHALL SUPPLY/INSTALL PAVERS AS INDICATED IN SCHEDULE



- NOTES:**
- DIMENSIONS SHOWN ARE FOR A 90° CORNER. ADJUST DIMENSIONS ACCORDINGLY FOR OTHER ANGLED CORNERS.
 - ALL MITER CUTS TO BE EVEN AND CONSISTENT.



3 PAVES DETAIL - 90° MITER
NOT TO SCALE



5 PALM PLANTING DETAIL
NOT TO SCALE



SEAL

PROJECT

WALKOVER AT WHITECAP CIRCLE

SOUTH PADRE ISLAND, TEXAS

CLIENT



SOUTH PADRE ISLAND, TEXAS

P: 956-761-3044
F: 956-761-3898



MARK	DATE	DESCRIPTION

PROJECT NO.	1065-16
DATE	03-29-2021
DRAWN BY	AG
CHECKED BY	BD
SCALE	AS SHOWN

SHEET TITLE

LANDSCAPE SCHEDULES AND DETAILS

SHEET NO.

L3.01

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**CITY OF SOUTH PADRE ISLAND
SHORELINE TASK FORCE
AGENDA REQUEST FORM**

MEETING DATE: April 27, 2021

NAME & TITLE: Kristina Boburka, Shoreline Director

DEPARTMENT: Shoreline Department

ITEM

Discussion and action to recommend to City Council approval of a beach and dune permit for the construction of a parking lot located at Isla Blanca Park. (Boburka)

ITEM BACKGROUND

Construction of a parking lot at Isla Blanca Park behind the Sandpiper Pavilion. This portion of the Park is located within City limits.

BUDGET/FINANCIAL SUMMARY

N/A

COMPREHENSIVE PLAN GOAL

LEGAL REVIEW

Sent to Legal:

Approved by Legal:

RECOMMENDATIONS/COMMENTS:



CAMERON COUNTY

DEPARTMENT OF TRANSPORTATION

BENJAMIN L. WORSHAM, P.E. ★ COUNTY ENGINEER

December 16, 2020

Natalie Bell
Manager, Beach Access & Dune Protection Program
Coastal Resources Division
Texas General Land Office
1700 N. Congress Ave. Austin, TX
78701-1495

Re: Cameron County Isla Blanca Park Parking Lot #10 Construction and Dune Mitigation

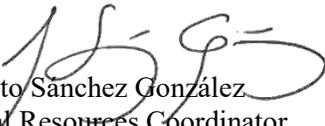
Dear Mrs. Bell,

We are pleased to submit the attached Beach Front Construction Certificate and Dune Protection Permit application for the planned Parking Lot #10 at Isla Blanca Park (adjacent to the new San Piper Pavilion). This project is an essential piece of infrastructure that will help Cameron County enhance public access to the beach.

The information contained in this permit application adheres to the latest requirements outlined in the latest version of the Dune Protection Plan and Erosion Response Plan effective since August 2019.

Please let us know let us know your comments and/or if there is any additional information needed to complete the permit requirements.

Sincerely,


Augusto Sanchez Gonzalez
Natural Resources Coordinator
Cameron County Dept. of Transportation
390 W. Expressway 83
San Benito, TX 78586

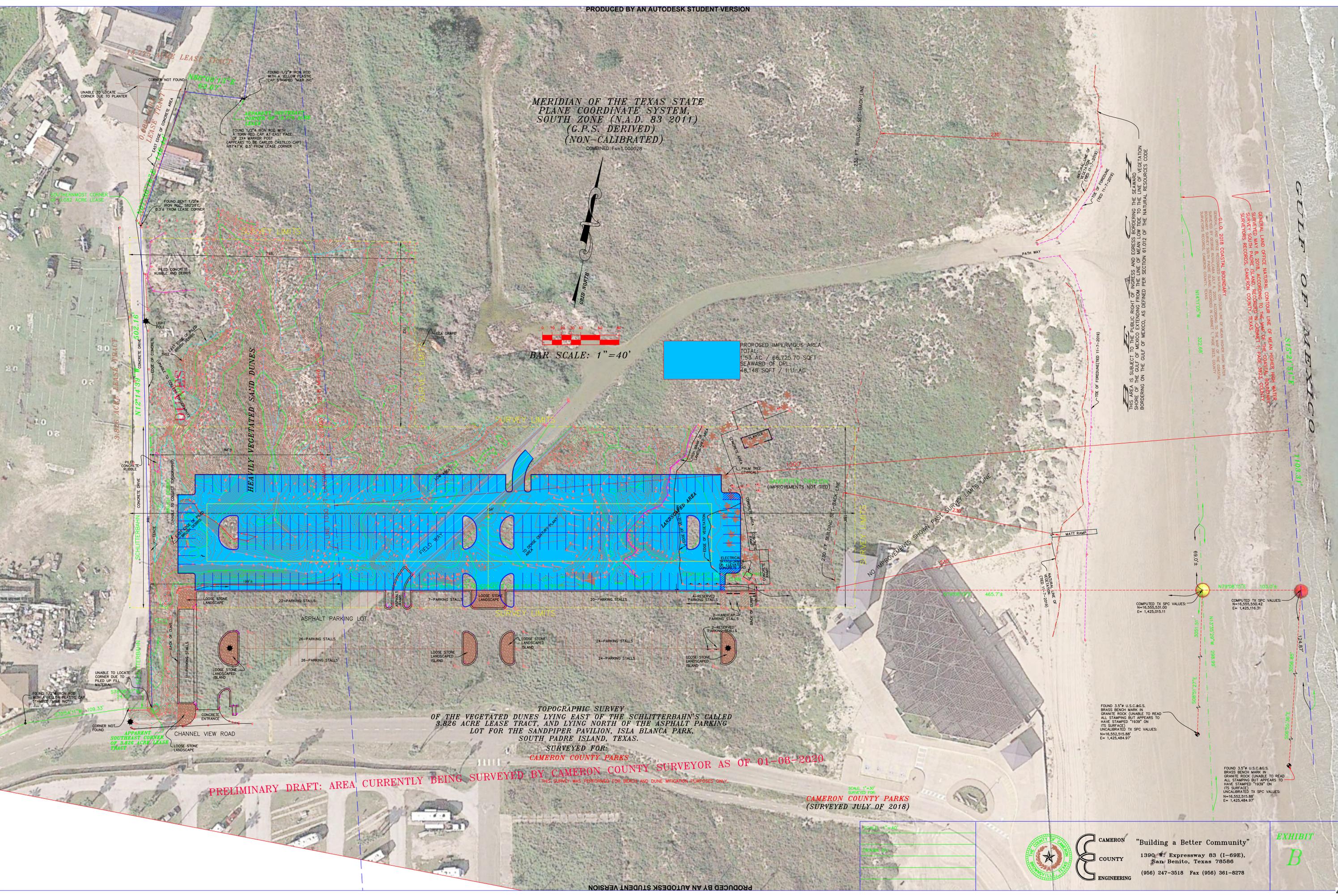
CC: Joe E. Vega, Cameron County Parks Director
Benjamin Worsham, Cameron County Engineer
Juan Gonzalez, Cameron County Chief Legal Counsel

MERIDIAN OF THE TEXAS STATE
PLANE COORDINATE SYSTEM,
SOUTH ZONE (N.A.D. 83 2011)
(G.P.S. DERIVED)
(NON-CALIBRATED)
COMBINED F=1.000028



BAR SCALE: 1"=40'

PROPOSED IMPERVIOUS AREA
TOTAL:
1.53 AC / 66,725.70 SQFT
SEAWARD OF DRL:
48,148 SQFT / 1.11 AC



TOPOGRAPHIC SURVEY
OF THE VEGETATED DUNES LYING EAST OF THE SCHLITTERBAHN'S CALLED
3.826 ACRE LEASE TRACT, AND LYING NORTH OF THE ASPHALT PARKING
LOT FOR THE SANDPIPER PAVILION, ISLA BLANCA PARK,
SOUTH PADRE ISLAND, TEXAS.

SURVEYED FOR:
CAMERON COUNTY PARKS

PRELIMINARY DRAFT: AREA CURRENTLY BEING SURVEYED BY CAMERON COUNTY SURVEYOR AS OF 01-08-2020
THIS SURVEY WAS PERFORMED FOR BEACH AND DUNE MITIGATION PURPOSES ONLY

SCALE: 1"=30'
SURVEYED FOR:
CAMERON COUNTY PARKS
(SURVEYED JULY OF 2018)

SCALE: 1"=40'
DRAWN BY:



"Building a Better Community"
CAMERON COUNTY ENGINEERING
1390 W. Expressway 83 (I-69E),
San Benito, Texas 78586
(956) 247-3518 Fax (956) 361-8278

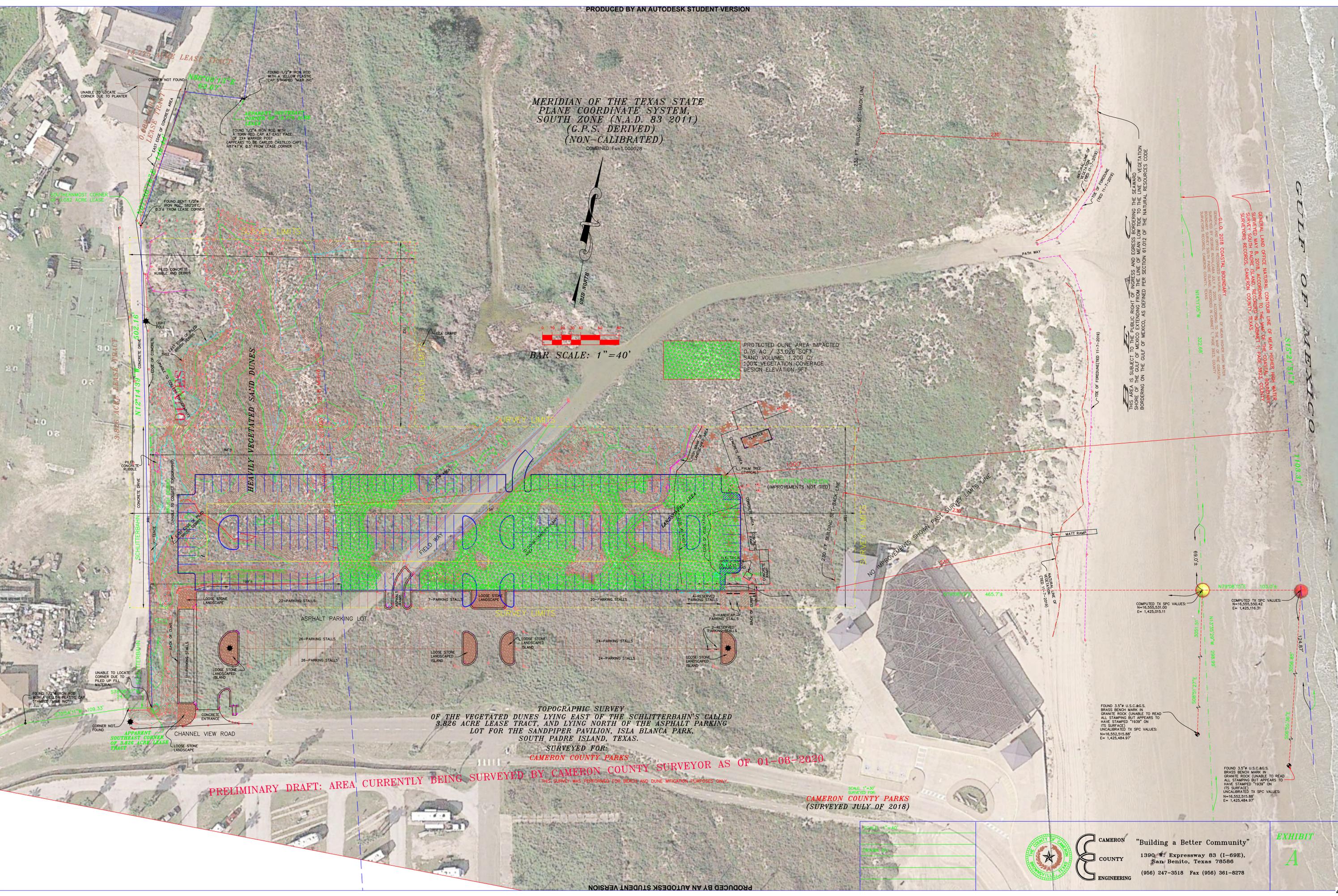
EXHIBIT
B

MERIDIAN OF THE TEXAS STATE
PLANE COORDINATE SYSTEM,
SOUTH ZONE (N.A.D. 83 2011)
(G.P.S. DERIVED)
(NON-CALIBRATED)
COMBINED F=1.000028



BAR SCALE: 1"=40'

PROTECTED DUNE AREA IMPACTED
0.76 AC / 33,026 SQ FT
SAND VOLUME: 1,200 CY
100% VEGETATION COVERAGE
DESIGN ELEVATION -9FT



TOPOGRAPHIC SURVEY
OF THE VEGETATED DUNES LYING EAST OF THE SCHLITTERBAHN'S CALLED
3.826 ACRE LEASE TRACT, AND LYING NORTH OF THE ASPHALT PARKING
LOT FOR THE SANDPIPER PAVILION, ISLA BLANCA PARK,
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SCALE: 1"=30'
SURVEYED FOR:
CAMERON COUNTY PARKS
(SURVEYED JULY OF 2018)

THIS AREA IS SUBJECT TO THE PUBLIC RIGHT OF INGRESS AND EGRESS BORDERING THE SEAWARD
MEXICO EXTENDING FROM THE LINE OF MEAN LOW TIDE TO THE LINE OF VEGETATION
BORDERING ON THE GULF OF MEXICO, AS DEFINED PER SECTION 61.012 OF THE NATURAL RESOURCES CODE

GENERAL LAND OFFICE NATURAL CONTIGUOUS LINE OF MEAN HIGHER HIGH WATER
SURVEYED MAY 8, 2016 ACCORDING TO THE MAP OF THE COASTAL BOUNDARY
SURVEY SOUTH PADRE ISLAND, RECORDED IN COMBENT 11-7-2019-2019, CAMERON COUNTY, TEXAS.
SURVEYORS RECORDS, CAMERON COUNTY, TEXAS.

COMPUTED TX SPC VALUES:
N=16,555,531.00
E=1,425,015.11

COMPUTED TX SPC VALUES:
N=15,505,550.42
E=1,425,116.31

FOUND 3.5" U.S.C.&G.S.
BRASS BENCH MARK IN
GRANITE ROCK (UNABLE TO READ
ALL STAMPING BUT APPEARS TO
HAVE STAMPED "1939" ON
ITS SURFACE)
UNCALIBRATED TX SPC VALUES:
N=16,552,515.88
E=1,425,484.97

FOUND 3.5" U.S.C.&G.S.
BRASS BENCH MARK IN
GRANITE ROCK (UNABLE TO READ
ALL STAMPING BUT APPEARS TO
HAVE STAMPED "1939" ON
ITS SURFACE)
UNCALIBRATED TX SPC VALUES:
N=16,552,515.88
E=1,425,484.97

SCALE: 1"=40'
DRAWN BY:



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EXHIBIT
A

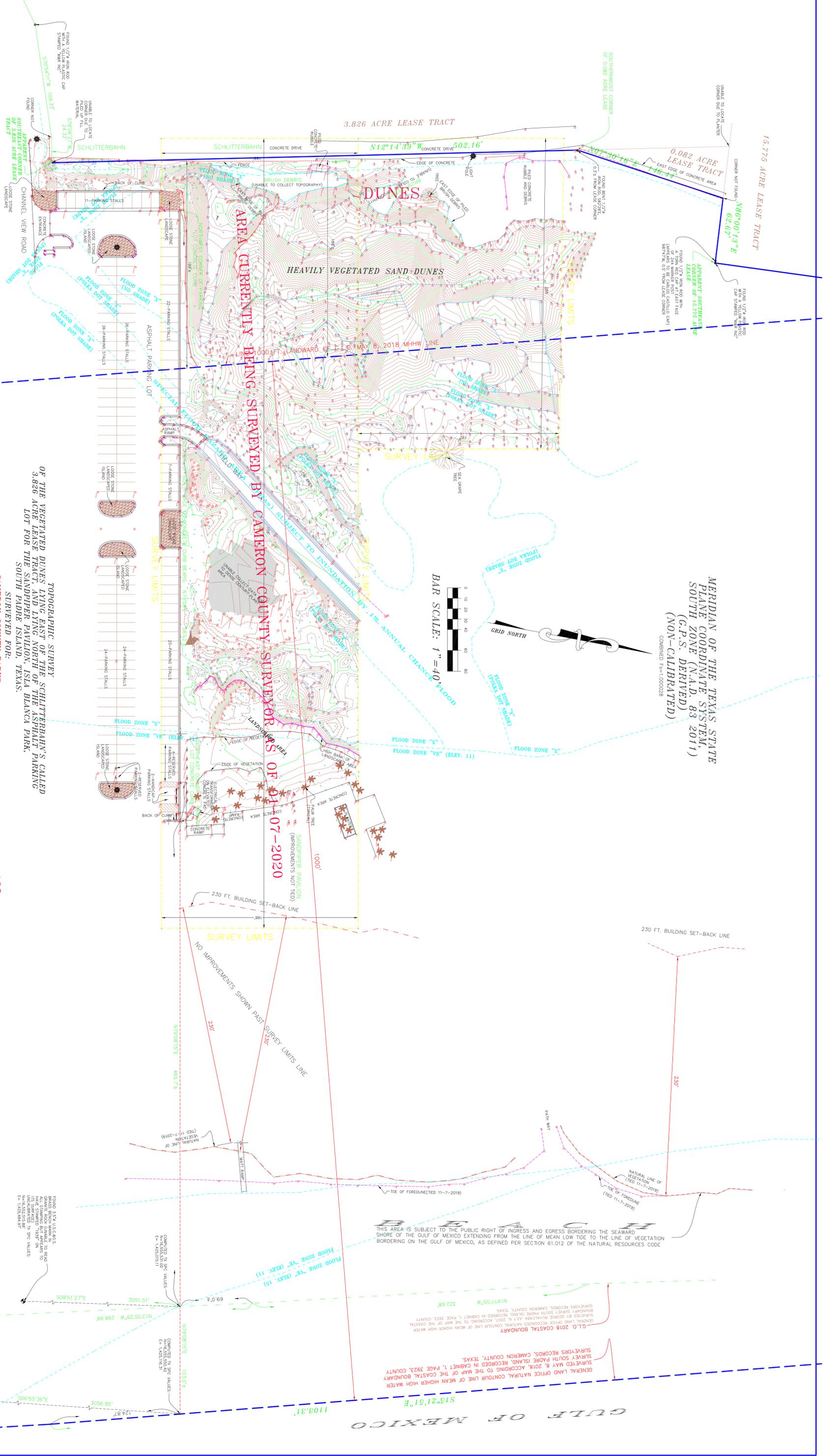
15.775 ACRE LEASE TRACT

0.082 ACRE LEASE TRACT

3.826 ACRE LEASE TRACT

MERIDIAN OF THE TEXAS STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (N.A.D. 83 2011) (G.P.S. DERIVED) (NON-CALIBRATED) COMBINED F=1.0000028

BAR SCALE: 1" = 40'



PRELIMINARY DRAFT: AREA CURRENTLY BEING SURVEYED BY CAMERON COUNTY SURVEYOR AS OF 01-08-2020

TOPOGRAPHIC SURVEY OF THE VEGETATED DUNES LYING EAST OF THE SCHLITTERBAHN'S CALLED 3.826 ACRE LEASE TRACT, AND LYING NORTH OF THE ASPHALT PARKING LOT FOR THE SANDPIPER PAVILION, ISLA BLANCA PARK, SOUTH PADRE ISLAND, TEXAS. SURVEYED FOR: CAMERON COUNTY PARKS

SURVEYOR'S CERTIFICATION: I, FELIX RODRIGUEZ, CAMERON COUNTY'S SHERIFF HEREBY CERTIFY THAT THIS BOUNDARY AND TOPOGRAPHIC SURVEY, SHOWN HEREON, IS BASED ON AN ACTUAL ON-THE-GROUND SURVEY PERFORMED BY ME AND WAS UNDER MY SUPERVISION ON NOVEMBER 7th, 2019. ALL DISTANCES SHOWN ARE IN FEET AND DECIMALS OF A FOOT THEREOF.

CAMERON COUNTY PARKS (SURVEYED JULY OF 2018)

SCALE: 1"=40'	DATE: 01/07/2020
DRAWN BY: FELIX R.	

CAMERON COUNTY ENGINEERING

"Building a Better Community"

1390 W. Expressway 83 (I-69EB), San Benito, Texas 78586

(959) 247-3518 Fax (959) 361-8278

SHEET NO. 1 OF 1

Isla Blanca Park Parking lot No. 10 Beachfront
Construction Certificate and Dune Protection Permit
Application

Texas General Land Office Checklist



CAMERON COUNTY ★
Parks and Recreation

Submitted by:

Joe E. Vega

Cameron County Parks Director

1. Applicant Information

Name: County of Cameron
Address: 1100 E Monroe St, Brownsville, TX 78520
Phone number: 956-761-3700; **Fax:** 956-761-5317

2. Property Information

Name of property owner: County of Cameron, TX

Complete legal description of tract

Boundary of Survey of 242.693 acres, more or less- Isla Blanca Park Tracts- out of the Nicolas \$ Juan Jose Balli Survey, abst. No- 260 & the Brownsville Navigation District survey, abst. No- 264 South Padre Island, Cameron County, TX.

Situs address (if available)

33174 State Park Rd. 100, South Padre Island, TX

3. Site Information

Approximate percentage of existing open spaces (areas completely free of structures)

Currently, approximately 98%, or 3,421,137 square feet, of Isla Blanca Park seaward of the Dune Protection Line is free of buildings. However, the site has been extensively improved and is dominated by 629 RV pads, roads, parking areas, two large public pavilions, and smaller facilities such as restrooms, bait shop/restroom and, cabanas.

Dated photographs of the site that clearly show the current location of the vegetation line and the existing dunes on the tract and the adjacent property from directions south, north, east, and west



View looking East



View looking West



Copy of FEMA elevation requirements

The area where the new parking lot projected to be, has sections in Zone X (0.2% floodplain) and Zone AE (1% floodplain).

National Flood Hazard Layer FIRMette



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS

- Without Base Flood Elevation (BFE) Zone A, V, AE
- With BFE or Depth Zone AE, AD, AH, VE, AR
- Regulatory Floodway

OTHER AREAS OF FLOOD HAZARD

- 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
- Future Conditions 1% Annual Chance Flood Hazard Zone X
- Area with Reduced Flood Risk due to Levee. See Notes. Zone X
- Area with Flood Risk due to Levee Zone D

OTHER AREAS

- NO SCREEN Area of Minimal Flood Hazard Zone X
- Effective LOMRs
- Area of Undetermined Flood Hazard Zone

GENERAL STRUCTURES

- Channel, Culvert, or Storm Sewer
- Levee, Dike, or Floodwall

OTHER FEATURES

- Cross Sections with 1% Annual Chance Water Surface Elevation
- Coastal Transect
- Base Flood Elevation Line (BFE)
- Limit of Study
- Jurisdiction Boundary
- Coastal Transect Baseline
- Profile Baseline
- Hydrographic Feature

MAP PANELS

- Digital Data Available
- No Digital Data Available
- Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 10/28/2020 at 5:10 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmapped areas cannot be used for regulatory purposes.

Figure: FEMA FIRMette Isla Blanca Park.

Most recent local erosion rate data (based on published data from the Bureau of Economic Geology, University of Texas, Austin)

According to the Bureau of Economic Geology, the beach at Isla Blanca Park is accreting at a rate of 5.71 feet per around the area where the new parking lot will be located. (See the UT BEG Shoreline Change Map 2012 (<https://coastal.beg.utexas.edu/shorelinechange2012/>) and Tiffany L. Caudle, et al., Final Report, Beach and Dune Analysis Using Chiroptera Imaging System, South Padre and Brazos Islands, Texas Gulf Coast. BEG, Report to the Texas Coastal Coordination Council pursuant to National Oceanic and Atmospheric Administration Award No. NA12NOS4190021, page 36).



Figure: Erosion Rates at the site designated for Parking Lot # 10 (From UT BEG Shoreline Change map, 2020)

Activity’s potential impact on coastal erosion

The shoreline within the beach access is accreting and the proposed project is expected to have no detrimental impact on the shoreline change rates. The applicant has taken considerations to plan and design the proposed project to limit potential coastal erosion impacts. The construction of the parking lot will be nearly 300 ft landward ft from the line of toe of the south dune.

The Construction of the new parking area will have an impact of 33, 026 sqft with 100% of vegetation cover. The sand removed (1,200 CY) will be used to reinforce the mitigated dune built seaward of the new D.J. Lerma pavilion, south of the proposed parking lot.

4. Proposed Project

Approximate duration of the construction

16 weeks

Approximate percentage of finished open spaces (areas completely free of structures)

The approximate percentage of finished open spaces is 100%.

Number of proposed structures (specify whether proposed structures are habitable structures or amenities)

Parking lot with capacity for 222 cars.

Description (including location) of any existing or proposed walkways or dune walkovers on the tract

There are no existing nor proposed walkways or dune walkovers on the tract.

Floor plan and elevation view of the proposed structure to be constructed or expanded showing all plumbing plans

Exhibit A shows the location and grading plan of the parkinglot.

Description including type and location of proposed impervious and pervious surface(s)

The proposed asphalt has a surface area of 66,725 ft².

There are 6 landscape islands that amount to 1,620ft² of impervious area.

See Exhibit B

Depiction of extent of proposed impervious and pervious surface(s)

See Exhibit A for details.

Description of any existing concrete or fibercrete on tract

There is no concrete or fibercrete at the proposed site.

Statement written by applicant affirming that the construction, the completed structure, and use of or access to and from the structure will not adversely affect the public beach or public beach access ways or exacerbate erosion.

The proposed parking lot will improve public access to beach via the newly constructed pavilion and boardwalk. The parking is proposed to be approximately 300 ft landward of the existing line of vegetation, exceeding the requirement established in the Erosion Response Plan. Additionally, Isla Blanca Park beaches are currently in accretion as per data published by the UT BEG. This project will not negatively impact the public beach, access to it nor exacerbate erosion in the area.

Proof of financial assurance for proposed structures in eroding areas to fund eventual relocation or demolition of proposed structure (e.g. Upton-Jones coverage in the National Flood Insurance Program)

Cameron County is fully financially capable of implementing any financial assurance requirements.

5. Dune Mitigation Information (if dunes or dune vegetation are disturbed)

Comprehensive mitigation plan that includes a detailed description of the methods that will be used to avoid, minimize, mitigate, and/or compensate for any adverse effects on dunes or dune vegetation

Cameron County is planning to build a new parking lot at the north end of Isla Blanca Park . In compliance with the mitigation sequence of the Cameron County Public Access and Dune Protection Plan, the applicant has adhered to the following mitigation requirements:

- a. *Avoidance* - Cameron County has designed the proposed project in such a way that avoids any further disruption of the dune system on the site location. By not placing the proposed parking lot seaward of the 230ft building setback line, the applicant will avoid further impact to critical dunes and dune vegetation in the project site.

- b. *Minimization* – The electric pole will be located at the south corner of the entrance. The impact on the dunes will be only temporary. The sand removed to complete this project will be placed back in the same place.
- c. *Mitigation* – The proposed improvements to Isla Blanca Park are expected to impact approximately 1,200 cubic yards of dune volume and 33,026 square feet of dune vegetation. In order to mitigate for dune volume lost to the grading of the parking lot areas, the applicant plans to place 1,200 cubic yards of beach quality sand seaward of the proposed structure in a nearby mitigated dune to increase its robustness. In conjunction, the applicant will re-establish 33,026 square feet of vegetated dune area seaward of the proposed construction with plants installed one-foot on center.
- d. *Compensation* - The re-established and mitigated dune area seaward of the proposed structures will provide a higher level of protection to the upland structures and to public property. See e

Proof of applicant’s financial capability to mitigate or compensate for adverse effects on dunes and dune vegetation (e.g. an irrevocable letter of credit or a performance bond)

As a local government, Cameron County is fully financially capable of implementing any requirements.

6. Maps and Surveys (see attached survey and site plan for the items listed below)

Please submit applicable information on one or more map, site plan, or plat as needed.

Exhibits A, B, C, D, and E contains all the information below unless it determined not applicable (N.A.) due to the nature of this project.

Accurate map, site plan, or plat of the site identifying the following:

- Legal description of the site, including, where applicable, the subdivision, block, and lot
- Location of property lines and a notation of the legal description of adjoining tracts
- Size of the tract in acres or square feet
- Location of proposed and existing structures
- Location of the project area of the proposed construction on the tract
- Size of proposed project area in acres or square feet
- Location of footprint or perimeter of the proposed construction on the tract (specify whether proposed structures are habitable structures or amenities)
- Location of proposed or existing roadways, driveways, and parking areas on the tract
- Location of proposed or existing dune walkovers on the tract
- Location of proposed landscaping activities on the tract
- Location of dune protection line and the distance between the proposed construction and the dune protection line.
- Location of line of vegetation and the distance between the proposed construction and the line of vegetation

Distance between the proposed construction and mean high tide

Distance between the proposed construction and landward limit of beachfront construction area

Location of any retaining walls, seawalls, or erosion response structures on the tract and on properties immediately adjacent to the tract and within 100 feet of the common property line: N.A.

Location and extent of any man-made vegetated mounds, restored dunes, fill activities, or other pre-existing human modifications on the tract (if known)

Location of any proposed impervious or pervious surfaces

Distance between any proposed impervious or pervious surfaces and the north toe of the dune

Distance between any proposed impervious or pervious surfaces and the line of vegetation

A grading and layout plan identifying all elevations (in reference to the National Oceanic and Atmospheric Administration datum), existing contours of the project area (including the location of dunes and swales), wetlands, and proposed contours for the final grade.

Current topographic map, provided by a licensed surveyor, depicting any and all proposed changes to the terrain (topographic map should indicate any and all changes to the natural or man-made environment within the Critical Dune Area)

7. Information to be Submitted if Available

Copy of the FEMA Elevation Certificate
No elevation certificate is available

8. Additional Requirements for Large-scale Construction

This project is not considered a large-scale construction activity.

9. Detailed Site Plan

Show all proposed improvements, proposed dune alternations, and pre-construction and post-construction dune contours at 1-foot intervals, and the projected shoreline position:
On exhibit A and B and C.

The surveyed Line of Vegetation subject to review and approval by the Land Office:
On Exhibit E. Determined based on the Coastal Boundar Survey by TxGLO (2018)

The surveyed line of mean higher high water (MHHW)
On Exhibit E.

The surveyed location of the building setback line and buffer area as defined herein:
On Exhibit E.

The future projected shoreline position at 10, 20, 30 and 50 years from the year of the application, based on multiplying the erosion rate for the parcel times the number of applicable years covering an area of at least 1,000 feet on either side of the parcel and including the parcel:
On Exhibit B.

One-foot dune elevation contours within the parcel and within the area of construction Impact:
On Exhibit E.

The extent of vegetative cover expressed as a percentage of the area or sub-area and in square footage, (documented by color photos and the survey) on the parcel and within the area of construction impact:
On Exhibit C.

Complete calculation of all impacts to dune volume (cubic yards) and dune vegetation (square footage) of the project

Elevation	Area sqft	volume cuft
9	33,025.85	0
9.5	21,111.91	13,534.44
10	6,450.10	6,890.50
10.5	8,987.62	3,859.43
11	3,798.57	3,196.55
11.5	2,585.82	1,596.10
12	1,869.00	1,113.71
12.5	1,300.11	792.28
13	974.87	568.75
13.5	594.70	392.39
14	327.32	230.51
14.5	142.00	117.33
15	78.47	55.12
15.5	40.25	29.68
16	5.24	11.37

	Total	32,388.14
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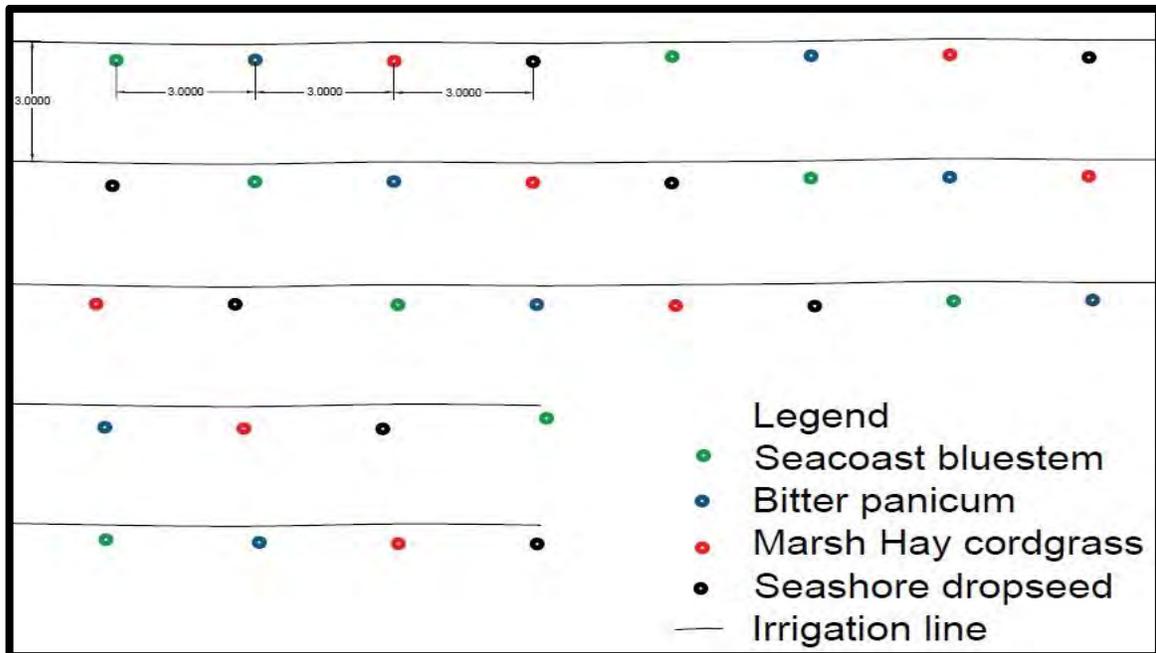
The total amount of sand to be disturbed and to mitigate in 1:1 ratio is 1,200 cu.yd. Based on areal imagery and the topographic survey the total area to be impacted is 33,025 sq.ft fully vegetated.

10. Dune Mitigation Plan

In this project all mitigation for damage to dune volume and vegetation will comply with all applicable standards in the current Cameron County Beach Access & Dune Protection Plan, the Land Office Beach/Dune rules, (Texas Administrative Code, Title 31, § 15.4(f)), and this ERP.

Dune plant mitigation will be conducted with only Coastal South Texas native plants. Based on availability, the plants will be at least two different species from these options: Bitter Panicum, Sea Oats, Seacoast bluestem, Marsh hay Cordgrass or Seashore dropseed.

All dune volume impacted, displaced or disturbed by the proposed construction must be used for mitigation and dune restoration at the same place from where it was originally disturbed. The mitigated dune will be conducted at a 1:1 ratio in terms of sand volume and vegetation coverage based on the pre-mitigation survey. The figure below shows a proposed panting pattern. The plant species listed are the selected candidates.





TEXAS GENERAL LAND OFFICE
GEORGE P. BUSH, COMMISSIONER

March 5, 2021

Via Electronic Mail

Mr. Augusto Sanchez González
Natural Resources Coordinator
Cameron County Department of Transportation
390 W. Expressway 83
San Benito, Texas 78586

Dune Protection Permit and Beachfront Construction Certificate in Cameron County

Site Address: 33174 State Park Road 100 (Isla Blanca Park), South Padre Island
Legal Description: Boundary Survey of 242.693 acres, Isla Blanca Park Tracts- out of the Nicolas & Juan Jose Balli Survey Abstract No 260, Brownsville Navigation District Survey Abstract No 264, South Padre Island
Lot Applicant: Cameron County c/o Joe Vega
GLO ID No.: BDCAM-20-0372a

Dear Mr. Sanchez González,

The General Land Office (GLO) has reviewed the additional application materials for a large-scale dune protection permit and beachfront construction certificate for the above-referenced location. Cameron County proposes to construct an additional parking lot at Isla Blanca Park and mitigate for impacts, as well as relocate sand from landward of the Dune Protection Line to restored dunes adjacent to the beach. The proposed construction will impact approximately 1,200 cubic yards of dune volume and 33,026 square feet of dune vegetation, and the County is proposing to mitigate and compensate for 1,239 cubic yards of dune volume sand and 33,607 square feet of dune vegetation. According to the Bureau of Economic Geology, the proposed construction is located in an area that is stable to accreting.

- The mitigated dunes must be continuous with any surrounding naturally formed dunes and must approximate the natural position, contour, volume, elevation, and vegetative cover of any naturally formed dunes in the restoration area.¹
- The County shall allow restoration of dunes on the public beach no more than 20 feet seaward of the landward boundary of the public beach. The County shall ensure that the 20-foot restoration area follows the natural migration of the vegetation line.²
- The County shall not restore dunes, even within the 20-foot corridor, if such dunes would restrict or interfere with the public use of the beach at normal high tide.³
- The proposed construction activities must not result in the potential for increased flood damage to the proposed construction site or adjacent property, result in runoff or drainage patterns that aggravate

¹ 31 Tex. Admin. Code §15.7(e)(3).

² 31 Tex. Admin. Code §15.7(e)(1).

³ 31 Tex. Admin. Code §15.7(e)(2).

erosion, cause significant changes to dune hydrology, adversely affect dune complexes or dune vegetation, or significantly increase the potential for washovers or blowouts to occur.⁴

- The County must restore dunes to approximate the naturally formed dune position or location, contour, volume, elevation, vegetative cover, and sediment content in the area.⁵
- The County must restore or repair dunes using indigenous vegetation that will achieve the same protective capability or greater capability as the surrounding natural dunes.⁶
- The County must conduct mitigation and compensation efforts continuously until the repaired, rehabilitated, and restored dunes and dune vegetation are equal or superior to the pre-existing dunes and dune vegetation. These efforts shall include preservation and maintenance pending completion of compensation.⁷
- The County shall determine a mitigation project is complete when the dune restoration project's position, contour, volume, elevation, and vegetative cover have reached a level that matches or exceeds the surrounding naturally formed dunes.⁸
- The County shall provide written notification to the GLO after determining that the mitigation and compensation is complete. The GLO may conduct a field inspection to verify compliance.⁹

If you have any questions, please contact me by phone at (512) 463-0413 or by email at natalie.bell@glo.texas.gov.

Sincerely,



Natalie Bell
Beach Access & Dune Protection Program
Coastal Resources Division
Texas General Land Office

⁴ 31 Tex. Admin. Code § 15.4(d).

⁵ 31 Tex. Admin. Code § 15.4(f)(3)(A)(i).

⁶ 31 Tex. Admin. Code § 15.4(f)(3)(A)(iv).

⁷ 31 Tex. Admin. Code § 15.4(g)(2).

⁸ 31 Tex. Admin. Code § 15.4(g)(3).

⁹ 31 Tex. Admin. Code § 15.4(g)(4).

**CITY OF SOUTH PADRE ISLAND
SHORELINE TASK FORCE
AGENDA REQUEST FORM**

MEETING DATE: April 27, 2021

NAME & TITLE: Kristina Boburka, Shoreline Director

DEPARTMENT: Shoreline Department

ITEM

Discussion on placement options for the material to be dredged from Tompkins Channel for the Coastal Erosion Planning and Response Act (CEPRA) grant application. (Boburka)

ITEM BACKGROUND

BUDGET/FINANCIAL SUMMARY

COMPREHENSIVE PLAN GOAL

LEGAL REVIEW

Sent to Legal:

Approved by Legal:

RECOMMENDATIONS/COMMENTS:

**CITY OF SOUTH PADRE ISLAND
SHORELINE TASK FORCE
AGENDA REQUEST FORM**

MEETING DATE: April 27, 2021

NAME & TITLE: Kristina Boburka, Shoreline Director

DEPARTMENT: Shoreline Department

ITEM

Update on the upcoming beach renourishment event scheduled to begin in May 2021 with Weeks Marine and the United States Army Corps of Engineers. (Boburka)

ITEM BACKGROUND

Dredge work should begin the first or second week of May. Material will be split 75/25 with the City and the County. it is estimated that a total 360,000 cubic yards will need to be dredged. About 90,000 will be placed at Isla Blanca Park and an estimated 270,000 cubic yards is expected in Placement Area 5 on the north end of the City limits.

The project will be completed with a hopper dredge, which will not require a pipe to run the length of the beach.

BUDGET/FINANCIAL SUMMARY

COMPREHENSIVE PLAN GOAL

LEGAL REVIEW

Sent to Legal:

Approved by Legal:

RECOMMENDATIONS/COMMENTS:

BRAZOS ISLAND HARBOR, TEXAS JETTY AND ENTRANCE CHANNEL HOPPER DREDGING



Coastal Navigation and Environmental Restoration

Office of the District Engineer
U. S. Army Engineer District, Galveston
Corps of Engineers
Galveston, Texas
August 2020

This project was designed by the Galveston District of the U.S. Army Corps of Engineers. The initials or signatures and registration designations of individuals appear on these project documents within the scope of their employment as required by ER 1110-1-8152.

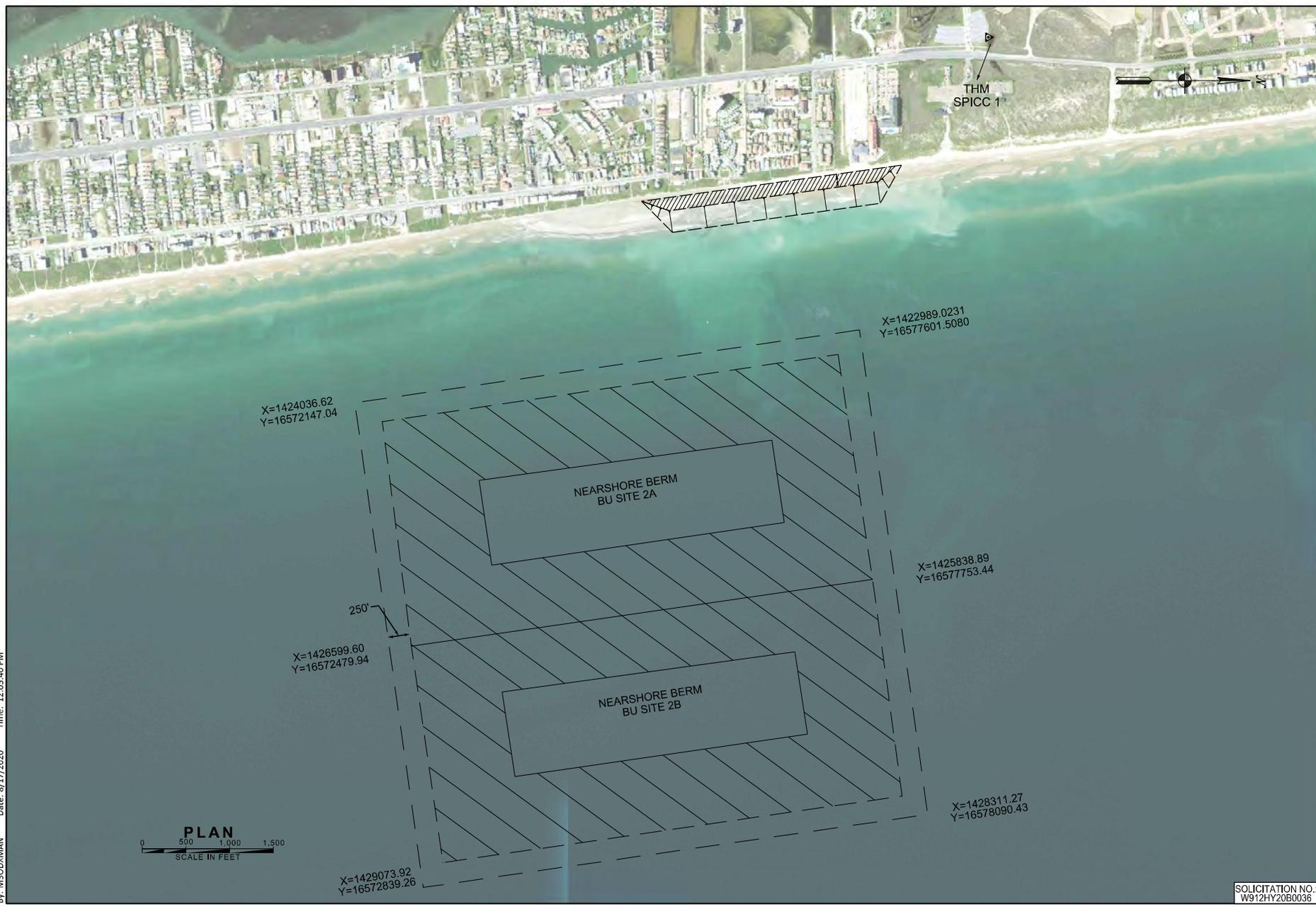
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Date: 2020.08.18 08:40:51 -05'00'

WILLIE JOE HONZA, P.E.
CHIEF, ENGINEERING BRANCH

SOLICITATION NO.: W912HY20B0036
SWG FILE NO.: RIO 901-267

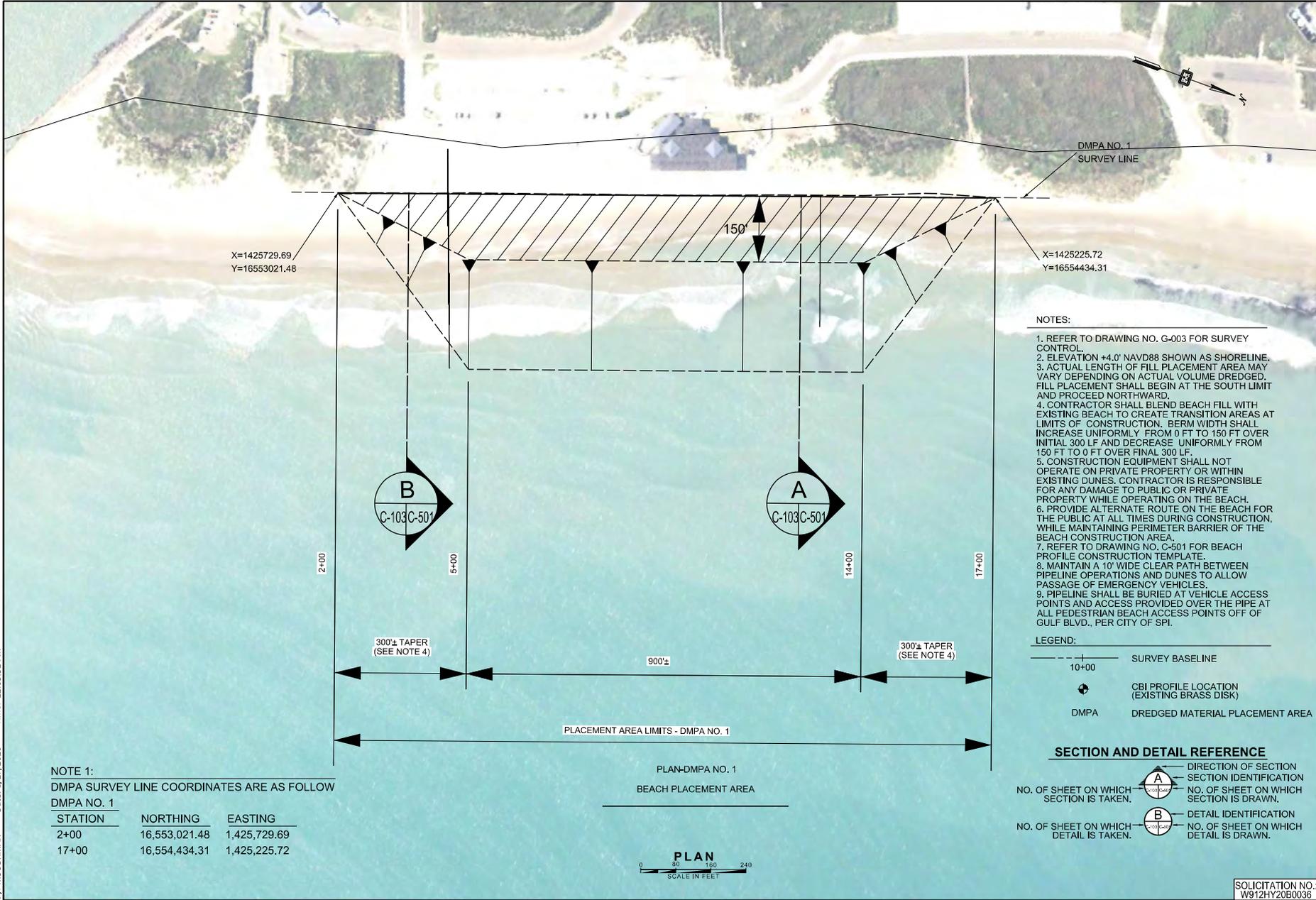


File: W:\CADD\Projects\RIO\901-267_BH_Letty Channel FY20\PLANS-S\RIO-901-267_CONTRACT-PLANS_TxS-83.dgn
Model Name: C-102
By: M3ODKMAN Date: 8/17/2020 Time: 12:05:40 PM



<p>U.S. Army Corps of Engineers Galveston District</p>	
<p>Drawn by: ADJ Checked by: M3S Submitted by: AND</p>	<p>Date: 8/17/2020</p>
<p>Project: RIO-901-267 Title: NEARSHORE BERM BU SITE 2A AND 2B Approval Recommendation: APPROVED</p>	<p>Prepared Under the Direction of: TIMOTHY R. VAIL COLONEL, U.S. ARMY, COMMANDING</p>
<p>BRAZOS ISLAND HARBOR, TEXAS JETTY AND ENTRANCE CHANNEL HOPPER DREDGING NEARSHORE BERM BU SITE 2A AND 2B</p>	
<p>Drawing No.: C-102</p>	
<p>SOLICITATION NO.: W912HY20B0036</p>	

File: W:\CADD\Projects\RIO\901-267 BH Jetty Channel FYZ0\PLANS-S\RIO-901-267 CONTRACT-PLANS_T&S-83.dgn
Model Name: C-103
By: M3DDXMAN Date: 8/17/2020 Time: 12:05:51 PM



NOTE 1:
DMPA SURVEY LINE COORDINATES ARE AS FOLLO
DMPA NO. 1

STATION	NORTHING	EASTING
2+00	16,553,021.48	1,425,729.69
17+00	16,554,434.31	1,425,225.72

NOTES:

1. REFER TO DRAWING NO. G-003 FOR SURVEY CONTROL.
2. ELEVATION +4.0' NAVD88 SHOWN AS SHORELINE.
3. ACTUAL LENGTH OF FILL PLACEMENT AREA MAY VARY DEPENDING ON ACTUAL VOLUME DREDGED. FILL PLACEMENT SHALL BEGIN AT THE SOUTH LIMIT AND PROCEED NORTHWARD.
4. CONTRACTOR SHALL BLEND BEACH FILL WITH EXISTING BEACH TO CREATE TRANSITION AREAS AT LIMITS OF CONSTRUCTION. BERM WIDTH SHALL INCREASE UNIFORMLY FROM 0 FT TO 150 FT OVER INITIAL 300 LF AND DECREASE UNIFORMLY FROM 150 FT TO 0 FT OVER FINAL 300 LF.
5. CONSTRUCTION EQUIPMENT SHALL NOT OPERATE ON PRIVATE PROPERTY OR WITHIN EXISTING DUNES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO PUBLIC OR PRIVATE PROPERTY WHILE OPERATING ON THE BEACH.
6. PROVIDE ALTERNATE ROUTE ON THE BEACH FOR THE PUBLIC AT ALL TIMES DURING CONSTRUCTION, WHILE MAINTAINING PERIMETER BARRIER OF THE BEACH CONSTRUCTION AREA.
7. REFER TO DRAWING NO. C-501 FOR BEACH PROFILE CONSTRUCTION TEMPLATE.
8. MAINTAIN A 10' WIDE CLEAR PATH BETWEEN PIPELINE OPERATIONS AND DUNES TO ALLOW PASSAGE OF EMERGENCY VEHICLES.
9. PIPELINE SHALL BE BURIED AT VEHICLE ACCESS POINTS AND ACCESS PROVIDED OVER THE PIPE AT ALL PEDESTRIAN BEACH ACCESS POINTS OFF OF GULF BLVD., PER CITY OF SPI.

LEGEND:

- SURVEY BASELINE
- 10+00
- ⊕ CBI PROFILE LOCATION (EXISTING BRASS DISK)
- DMPA DREDGED MATERIAL PLACEMENT AREA

SECTION AND DETAIL REFERENCE

- SECTION IDENTIFICATION
 NO. OF SHEET ON WHICH SECTION IS TAKEN.
- DETAIL IDENTIFICATION
 NO. OF SHEET ON WHICH DETAIL IS DRAWN.

U.S. Army Corps of Engineers
Galveston District

Date: _____ Drawn by: _____ Checked by: _____ Approved by: _____ Title: _____	Date: _____ Drawn by: _____ Checked by: _____ Approved by: _____ Title: _____
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BRAZOS ISLAND HARBOR, TEXAS
 JETTY AND ENTRANCE CHANNEL
 HOPPER DREDGING
 PLAN
 DMPA NO. 1
 BEACH PLACEMENT AREA
 (OPTION 5)

Drawing No.:
C-103

SOLICITATION NO.: W912HY20B0036
 SWG FILE NO. RIO 901-267

