

**NOTICE OF SPECIAL MEETING  
CITY OF SOUTH PADRE ISLAND  
SHORELINE TASK FORCE**

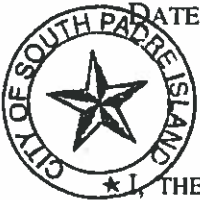
**NOTE: *One or more members of the City of South Padre Island City Council may attend this meeting; if so, this statement satisfies the requirements of the OPEN MEETINGS ACT.***

NOTICE IS HEREBY GIVEN THAT THE SHORELINE TASK FORCE OF THE CITY OF SOUTH PADRE ISLAND, TEXAS, WILL HOLD A MEETING ON:

**TUESDAY, SEPTEMBER 4, 2018  
3:00 P.M. AT THE MUNICIPAL BUILDING,  
CITY COUNCIL CHAMBERS, 2<sup>ND</sup> FLOOR  
4601 PADRE BOULEVARD, SOUTH PADRE ISLAND, TEXAS**

1. Call to Order.
2. Pledge of Allegiance.
3. Public Comments and Announcements: *This is an opportunity for citizens to speak to Task Force relating to agenda or non-agenda items. Speakers are required to address the Shoreline Task Force at the podium and give their name before addressing their concerns. [Note: State law will not permit the Shoreline Task Force to discuss debate or consider items that are not on the agenda. Citizen Comments may be referred to City Staff or may be placed on the agenda of a future Shoreline Task Force meeting]*
4. Approval of the August 13, 2018 meeting minutes.
5. Discussion and action to recommend to City Council the approval of a Beach and Dune Permit for 5106-5108 Gulf Boulevard South Padre Island Texas. (B. Hill)
6. Discussion and action to recommend to City Council the results of the access mat request for proposal (RFP) review. (B. Hill)
7. Discussion and action to recommend to City Council proposed amendments to the South Padre Island Beach User Fee (BUF) Plan and for the publication of a "Request for Proposals" to solicit a third party paid parking vendor. (B. Hill)
8. Adjournment

DATED THIS THE 28TH DAY OF AUGUST 2018.



Susan Hill, City Secretary

★ I, THE UNDERSIGNED AUTHORITY, DO HEREBY CERTIFY THAT THE ABOVE NOTICE OF MEETING OF THE SHORELINE TASK FORCE OF THE CITY OF SOUTH PADRE ISLAND, TEXAS IS A TRUE AND CORRECT COPY OF SAID NOTICE AND THAT I POSTED A TRUE AND CORRECT COPY OF SAID NOTICE ON THE BULLETIN BOARD AT CITY HALL/MUNICIPAL BUILDING ON **AUGUST 28, 2018** AT/OR BEFORE **5:00 P.M.** AND REMAINED SO POSTED CONTINUOUSLY FOR AT LEAST 72 HOURS PRECEDING THE SCHEDULED TIME OF SAID MEETING.



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Susan Hill, City Secretary

THIS FACILITY IS WHEELCHAIR ACCESSIBLE, AND ACCESSIBLE PARKING SPACES ARE AVAILABLE. REQUESTS FOR ACCOMMODATIONS OR INTERPRETIVE SERVICES MUST BE MADE 48 HOURS PRIOR TO THIS MEETING. PLEASE CONTACT BUILDING OFFICIAL, DAVID TRAVIS; ADA DESIGNATED RESPONSIBLE PARTY AT (956) 761-8103.

**CITY OF SOUTH PADRE ISLAND  
SHORELINE TASKFORCE **SPECIAL**  
MEETING  
AGENDA REQUEST FORM**

**MEETING DATE:** September 4, 2018

**NAME & TITLE:** Brandon Hill, Shoreline Director

**DEPARTMENT:** Shoreline Department

**ITEM**

Approval of August 13, 2018 regular meeting minutes.

**ITEM BACKGROUND**

**BUDGET/FINANCIAL SUMMARY**

None

**COMPREHENSIVE PLAN GOAL**

**LEGAL REVIEW**

Sent to Legal:

YES: \_\_\_\_\_

NO: \_\_\_\_\_

Approved by Legal:

YES: \_\_\_\_\_

NO: \_\_\_\_\_

Comments:

**RECOMMENDATIONS/COMMENTS**

<p style="text-align: center;"><b>MINUTES</b> <b>CITY OF SOUTH PADRE ISLAND</b> <b>SHORELINE TASK FORCE</b></p>
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**MONDAY, AUGUST 13, 2018**

**I. Call To Order.**

The Shoreline Task Force of the City of South Padre Island, Texas held a regular meeting on Monday, August 13, 2018, at the Municipal Complex Building, 2<sup>nd</sup> Floor, 4601 Padre Boulevard, South Padre Island Texas. Chairman Neil Rasmussen called the meeting to order at 3:00 p.m. A quorum was present: Task Force Members, Mr. Robert Nixon, Mr. Troy Giles, Mr. Stormy Wall, Ms. Thoren Thorbjørnsen and Ms. Virginia Guillot were present; Ms. Norma Trevino was absent.

City staff members present were: Assistant City Manager Darla Jones, Shoreline Department Director Brandon Hill, and Shoreline Program Coordinator Jose Manuel Aguilar.

**II. Pledge of Allegiance.**

Chairman Neil Rasmussen led the Pledge of Allegiance.

**III. Public Comments And Announcements:**

No public comments and announcements were given at this time.

**IV. Approval of the July 23, 2018 Meeting Minutes.**

Task Force Member Robert Nixon made a motion, seconded by Task Force Member Stormy Wall to approve the meeting minutes as submitted. Motion carried unanimously.

**V. Discussion on PowerPoint presentation of the Shoreline Department projects. (B Hill)**

- **Nearshore Berm Nourishment**
- **Overview of Particle Tracing Study**
- **Beach Access Mat Maintenance Protocol Mapping Results**

Shoreline Department Director Brandon Hill presented to the Task Force on the topics.

## **VI. ADJOURNMENT.**

There being no further business, Chairman Rasmussen adjourned the meeting at 3:45 p.m.

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Jose Aguilar, Program Coordinator

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Neil Rasmussen, Chairman

**CITY OF SOUTH PADRE ISLAND  
SHORELINE TASKFORCE **SPECIAL**  
MEETING  
AGENDA REQUEST FORM**

**MEETING DATE:** September 4, 2018

**NAME & TITLE:** Brandon Hill, Shoreline Director

**DEPARTMENT:** Shoreline department

**ITEM**

Discussion and action to recommend to City Council the approval of a Beach and Dune Permit for 5106-5108 Gulf Boulevard South Padre Island Texas. (Hill)

**ITEM BACKGROUND**

The applicant proposes the construction of one 4-foot wide private dune walkover to the public beach that will service four residential units.

**BUDGET/FINANCIAL SUMMARY**

None

**COMPREHENSIVE PLAN GOAL**

Chapter III. Parks and Resources

GOAL 1: The City shall ensure protection and conservation of natural resources, such as beaches, dunes, wetlands, Laguna Madre waterfront and native flora and fauna, allowing for their sustainable use and enjoyment by future generations.

Objective 1.1 Beach and dunes shall be protected from both natural and artificial erosion.

**LEGAL REVIEW**

Sent to Legal:

YES: \_\_\_\_\_

NO:   X  

Approved by Legal:

YES: \_\_\_\_\_

NO:   X  

Comments:

**RECOMMENDATIONS/COMMENTS**

Staff recommends approval.



TEXAS GENERAL LAND OFFICE  
GEORGE P. BUSH, COMMISSIONER

August 17, 2018

Via Electronic Mail

Brandon Hill  
Director, Shoreline Management Department  
City of South Padre Island  
P.O. Box 3410  
South Padre Island, Texas 78597-3410

**Beachfront Construction Certificate & Dune Protection Permit in the City of South Padre Island**

**Site Address:** 5106 & 5108 Gulf Boulevard, South Padre Island  
**Legal Description:** Lots 1B, 1C, 1D & 1E, Block 156, Padre Beach Section X  
**Lot Applicant:** Access SPI, LLC c/o Alfredo G. Hernandez  
**GLO ID No.:** BDSPI-18-0099b

Dear Mr. Hill:

The General Land Office (GLO) has reviewed the revised application materials for a dune protection permit and beachfront construction certificate for the above-referenced locations. The applicant proposes the construction of one 4-foot wide private dune walkover to the public beach that will service four residential units. An above ground irrigation system will also be installed to water any dune plants that are planted to mitigate for temporary impacts to dune vegetation caused by construction of the dune walkover. According to the Bureau of Economic Geology, the area is considered stable. Based on the information submitted to our office for review, we have the following comments:

- The applicant may not permanently damage any dune vegetation or clear or remove any vegetation on either side of the pathway for the purpose of facilitating construction.
- Should there be any temporary adverse effects to dunes and dune vegetation not identified in the permit application, the applicant is required to submit a mitigation plan that includes a detailed description of the methods that will be used to avoid, minimize, and mitigate for any adverse effects on dune vegetation.<sup>1</sup>
- The seaward terminus of the dune walkover must be restricted to the greatest extent possible to the most landward point of the public beach and must not interfere with or otherwise restrict public use of the beach at normal high tides.<sup>2</sup>
- Concrete may not be used to stabilize the base of the pilings for the dune walkover.<sup>3</sup>

<sup>1</sup> 31 Tex. Admin. Code § 15.3(s)(4)(A)(xii).

<sup>2</sup> 31 Tex. Admin. Code § 15.7(g)(2).

<sup>3</sup> 31 Tex. Admin. Code § 15.6(f)(3).

- The deck of the walkover must be of sufficient elevation to allow for the growth of dune vegetation and the migration of dunes to the greatest extent practicable.<sup>4</sup>
- The proposed dune walkover should be constructed to allow rain and sand to pass through the decking. The GLO recommends placing the slats that form the deck of the walkover at least ½-inch apart.
- The walkway height above the dunes should be at least one to one and a half times its width (three feet minimum) to allow sunlight to reach vegetation underneath.
- Construction of the proposed dune walkover should conform to the GLO's guidelines provided in the Dune Protection and Improvement Manual for the Texas Gulf Coast, and can be found on the GLO website at: <http://www.glo.texas.gov/coast/coastal-management/forms/files/dune-protection-manual-gpb.pdf>
- The proposed construction activities must minimize impacts on natural hydrology and not cause erosion of adjacent properties, critical dune areas, or the public beach.<sup>5</sup>
- The City must ensure the proposed construction is consistent with FEMA minimum requirements or with the FEMA-approved local ordinance.<sup>6</sup>

If you have any questions, please contact me by phone at (512) 463-0413 or by email at [natalie.bell@glo.texas.gov](mailto:natalie.bell@glo.texas.gov).

Sincerely,



Natalie Bell  
Manager, Beach Access & Dune Protection Program  
Coastal Resources Division  
Texas General Land Office

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<sup>4</sup> 31 Tex. Admin. Code § 15.7(g)(3).

<sup>5</sup> 31 Tex. Admin. Code § 15.6(g).

<sup>6</sup> 31 Tex. Admin. Code § 15.6 (e)(3).

## MEMORANDUM

TO: Shoreline Task Force  
Natalie Bell, General Land Office  
FROM: Brandon N. Hill, Shoreline Management Department Project and Program Manager  
DATE: August 13, 2018  
RE: 5108 and 5106 Gulf Boulevard, Lots 1E & 1D, Padre Beach, Sec X

The applicant has requested permission to build one raised wooden walkover and boardwalk over wood pilings. The proposed wooden walkway will serve four residential units and will be ADA Compliant. Construction includes wooden piles, sub joints, stringers, deck boards and wooden handrails.

With consideration given to conformance with TAC regulations our preliminary determination is that:

1. The proposed activity will not reduce the size of the public beach. [TAC 15.5 (b)(1)]
2. The proposed activity does not appear to involve construction on the public beach. [TAC 15.5 (c)(1)]
3. The proposed activity will not encroach upon the public beach. [TAC 15.5 (c)(1)]
4. The proposed activity will not close any existing public beach accesses within the area, nor will the construction close or prevent the use of any existing public beach parking spaces. [TAC 15.5 (d)(1)]

With consideration given to the City's *Dune Protection and Beach Renourishment and Access Plan* [B&D Ord. Section 22-10]:

1. The proposed activity will not result in the potential for increased flood damage to the subject property or adjacent properties.
2. The proposed activity will not result in run-off or drainage patterns that aggravate erosion on and off the site.
3. The proposed activity will cause no changes to the existing dune hydrology east of the Historic Building Line.
4. The proposed activity will result in adverse effects on dune vegetation. These effects will be mitigated through the actions outlined in the attached mitigation plan.
5. The proposed activity will not increase the potential for wash over or blowouts.

Due to a large number of walkovers in this stretch of beach, and the relatively narrow dune field in the area and the location of Aurora Circle and Wanna Wanna's in this general vicinity this Construction is a perfect candidate to be minimized in footprint and impact by creating a connected walkover. The applicant has submitted an application wherein the four units are connected by a boardwalk that has gates to each location with one shared walkover reaching the beach. This approach minimizes the impact on the dunes. This approach is supported by the City of South Padre Island's Comprehensive Plan, Erosion Response Plan, Beach Management and Access Plan and has been championed by the Shoreline Taskforce and City Council.

## MEMORANDUM

City Staff recommends approval with the stipulation that as per the submitted plans the applicant will mitigate the damage 1:1 in the area under the walkover by planting the impacted area with dune vegetation such as Sea-oats or Bitter Panicum.

A handwritten signature in black ink, appearing to read "Brandon Hill", written over a horizontal line.

Brandon N. Hill



# Beach & Dune Application

City of South Padre Island  
4601 Padre Blvd.  
South Padre Island, TX 78597  
Phone: (858) 761-3044  
Fax: (956) 761-3898

## Site for Proposed Work

Legal Description: Lots 1B, C, D & E, Blk. 156, Padre Beach, Sec. X (Cab. 1, Pg. 3528, MRCC) Physical Address: 5106 & 5108 Gulf Blvd. South Padre Island, Texas

## Property Owner Information

Name: Access SPI, LLC.  
Mailing Address: 7220 Bob Bilkoff Loop, Suite 4A  
City: Laredo State: Texas  
Zip: 78401 Country: United States  
Phone Number: (956) 648-8223  
Fax Number: \_\_\_\_\_  
E-Mail Address: bfairlie@ebnier.t.com

I / We, owners of the above-mentioned property, authorize the applicant stated above, to act in my behalf in order to acquire a Beach and Dune permit for the construction proposed below. (owner initials here \_\_\_\_\_)

Owner(s) Signature(s): [Signature]  
Date: 07/17/18

## Applicant / Agent for Owner

Name: Alfredo G. Hernandez  
Mailing Address: 6305 Paredes Line Rd.  
City: Brownsville State: Texas  
Zip: 78526 Country: United States  
Phone Number: (956) 574-8300  
Fax Number: (956) 574-8305  
E-Mail Address: fred@highconsultants.com

Applicant Signature: [Signature]  
Date: 7/19/18

## Project Description

Describe with as much as detail as possible, the construction proposed. If more room is needed, please include an additional page. Include the number of habitable units, amenities, swimming pools, fences, kinds of fences, whether footings and/or retaining walls will be installed, and locations of proposed landscaping and parking.

Raised walk access over wood pilings. The proposed wooden walkway will serve four residential units and will be ADA compliant. Construction include wooden piles, subjoists, stringers, deck boards and wooden hand rails.

Total Square Footage of Footprint of Habitable Structure: 0

Total Area of Impervious Surface (i.e. retaining walls, walkways, drives, patios, etc.): 0

Percentage Impervious Surface [(Impervious surface / habitable footprint) \* 100] 0

Please Note: the percentage of impervious surface cannot exceed 5% in an eroding area.

Approximate Duration of Construction: 4 MONTHS

### Financial Plan for the Removal of All Hard Structures

All properties which are allowed to build retaining walls on their property are allowed to do so with the condition that a financial plan for the removal of the retaining wall is submitted to the Public Works Department of the City of South Padre Island. Removal of the retaining wall at the owner's expense may be required if/once the retaining wall comes into regular contact with wave action for twenty (20) out of thirty (30) consecutive days. The City accepts the submission of a Retaining Wall Covenant, or other financial guarantee, insuring the removal of the retaining wall if the required conditions are met.

Type of Plan Submitted: \_\_\_\_\_ Date Submitted: \_\_\_\_\_

### Drainage

Describe the impact that the proposed construction will have on the natural drainage pattern on the site and adjacent lots.

- ☒ No change in the drainage on site.
- ☐ The proposed construction will change the grading and the drainage on the subject property. (An explanation will be required detailing where the water will drain.)

Explanation / Other Information: \_\_\_\_\_  
\_\_\_\_\_

### Impacts to Beach / Dune System

Answer each question as completely as possible in narrative form.

1. What damage will this proposed construction have on the dune vegetation located at the project site?

- ☐ No damage to dune vegetation whatsoever.
- ☒ The proposed construction will impact 5 % of the dune vegetation site. (An explanation of the "impact" will be required.)
- ☐ The proposed construction will require the removal and relocation of \_\_\_\_\_ % of the dune vegetation on site. (The submission of a mitigation plan will be required.)

Explanation / Other Information: \_\_\_\_\_  
\_\_\_\_\_

2. How will the proposed construction alter the dune size/shape at the project site?

- ☒ No change to dune size/shape whatsoever.
- ☐ The proposed construction will change \_\_\_\_\_ % of the size/shape of dunes on site. (Details will be required.)
- ☐ The proposed construction will require the removal and relocation of \_\_\_\_\_ % of the dunes on site. (The submission of a mitigation plan will be required.)

Explanation / Other Information: \_\_\_\_\_  
\_\_\_\_\_

3. How will the proposed construction change the hydrology of the dunes at the project site?

- ☒ No change to dune hydrology whatsoever.
- ☐ The proposed construction will impact dune hydrology on site. (Details will be required.)

Explanation / Other Information: \_\_\_\_\_  
\_\_\_\_\_

4. Describe alternatives to the proposed construction or method of construction which will cause fewer or no adverse effects on dunes and dune vegetation.

\_\_\_\_\_  
\_\_\_\_\_

5. Describe alternatives to the proposed construction or method of construction which will cause fewer or no adverse impairment to beach access.

\_\_\_\_\_  
\_\_\_\_\_

### Mitigation Plan

Describe the methods which you will use to avoid, minimize, mitigate and/or compensate for any adverse effects on dunes or dune vegetation.

Explanation / Other Information: The proposed temporary irrigation system will remain in place until dune vegetation has been reestablish. The Sprinkles installation are up ground, approx. 3 feet outset of the proposed walkover, every 12.5 feet (see drawing). / Raised walk access 3.0 feet minimum over natural ground (beach, dunes) on wood piling  
Bottom area of walk access will remain open.

#### Financial Plan for Dune Mitigation:

If required by the City Council, a financial guarantee (irrevocable letter of credit or a performance bond, etc.) may be necessary to insure the mitigation of dunes/dune vegetation takes place as proposed and required of the applicant.

Type of Plan Submitted: \_\_\_\_\_ Date of Submission: \_\_\_\_\_

### Checklist of Additional Required Application Information

#### An accurate map, plat or site plan showing:

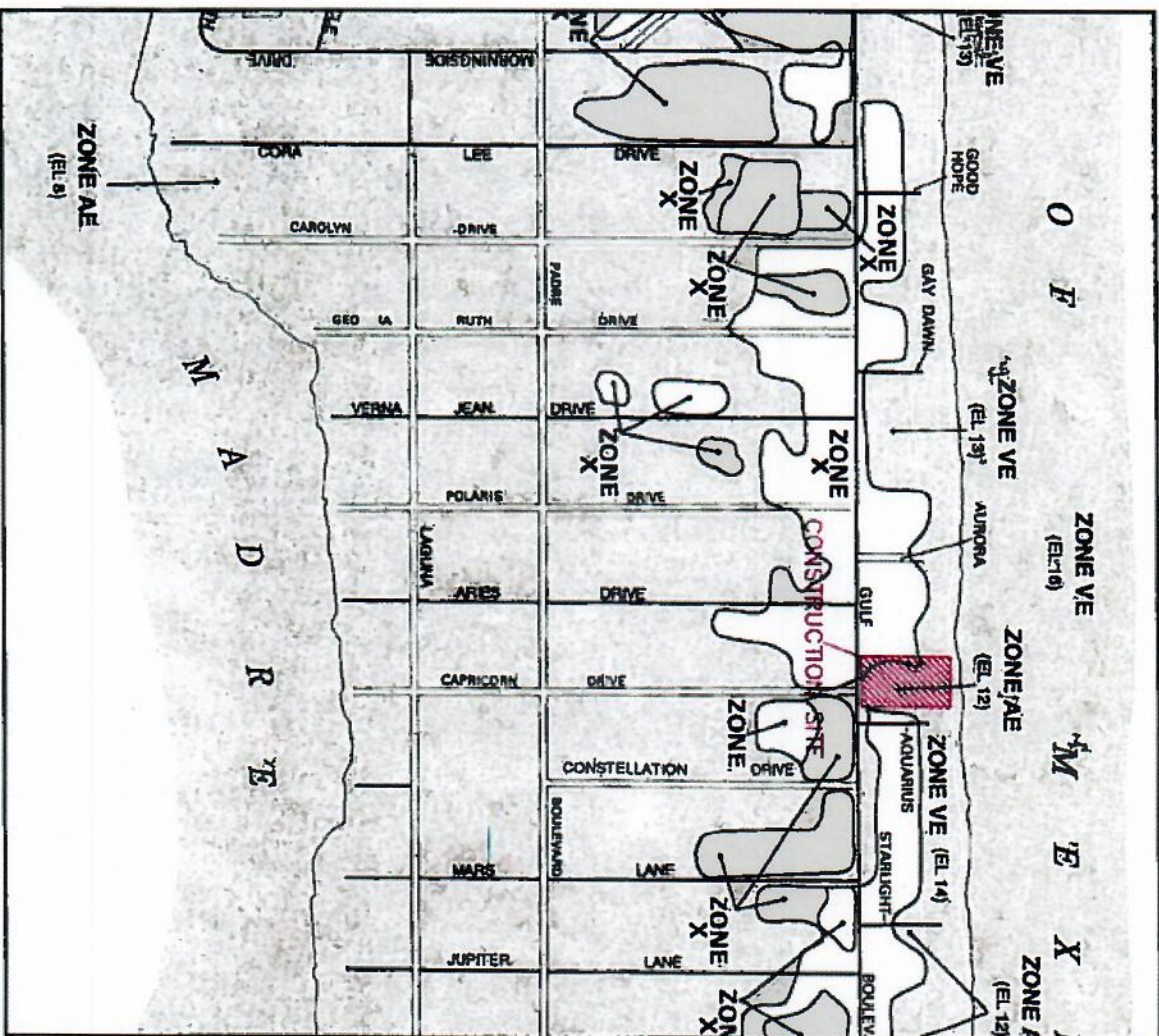
- ☒ 1. Legal description of the property (lot, block, subdivision) and the immediately adjoining property.
- ☒ 2. Location of all existing structures - including the habitable and inhabitable structures, swimming pools, decks, fences, parking areas, landscape areas, etc.
- ☒ 3. Location of the Historical Building Line on the subject property and the extension of the line on the properties immediately adjoining the subject property to the north and to the south.
- ☒ 4. Location and elevation of existing retaining walls - both on the subject property and those properties immediately adjoining the subject property to the north and to the south.
- ☒ 5. Location of proposed structure(s) - if proposing the construction of a retaining wall, please also include the proposed elevation of the retaining wall.
- ☐ 6. Location of proposed driveways, parking areas (showing the # of proposed parking spaces) and landscape areas.
- ☒ 7. Location of all existing and proposed beach access paths and/or dune walkovers.
- ☐ 8. Location and extent of any man-made vegetated mounds, restored dunes, fill activities, or any other pre-existing human modifications on the tract.
- ☒ 9. Topographical survey of the site identifying all elevations, existing contours of the project area (including dunes and scales) and the proposed contours of the final grade.

#### Other required application information:

- ☐ 1. A grading and layout plan showing proposed contours for the final grade.
- ☐ 2. The floor plan(s) and elevation(s) of the structure proposed to be constructed or expanded.
- ☐ 3. Photographs of the site which clearly show the current location of the vegetation line & existing dunes on the tract within the last 6 months.
- ☒ 4. Copy of the Flood Rate Map showing the location of the subject property. (FEMA.GOV - Map Search)
- ☐ 5. Copy of the Historical Erosion Rate Map as determined by the University of Texas at Austin, Bureau of Economic Geology. (beg.utexas.edu)
- ☐ 6. Application Fee of \$180 for Staff Approved applications and \$300 for City Council Approved applications.

**Your application is not complete unless all information requested above is submitted.**

**Application submissions require only three (3) copies of the complete information plus a digital copy.**



APPROXIMATE SCALE  
500 0 500 FEET

NATIONAL FLOOD INSURANCE PROGRAM

**FIRM**  
FLOOD INSURANCE RATE MAP

TOWN OF  
SOUTH PADRE ISLAND,  
TEXAS  
CAMERON COUNTY  
ONLY PANEL PRINTED

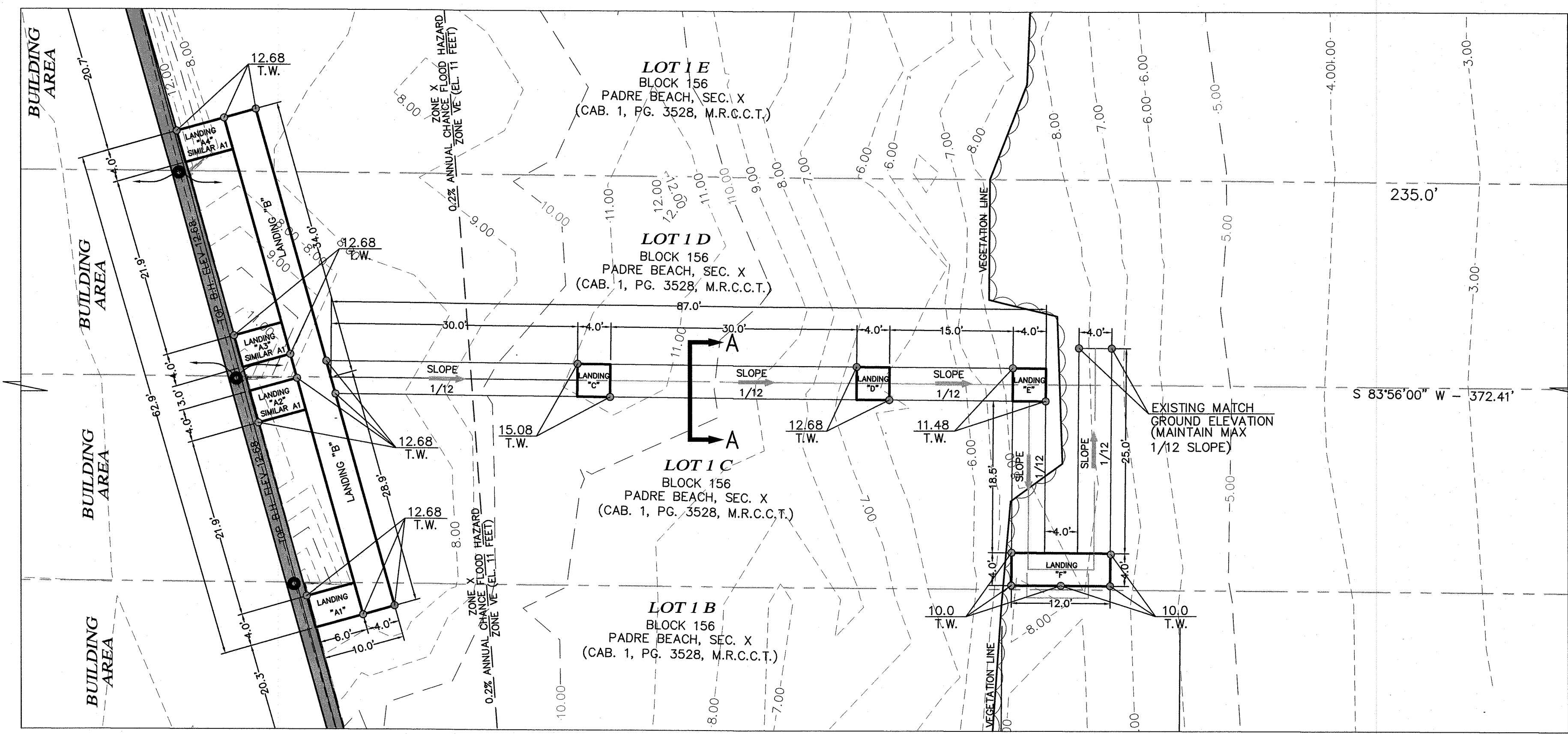
COMMUNITY PANEL NUMBER  
480115 0001 D

MAP REVISED:  
MARCH 9, 1999



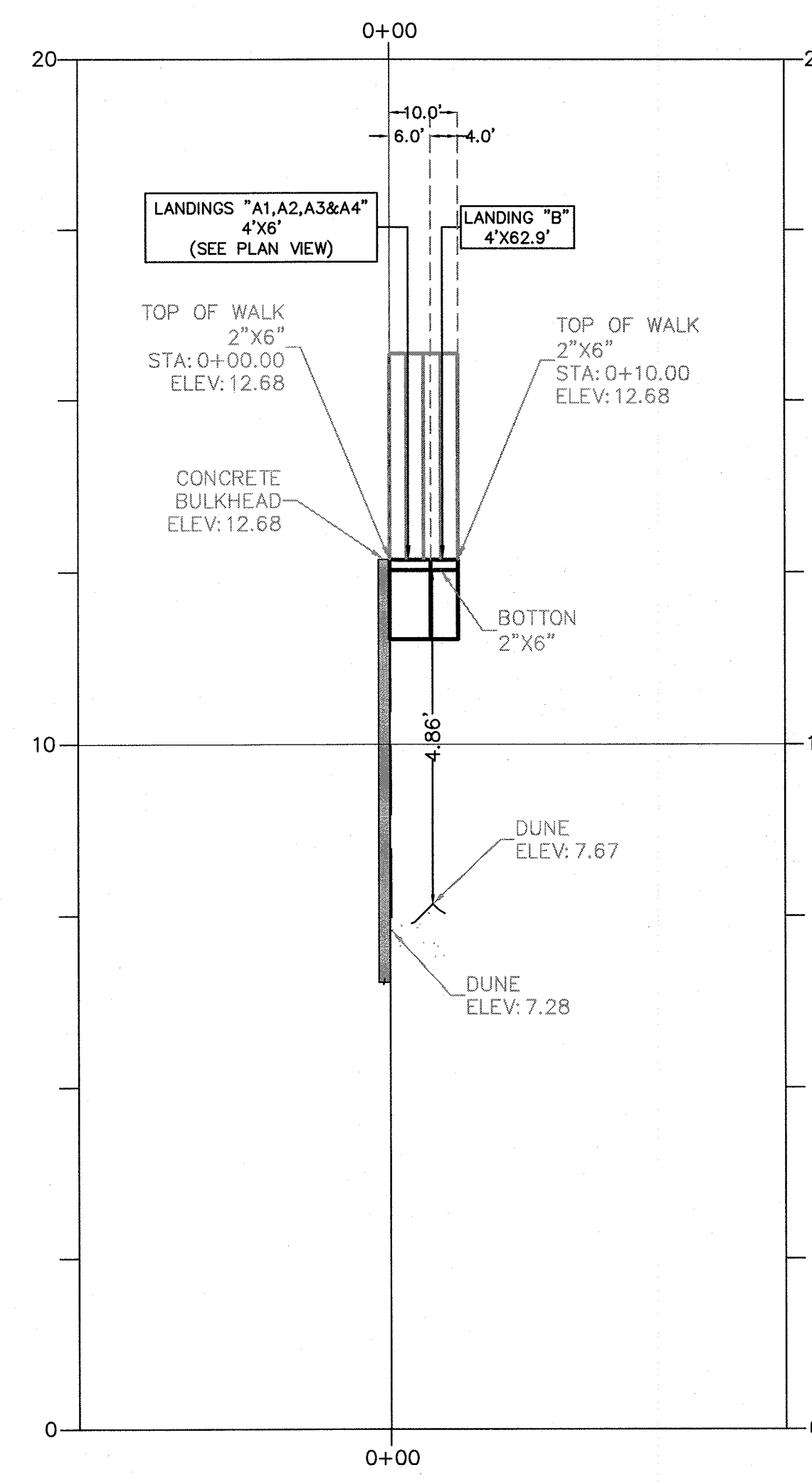
Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood area. It was prepared using 1:25,000 scale data. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For the latest product information about National Flood Insurance Program flood maps check the FEMA Flood Map Store at [www.fema.gov](http://www.fema.gov)

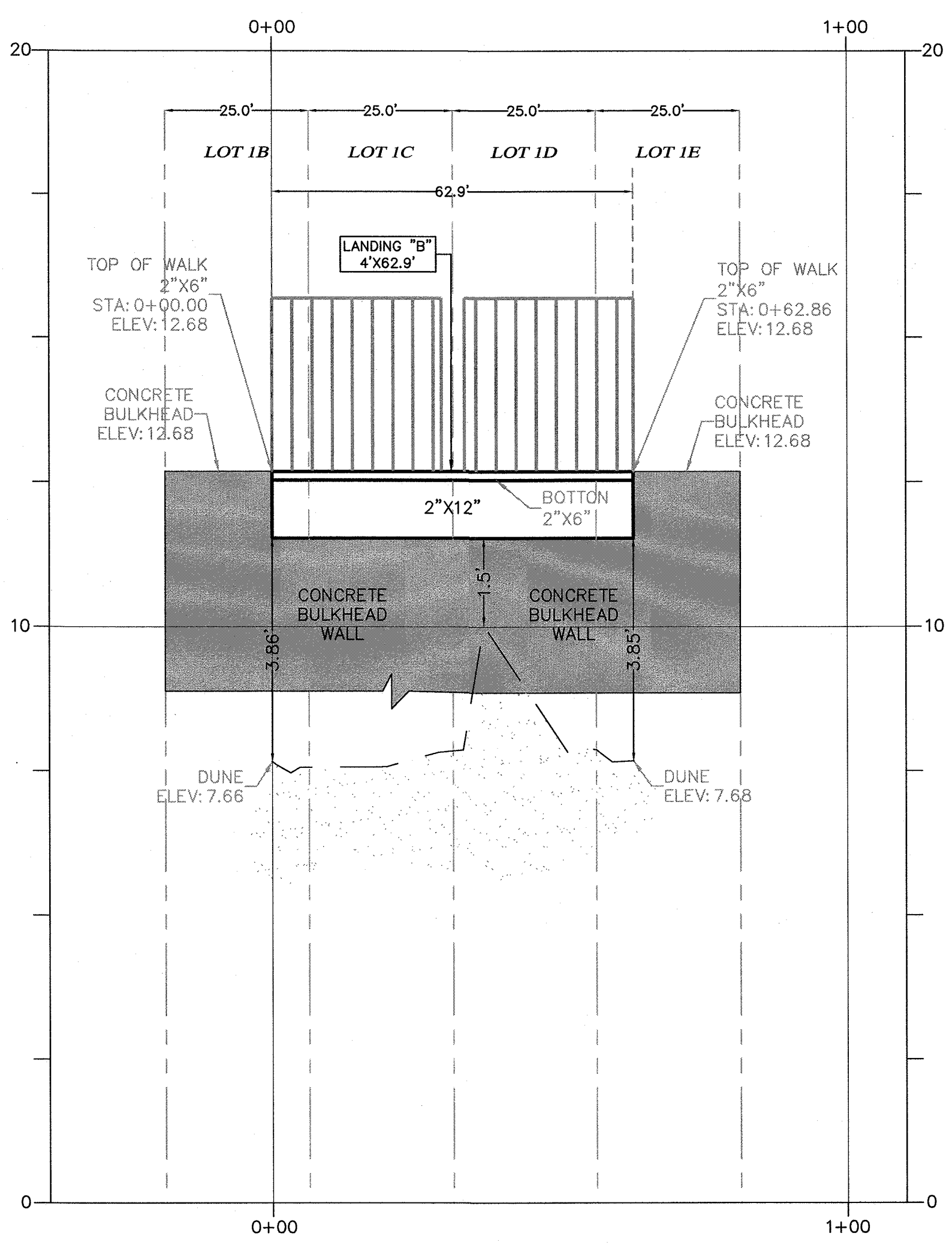


PLAN VIEW WALKOVER LANDING  
SCALE = 1:10

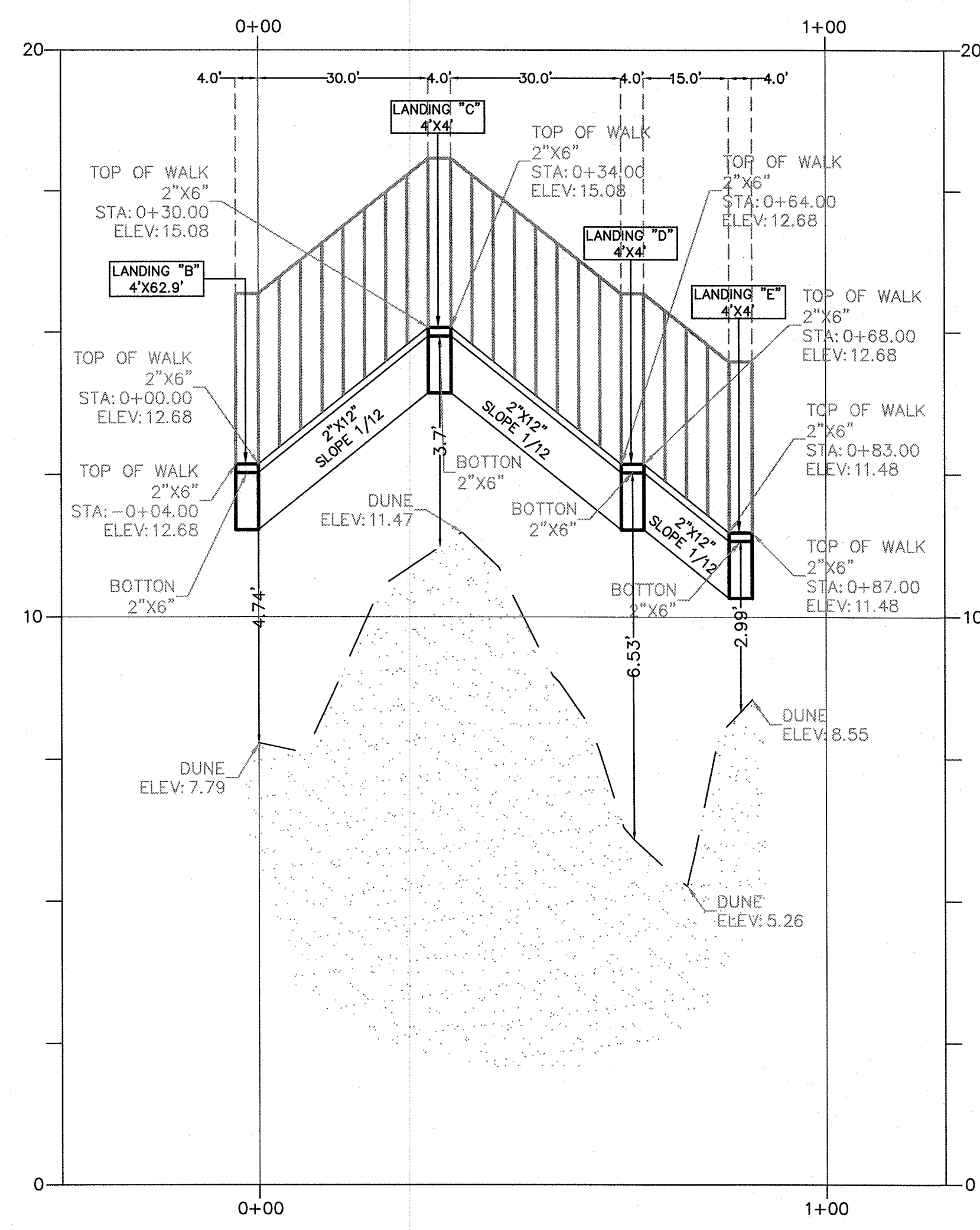
LEGEND  
CBH CONCRETE BULKHEAD  
T.W. TOP OF WALK



WALKOVER LANDING A1,A2,A3 & A4  
SCALE = 1:20



WALKOVER LANDING B  
SCALE = 1:20



WALKOVER LANDING B,C,D & E  
SCALE = 1:20



VICINITY MAP  
NOT TO SCALE

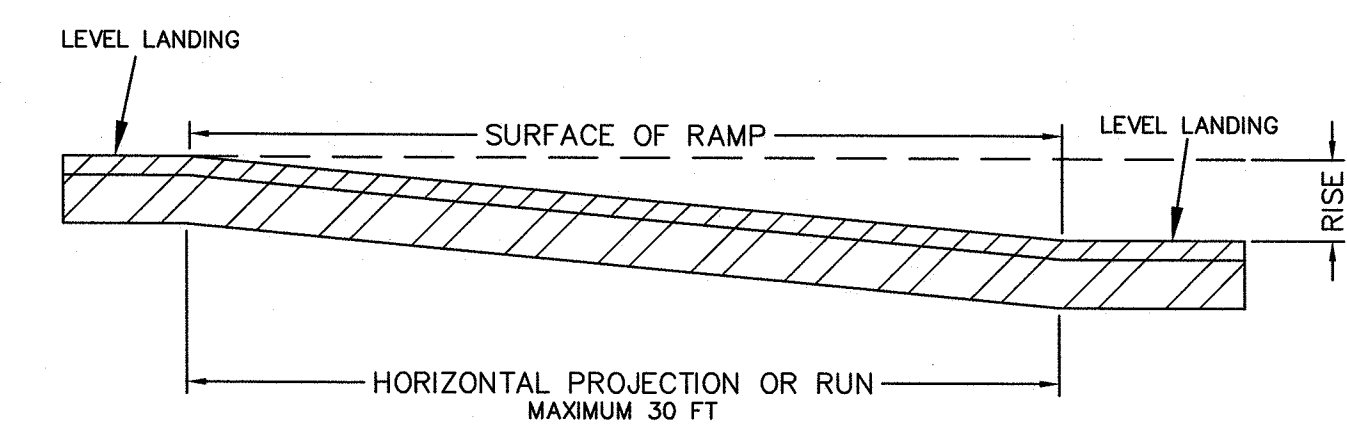
WOOD SPECIFICATIONS

COMPONENT	GRADE	SURFACE TEXTURE	MOISTURE CONTENT	PRESERVATIVE RETENTION SALTWATER
SPLIT PILE CAP OR SUB-JOIST	No.1 DENSE	S4S,ROUGH	S-DRY 19% OR LESS	.60 ACQ, .31 CA, .60 CCA OR 12.0 CREOSOTE AWPA UCSA, 5B, 5C & C18 (SALT WATER SPLASH)
STRINGERS	No.1	S4S/S2E	S-DRY 19% OR LESS	.60 ACQ, .31 CA, .60 CCA OR 12.0 CREOSOTE AWPA UCSA, 5B, 5C & C18 (SALT WATER SPLASH)
DECKING	PREMIUM No.1	RED S4S	S-DRY 19% OR LESS	.40ACQ, .21CA, .40CCA AWPA UCSB & C18
PILING (ROUND TIMBER)	ASTM D25	N/A	KD 25% OR LESS	2.5 CCA, 20.0 CREOSOTE OR DUAL TREATMENT OF 1.0 CCA & 20.0 CREOSOTE UCSA, 5B, 5C & C3, C18

NOTE:  
1. MINIMUM RETENTION ASSAY (E.G. RETENTION .80) EXPRESSED AS POUNDS OF PRESERVATIVE PER CUBIC FOOT (PCF) OF WOOD.

NOTES

- FASTENERS AND CONNECTORS SHOULD BE TYPE 304 OR 316 ALLOY STAINLESS OR HAVE AN EQUIVALENT PROTECTIVE COATING SUCH AS BITUMASTIC.
- HOT-DIP GALVANIZED FASTENERS SHOULD MEET ASTM A153, WITH 2 OUNCES OF ZINC COATING PER SQUARE-FOOT MINIMUM FOR MARINE USE.
- HOT-DIP GALVANIZED CONNECTORS SHOULD MEET ASTM A653, CLASS G185 SHEET WITH 1.85 OUNCES OF ZINC COATING PER SQUARE-FOOT MINIMUM.
- FASTENERS AND CONNECTORS USED TOGETHER SHOULD BE OF THE SAME TYPE (E.G. ONLY STAINLESS STEEL NAILS WITH STAINLESS STEEL JOIST HANGERS).
- NAILS SHALL BE RING OR SPIRAL SHANK STAINLESS STEEL OR HOT DIP GALVANIZED. (DECKING)
- TO SET ANCHORS IN CONCRETE USE EPOXY-TIE SET (HIGH STRENGTH EPOXY) SIMPSON OR EQUAL WITH 5" MINIMUM EMBED. DEPTH IN TO THE CONCRETE.
- ALL CUTS, HOLES + INJURIES TO THE SURFACE OF TREATED WOOD SHOULD BE PROTECTED BY FIELD TREATMENT WITH COOPER NAPHTHENE MEETING AWPA STANDARD P-8.
- ALL TIMBER SHOULD BE MARINE GRADE SOUTHERN PINE PRESERVATIVELY TREATED TO AMERICAN WOOD PRESERVER'S ASSOCIATION (AWPA) STANDARDS C-2 AND C-18. (BULKHEAD SHEETING CAN BE SEA WALL GRADES.)
- ALL TREATED WOOD PRODUCTS SHOULD BE HANDLED + FIELD FABRICATED IN ACCORDANCE WITH AWPA STANDARD M4-92.
- THREAD ROD SHALL BE A36, A307 OR F1554 GRADE 36 GALVANIZED OR SIMILAR.
- ALL BOARD WALK SHOULD BE NAILED TO THE STRINGER THAT SUPPORT IT.
- ALL WOODEN POST SHALL BE INSTALLED ON GROUND WITH NO CONCRETE
- SEPARATION BETWEEN BOARD WALK  $\frac{1}{8}$ ".



SLOPE	MAXIMUM RISE	MAXIMUM HORIZONTAL PROJECTION
1:12 TO < 1:16	30	30
1:16 TO < 1:20	30	40

ADA STANDARDS  
28 CFR PART 36

REFERENCES:  
1. EXCERPT FROM 28 CFR PART 36 CHAPTER I (7-1-94 EDITION); ADA STANDARDS FOR ACCESSIBLE DESIGN. PAGE 520  
2. TEXAS BEACH ACCESSIBILITY GUIDE, PAGE 9.

Unit	Scale	Drawn	Check	Date	Job No.	Sheet	of
1	1/4" = 1'-0"	F.H.	F.H.	JULY 02, 2018	2017-0267	1	4



SPI CONDOMINIUMS SOUTH PADRE ISLAND

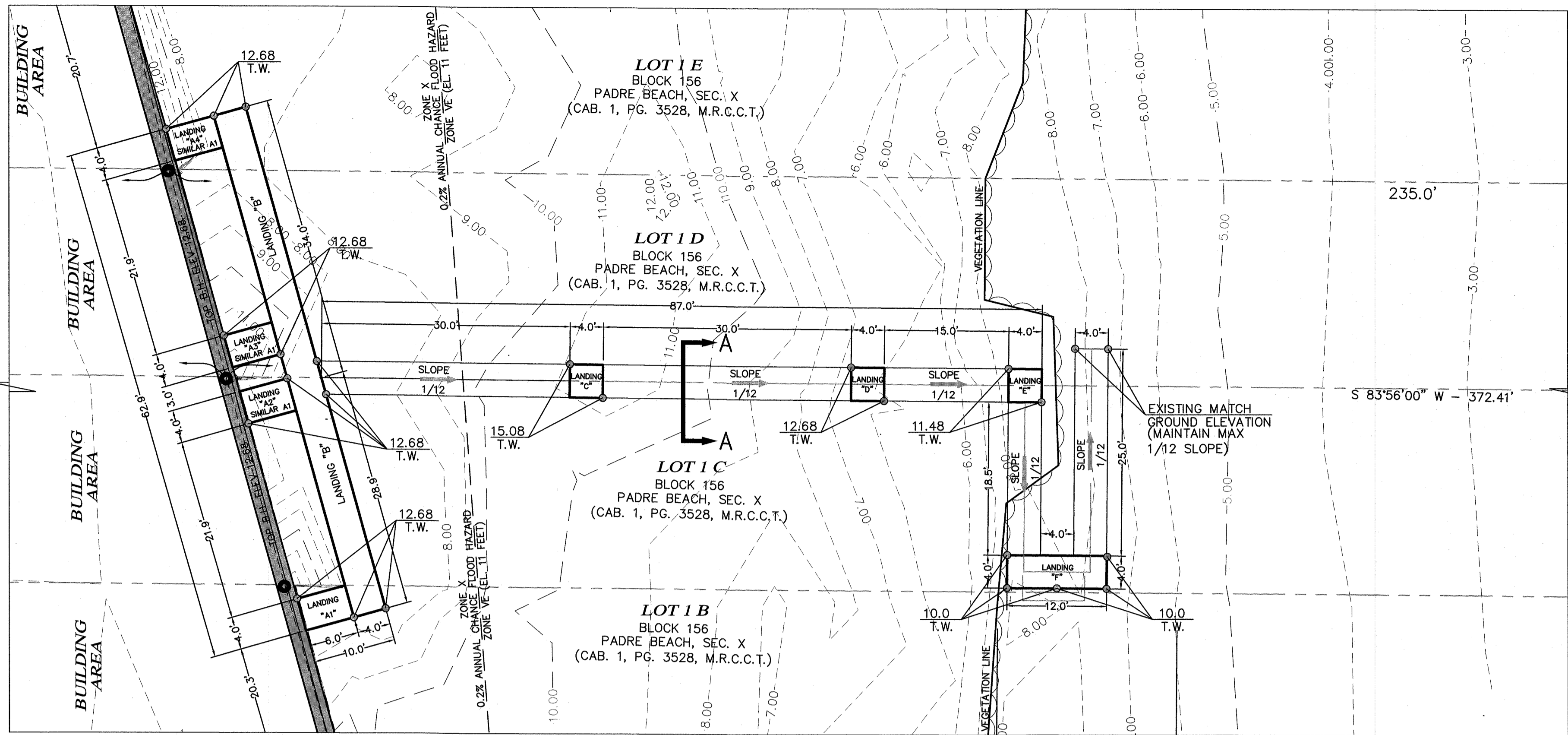
PROPOSED WOODEN WALK WAY

AGH ENGINEERING & SURVEYING

6505 FARMERS ROAD, SUITE 100, DALLAS, TEXAS 75242-1180

TEL: (972) 744-4400 FAX: (972) 744-4401

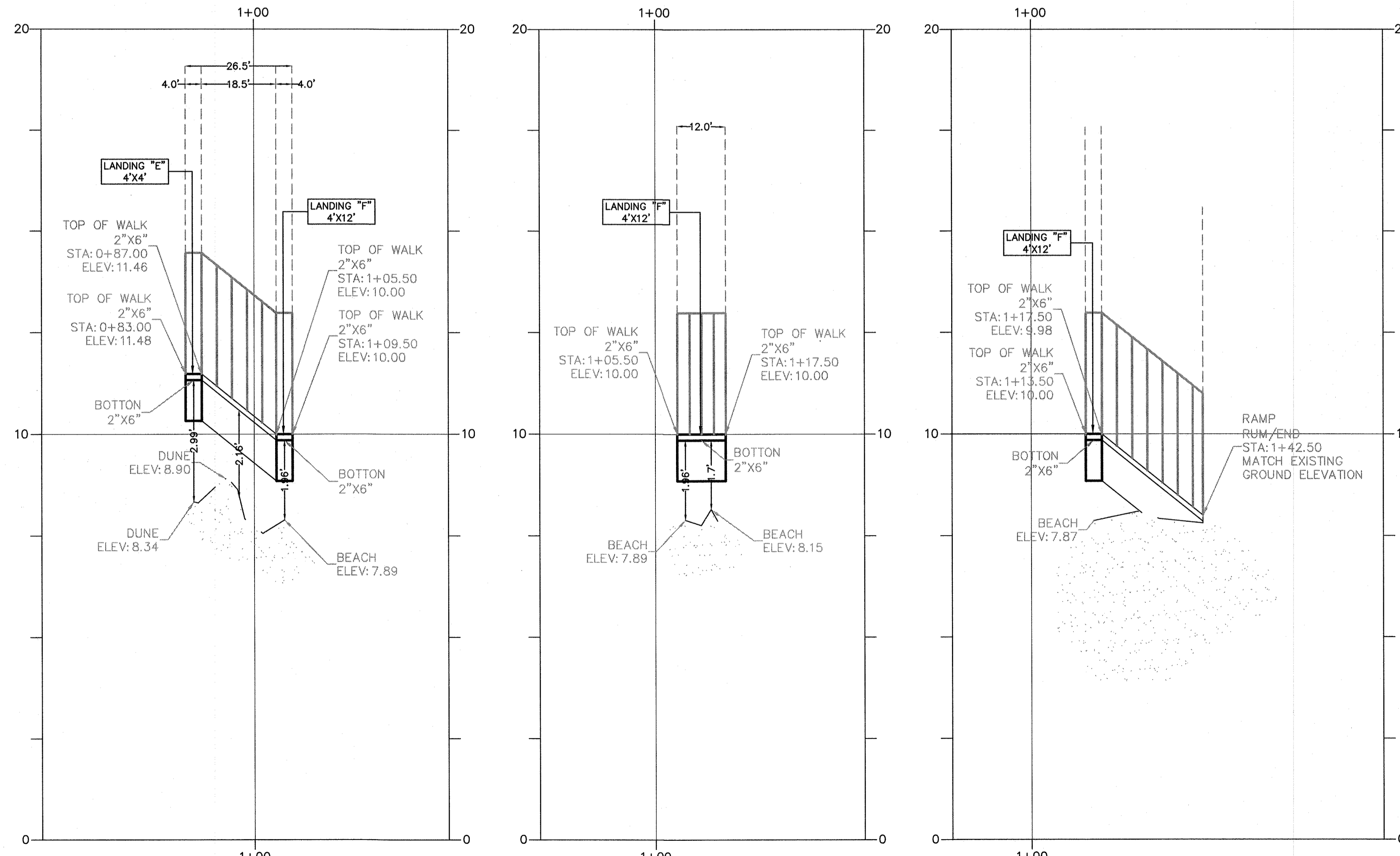
1



PLAN VIEW WALKOVER LANDING  
SCALE = 1:10

LEGEND

CBH CONCRETE BULKHEAD  
T.W. TOP OF WALK



WALKOVER LANDING E & F  
SCALE = 1:20

WALKOVER LANDING F  
SCALE = 1:20

WALKOVER LANDING F & RAMP  
SCALE = 1:20



VICINITY MAP  
NOT TO SCALE

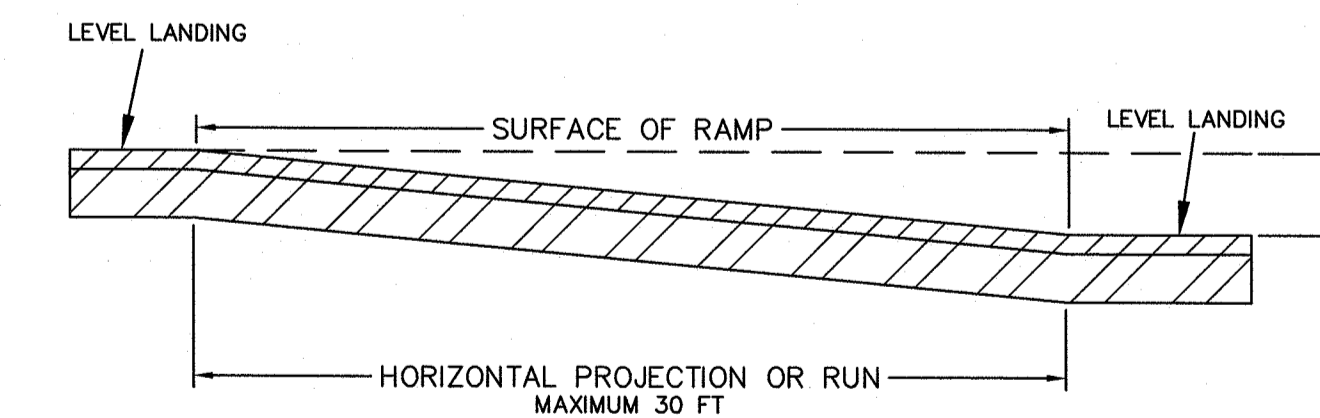
WOOD SPECIFICATIONS

COMPONENT	GRADE	SURFACE TEXTURE	MOISTURE CONTENT	PRESERVATIVE RETENTION SALTWATER
SPLIT PILE CAP OR SUB-JOIST	No.1 DENSE	S4S,ROUGH	S-DRY 19% OR LESS	.60 ACO, .31 CA, .60 CCA OR 12.0 CREOSOTE AWPA UCSA, 5B, 5C & C18 (SALT WATER SPLASH)
STRINGERS	No.1	S4S/S2E	S-DRY 19% OR LESS	.60 ACO, .31 CA, .60 CCA OR 12.0 CREOSOTE AWPA UCSA, 5B, 5C & C18 (SALT WATER SPLASH)
DECKING	PREMIUM No.1	RED S4S	S-DRY 19% OR LESS	.40ACO, .21CA, .40CCA AWPA UCSB & C18
PILING (ROUND TIMBER)	ASTM D25	N/A	KD 25% OR LESS	2.5 CCA, 20.0 CREOSOTE OR DUAL TREATMENT OF 1.0 CCA & 20.0 CREOSOTE UCSA, 5B, 5C & C3, C18

NOTE:  
1. MINIMUM RETENTION ASSAY (E.G. RETENTION .80) EXPRESSED AS POUNDS OF PRESERVATIVE PER CUBIC FOOT (PCF) OF WOOD.

NOTES

- FASTENERS AND CONNECTORS SHOULD BE TYPE 304 OR 316 ALLOY STAINLESS OR HAVE AN EQUIVALENT PROTECTIVE COATING SUCH AS BITUMASTIC.
- HOT-DIP GALVANIZED FASTENERS SHOULD MEET ASTM A153, WITH 2 OUNCES OF ZINC COATING PER SQUARE-FOOT MINIMUM FOR MARINE USE.
- HOT-DIP GALVANIZED CONNECTORS SHOULD MEET ASTM A653, CLASS G185 SHEET WITH 1.85 OUNCES OF ZINC COATING PER SQUARE-FOOT MINIMUM.
- FASTENERS AND CONNECTORS USED TOGETHER SHOULD BE OF THE SAME TYPE (E.G. ONLY STAINLESS STEEL NAILS WITH STAINLESS STEEL JOIST HANGERS).
- NAILS SHALL BE RING OR SPIRAL SHANK STAINLESS STEEL OR HOT DIP GALVANIZED. (DECKING)
- TO SET ANCHORS IN CONCRETE USE EPOXY-TIE SET (HIGH STRENGTH EPOXY) SIMPSON OR EQUAL WITH 5" MINIMUM EMBED. DEPTH IN TO THE CONCRETE.
- ALL CUTS, HOLES + INJURIES TO THE SURFACE OF TREATED WOOD SHOULD BE PROTECTED BY FIELD TREATMENT WITH COOPER NAPHTHENE MEETING AWPA STANDARD P-8.
- ALL TIMBER SHOULD BE MARINE GRADE SOUTHERN PINE PRESERVATIVELY TREATED TO AMERICAN WOOD PRESERVER'S ASSOCIATION (AWPA) STANDARDS C-2 AND C-18. (BULKHEAD SHEETING CAN BE SEA WALL GRADES.)
- ALL TREATED WOOD PRODUCTS SHOULD BE HANDLED + FIELD FABRICATED IN ACCORDANCE WITH AWPA STANDARD M4-92.
- THREAD ROD SHALL BE A36, A307 OR F1554 GRADE 36 GALVANIZED OR SIMILAR.
- ALL BOARD WALK SHOULD BE NAILED TO THE STRINGER THAT SUPPORT IT.
- ALL WOODEN POST SHALL BE INSTALLED ON GROUND WITH NO CONCRETE
- SEPARATION BETWEEN BOARD WALK  $\frac{1}{8}$ ".



SLOPE	MAXIMUM RISE	MAXIMUM HORIZONTAL PROJECTION
1:12 TO < 1:16	30	30
1:16 TO < 1:20	30	40

ADA STANDARDS  
28 CFR PART 36

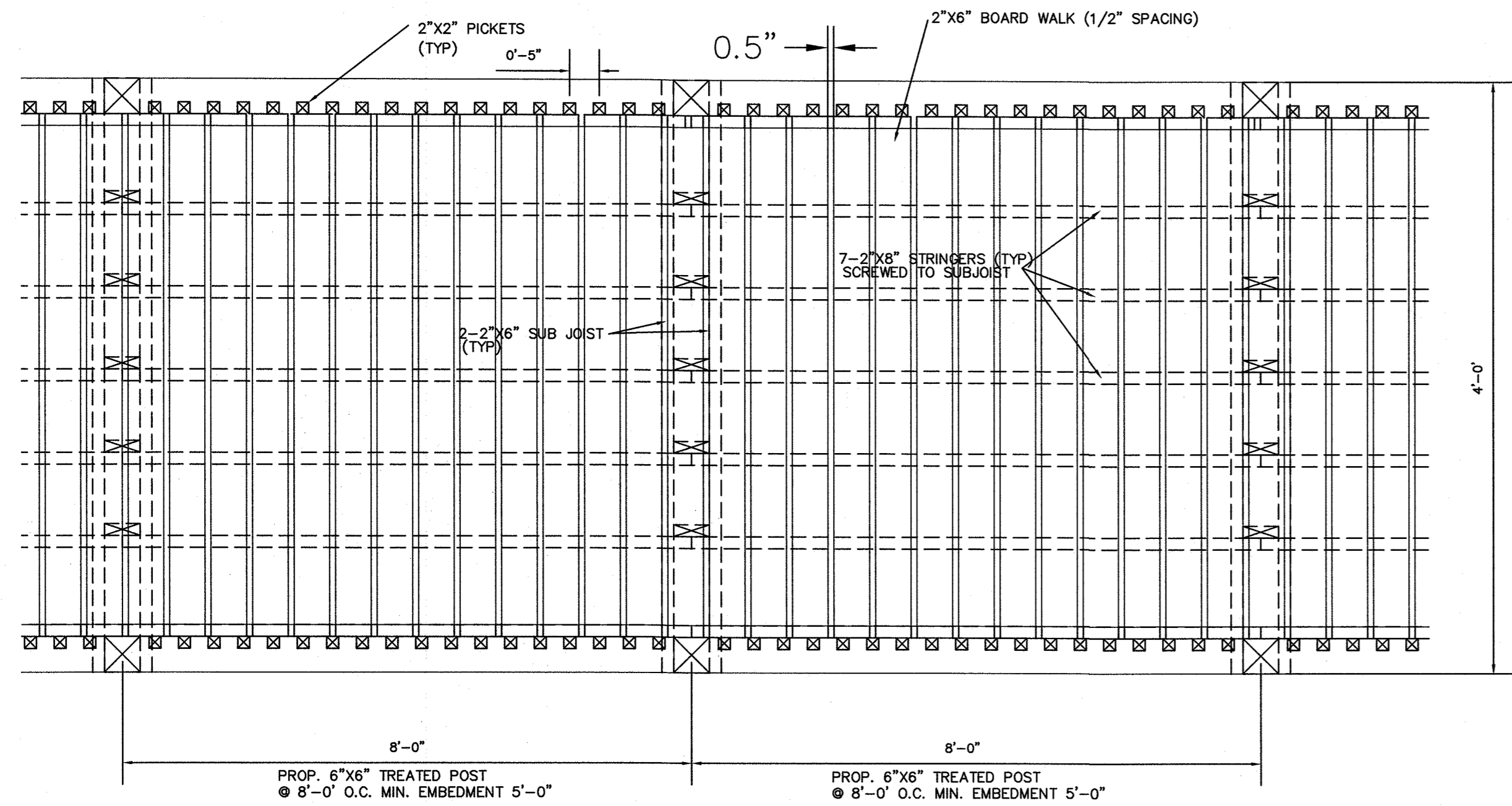
REFERENCES:  
1. EXCERPT FROM 28 CFR PART 36 CHAPTER I (7-1-94 EDITION); ADA STANDARDS FOR ACCESSIBLE DESIGN. PAGE 520  
2. TEXAS BEACH ACCESSIBILITY GUIDE, PAGE 9.

DATE	NOV. 15, 2017	DATE	JULY 02, 2018
DRAWN	F.H.	DESIGNED	F.H.
CHECKED	AGH	APPROVED	F.H.
SHEET	1	OF	2

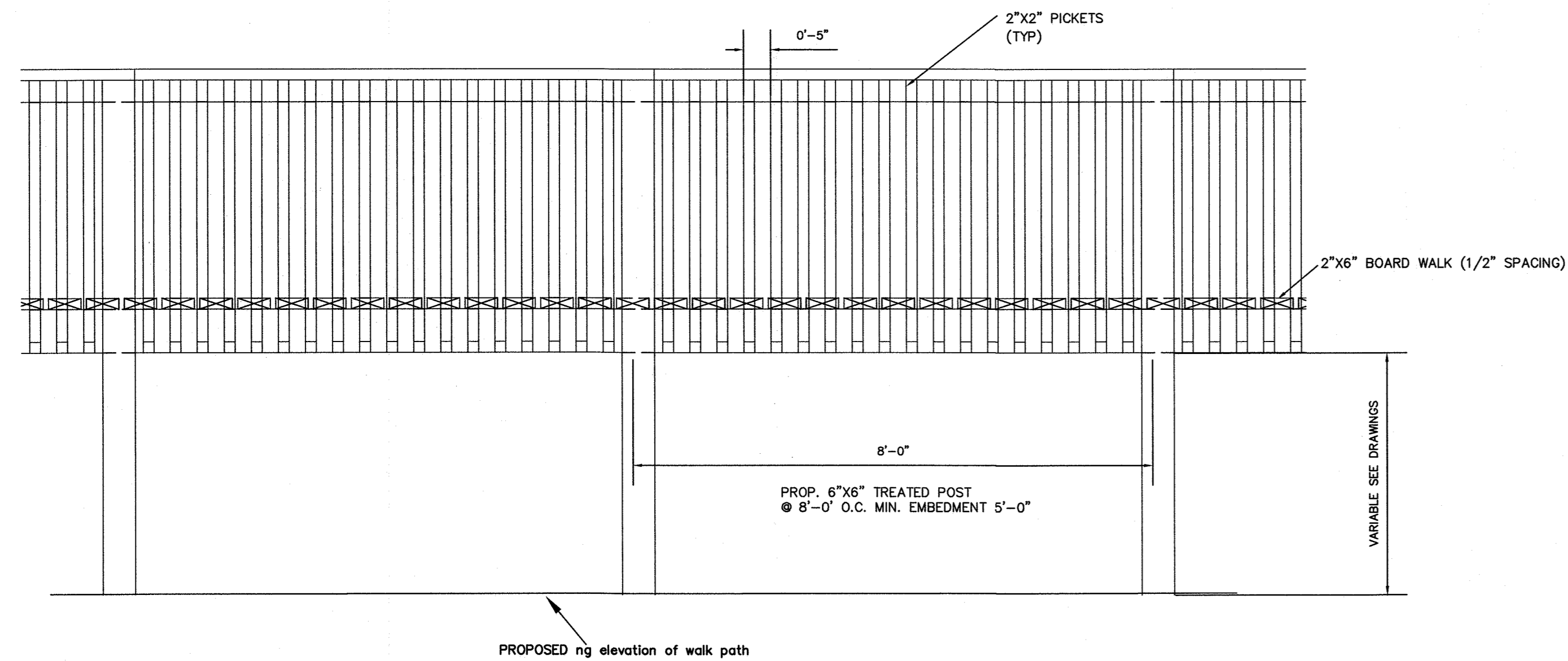


SPI  
CONDOMINIUMS  
SOUTH PADRE ISLAND  
PROPOSED  
WOODEN WALK WAY

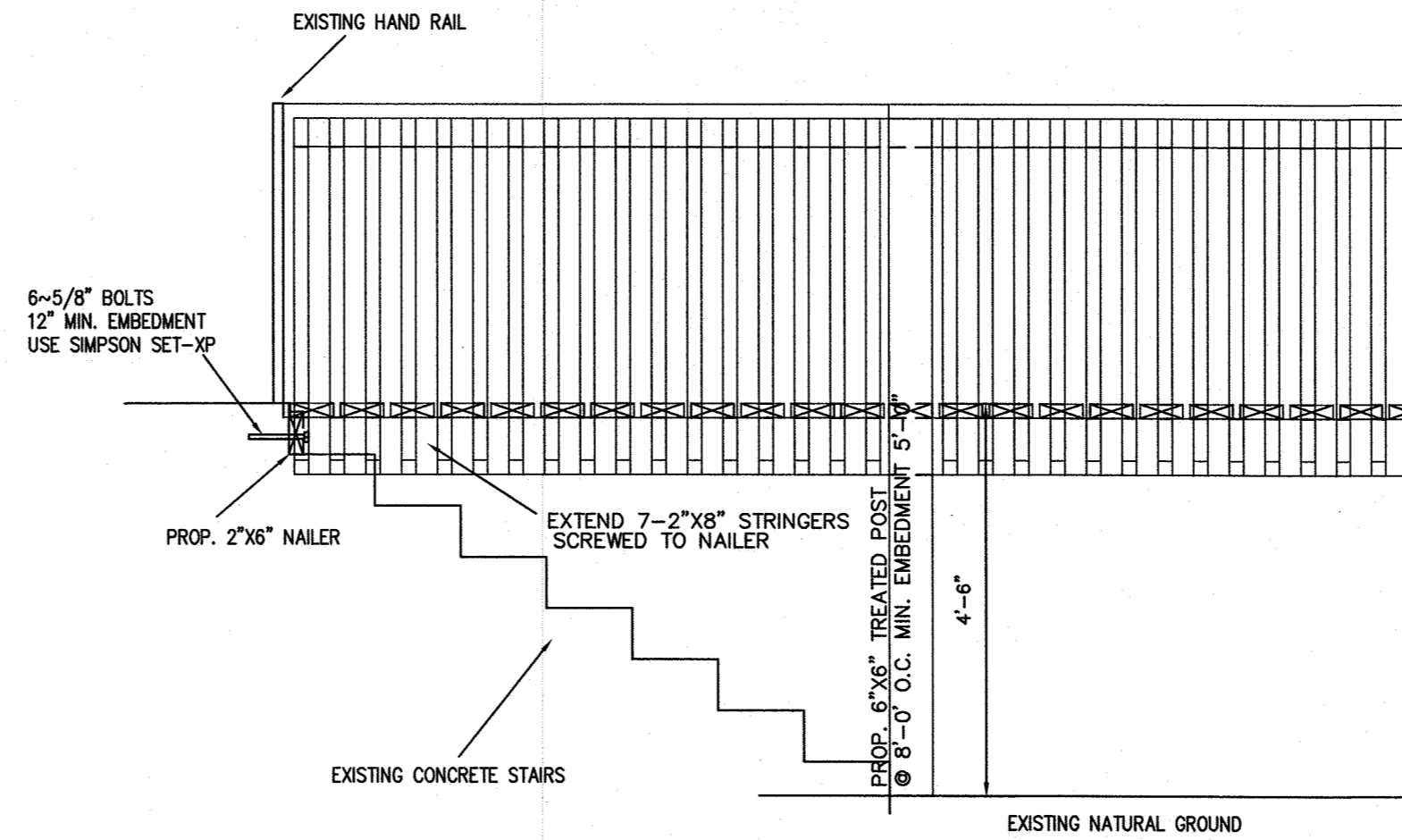
AGH  
ENGINEERING & SURVEYING  
6005 FARMERS ROAD, SUITE 100  
HOUSTON, TEXAS 77056  
P.O. BOX 5148, HOUSTON, TEXAS 77253-4180  
TEL: (281) 514-8000  
FAX: (281) 514-8001  
FIRM NO. F-5197



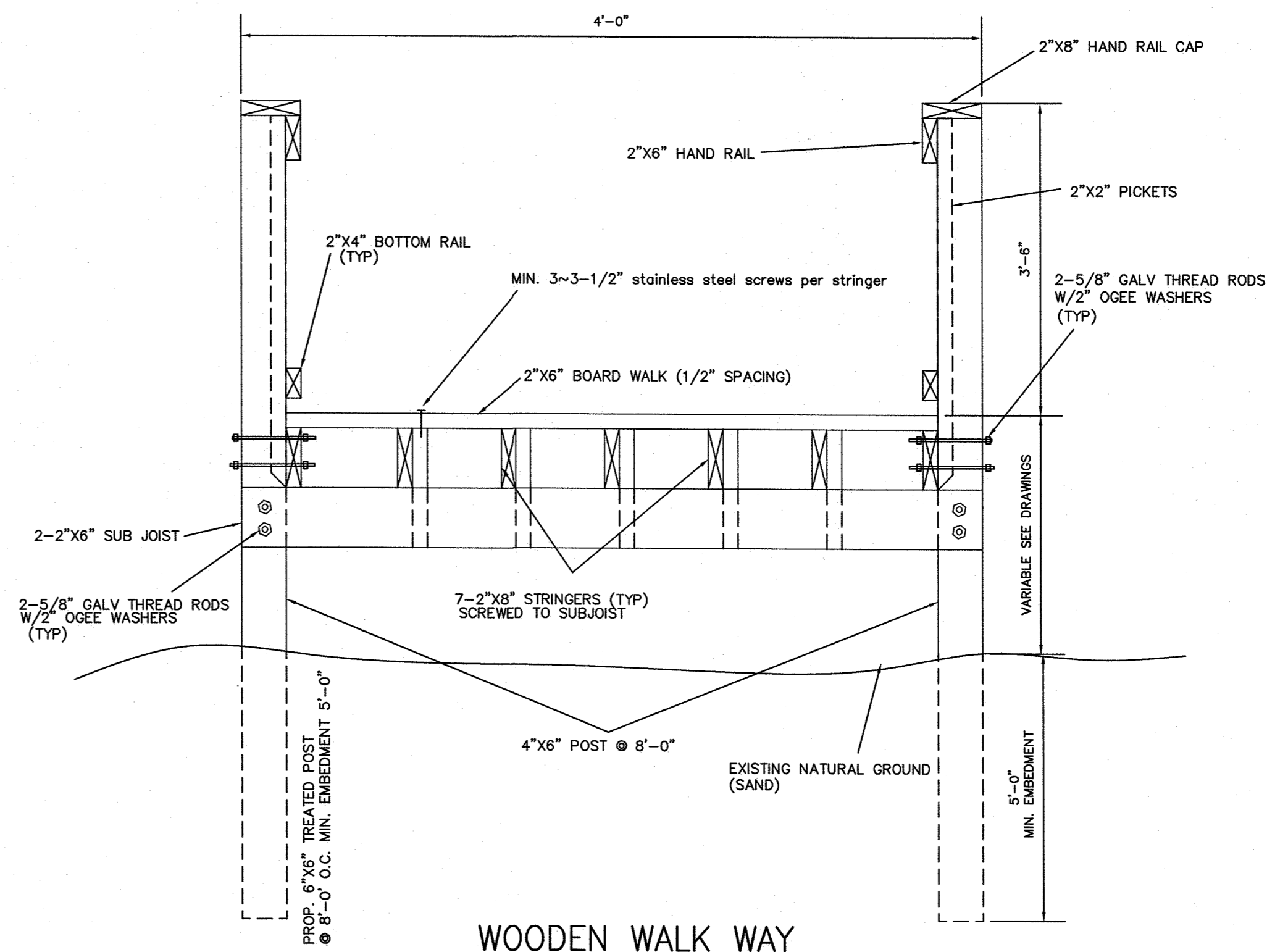
NTS



NTS



SCALE  
1" = 2'



WOODEN WALK WAY  
SECTION A-A'  
N.T.S.

WOOD SPECIFICATIONS				
COMPONENT	GRADE	SURFACE TEXTURE	MOISTURE CONTENT	PRESERVATIVE RETENTION SALTWATER
SPLIT PILE CAP OR SUB-JOIST	No.1 DENSE	S4S,ROUGH	S-DRY 19% OR LESS	.60 ACQ, .31 CA, .60 CCA OR 12.0 CREOSOTE AWPA UC5A, 5B, 5C & C18 (SALT WATER SPLASH)
STRINGERS	No.1	S4S/S2E	S-DRY 19% OR LESS	.60 ACQ, .31 CA, .60 CCA OR 12.0 CREOSOTE AWPA UC5A, 5B, 5C & C18 (SALT WATER SPLASH)
DECKING	PREMIUM No.1	RED S4S	S-DRY 19% OR LESS	.40ACQ, .21CA, .40CCA AWPA UC3B & C18
PILING (ROUND TIMBER)	ASTM D25	N/A	KD 25% OR LESS	2.5 CCA, 20.0 CREOSOTE OR DUAL TREATMENT OF 1.0 CCA & 20.0 CREOSOTE UC5A, 5B, 5C & C3, C18

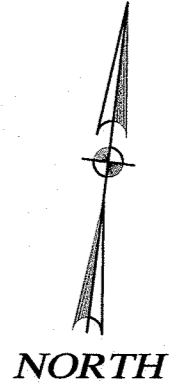
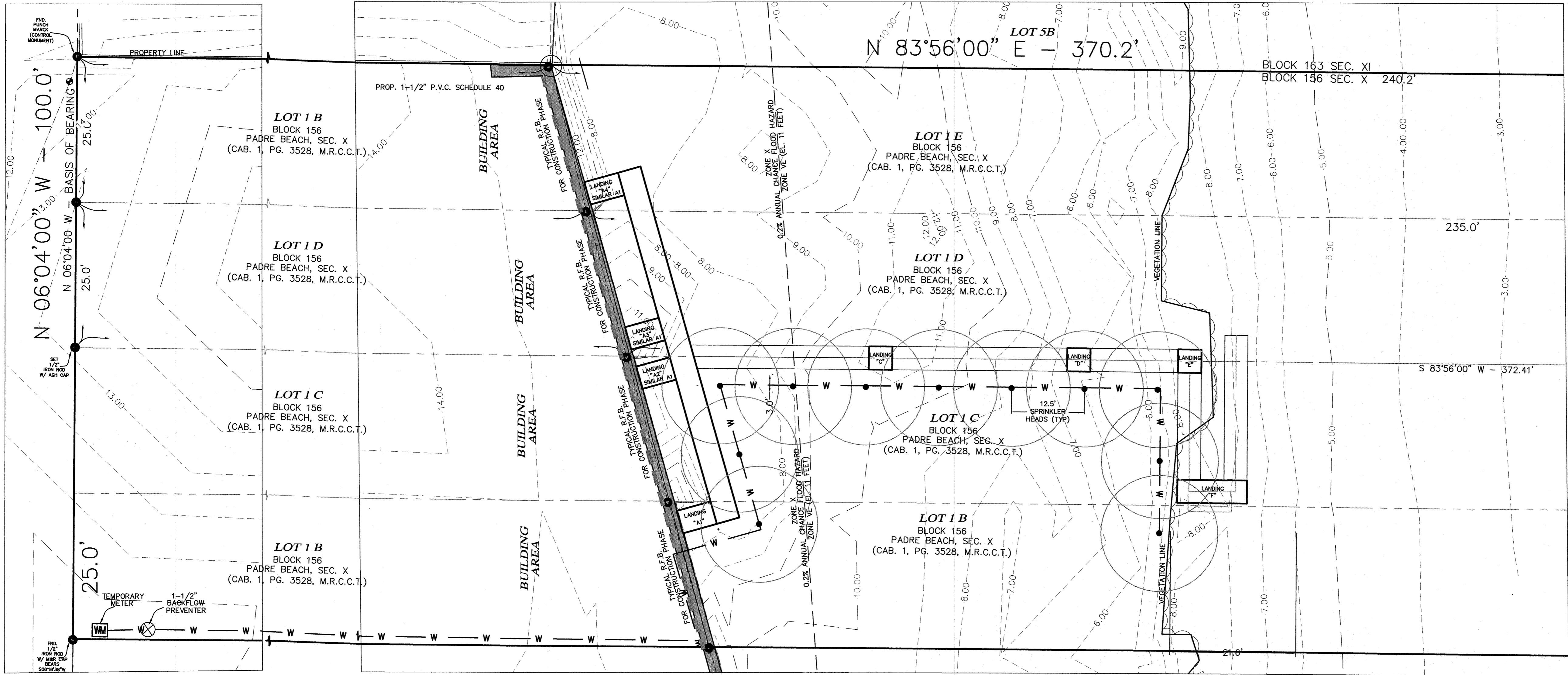
NOTE:  
1. MINIMUM RETENTION ASSAY (E.G. RETENTION .80) EXPRESSED AS POUNDS OF PRESERVATIVE PER CUBIC FOOT (PCF) OF WOOD.

- NOTES:
1. FASTENERS AND CONNECTORS SHOULD BE TYPE 304 OR 316 ALLOY STAINLESS OR HAVE AN EQUIVALENT PROTECTIVE COATING SUCH AS BITUMASTIC.
  2. HOT-DIP GALVANIZED FASTENERS SHOULD MEET ASTM A153, WITH 2 OUNCES OF ZINC COATING PER SQUARE-FOOT MINIMUM FOR MARINE USE.
  3. HOT-DIP GALVANIZED CONNECTORS SHOULD MEET ASTM A653, CLASS C185 SHEET WITH 1.85 OUNCES OF ZINC COATING PER SQUARE-FOOT MINIMUM.
  4. FASTENERS AND CONNECTORS USED TOGETHER SHOULD BE OF THE SAME TYPE (E.G. ONLY STAINLESS STEEL NAILS WITH STAINLESS STEEL JOIST HANGERS).
  5. NAILS SHALL BE RING OR SPIRAL SHANK STAINLESS STEEL OR HOT DIP GALVANIZED. (DECKING)
  6. TO SET ANCHORS IN CONCRETE USE EPOXY-TIE SET (HIGH STRENGTH EPOXY) SIMPSON OR EQUAL WITH 5" MINIMUM EMBED. DEPTH IN TO THE CONCRETE.
  7. ALL CUTS, HOLES & INJURIES TO THE SURFACE OF TREATED WOOD SHOULD BE PROTECTED BY FIELD TREATMENT WITH COOPER NAPHTHENE MEETING AWPA STANDARD P-8.
  8. ALL TIMBER SHOULD BE MARINE GRADE SOUTHERN PINE PRESERVATIVELY TREATED TO AMERICAN WOOD - PRESERVER'S ASSOCIATION (AWPA) STANDARDS C-2 AND C-18. (BULKHEAD SHEETING CAN BE SEA WALL GRADES.)
  9. ALL TREATED WOOD PRODUCTS SHOULD BE HANDLED & FIELD FABRICATED IN ACCORDANCE WITH AWPA STANDARD M4-92.
  10. THREAD ROD SHALL BE A36, A307 OR F1554 GRADE 36 GALVANIZED OR SIMILAR.
  11. ALL BOARD WALK SHOULD BE NAILED TO THE STRINGER THAT SUPPORT IT.
  12. ALL WOODEN POST SHALL BE INSTALLED ON GROUND WITH NO CONCRETE
  13. SEPARATION BETWEEN BOARD WALK 1/2".



SPI  
CONDOMINIUMS  
SOUTH PADRE ISLAND  
WOODEN WALK WAY  
DETAILS

**AGH**  
ENGINEERING & SURVEYING  
P.O. BOX 4180 Brownsville, Texas 78222-4180  
TEL: (361) 744-8201 FAX: (361) 744-8205  
FIRM No: E-5197



## TEMPORARY IRRIGATION PLAN

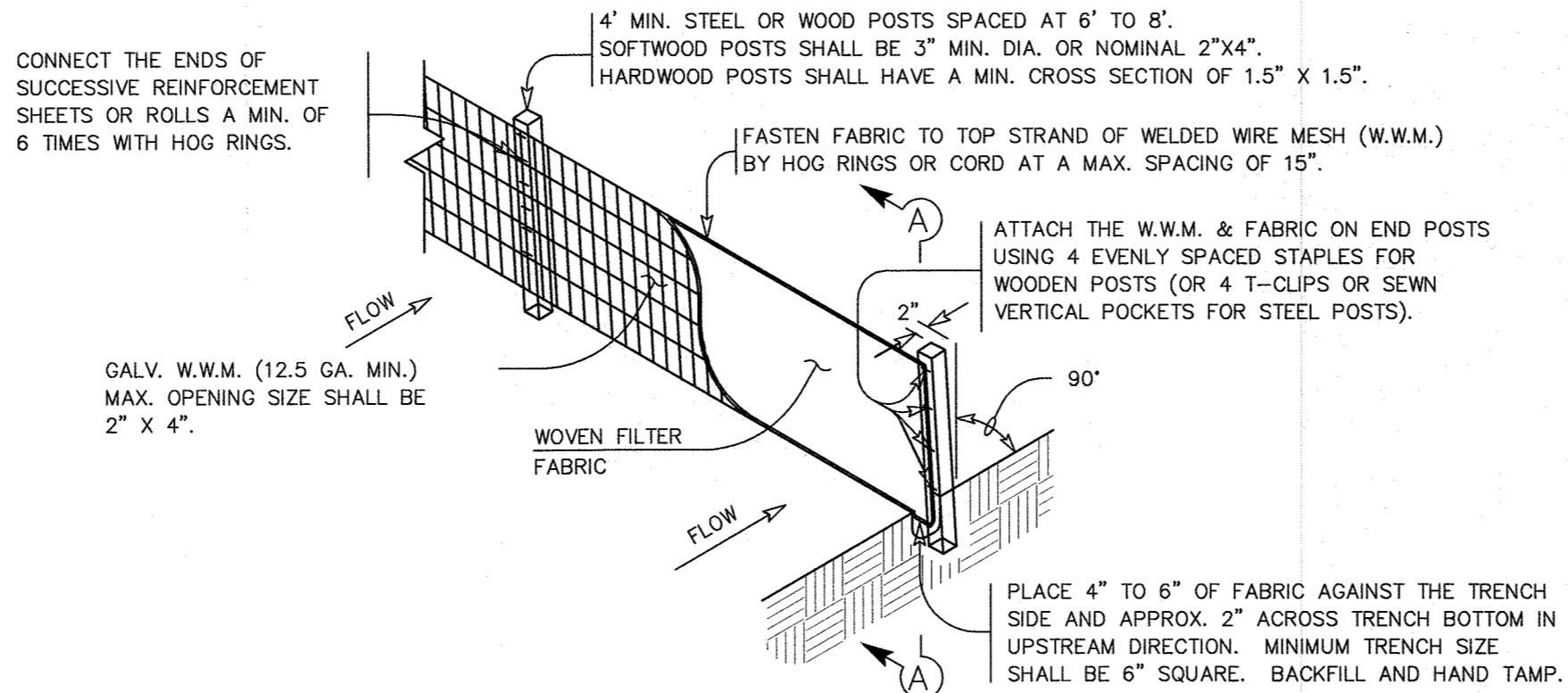
SCALE: 1" = 10'

THE IRRIGATION SYSTEM WILL REMAIN IN PLACE UNTIL  
DUNE VEGETATION HAS BEEN REESTABLISHED.

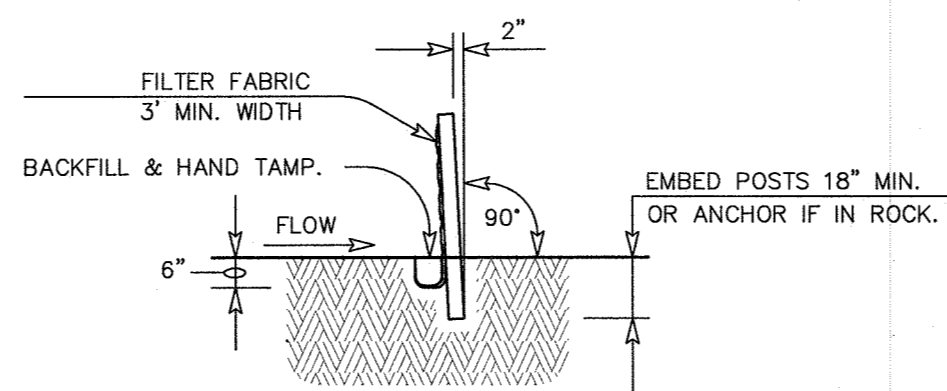
### COMPLIANCE WITH GENERAL LAND OFFICE

- THE WALKWAY WILL BE CONSTRUCTED WITH THE BOUNDARY OF THE LINE OF VEGETATION DETERMINED BY TEXAS GENERAL LAND OFFICE AND THE APPROVED TERMINUS LOCATION DETERMINED BY THE GENERAL LAND OFFICE. THE WALKOVER WILL BE CONSTRUCTED TO THE MOST LANDWARD POINT OF THE PUBLIC BEACH AND WILL NOT INTERFERE WITH OR OTHERWISE RESTRICT PUBLIC USE OF THE BEACH AT NORMAL HIGH TIDES.
- CITY OF SOUTH PADRE ISLAND WILL SHORTEN ANY DUNE WALKOVERS ENCRDACHING ON THE PUBLIC BEACH TO THE APPROPRIATE LENGTH FOR REMOVAL OF THE ENCROACHMENT. CITY OF SOUTH PADRE ISLAND WILL CONTAIN THIS AS A CONDITION IN ANY PERMIT AND CERTIFICATE ISSUED AUTHORIZING CONSTRUCTION OF WALKOVERS. CITY OF SOUTH PADRE ISLAND WILL ASSESS THE STATUS OF THE BEACH BOUNDARY WITHIN 30 DAYS AFTER A MAJOR STORM OR OTHER EVENT CAUSING SIGNIFICANT LANDWARD MIGRATION OF THE PUBLIC BEACH. AFTER ASSESSMENT, CITY OF SOUTH PADRE ISLAND WILL INFORM THE GENERAL LAND OFFICE OF ANY ENCROACHMENTS ON THE PUBLIC BEACH WITHIN TEN (10) DAYS OF COMPLETING THE ASSESSMENT.
- CITY OF SOUTH PADRE ISLAND WILL ENSURE THAT THE CONTRACTOR MINIMIZES ADVERSE IMPACT TO DUNES AND DUNE VEGETATION BY LIMITING THE DEGREE OR MAGNITUDE OF THE ACTION AND ITS IMPLEMENTATION. CITY OF SOUTH PADRE ISLAND WILL ENSURE THAT THE CONTRACTOR DOES NOT IMPEDE ON THE COPPICE MOUNDS.
- THE DECK OF THE WALKWAY MUST BE OF SUFFICIENT ELEVATION TO ALLOW FOR THE GROWTH OF DUNE VEGETATION AND THE MIGRATION OF DUNES TO THE GREATEST EXTENT PRACTICABLE. (REFER TO DRAWINGS).
- THE BOARDWALK IS DESIGNED TO ACCOMMODATE ADA REQUIREMENTS.
- THE CITY PERMIT SHALL CONTAIN A CONDITION REQUIRING THE PERMIT TO MINIMIZE ADVERSE EFFECTS ON DUNE OR DUNE VEGETATION TO THE GREATEST EXTENT PRACTICABLE.
- THE CITY WILL ENSURE THAT THE CONTRACTOR WILL MINIMIZE IMPACTS ON NATURAL HYDROLOGY AND NOT CAUSE EROSION OF ADJACENT PROPERTIES, CRITICAL DUNE AREAS, OR THE PUBLIC BEACH.
- CITY OF SOUTH PADRE ISLAND SHALL POST SIGNS IN AREAS WHERE PEDESTRIAN TRAFFIC IS HIGH EXPLAINING THE FUNCTIONS OF DUNES AND THE IMPORTANCE OF VEGETATION IN PRESERVING DUNES.
- CONSTRUCTION ACTIVITIES MUST NOT IMPACT THE PUBLIC'S ABILITY TO ACCESS OR USE THE BEACH.
- CONSTRUCTION OF THE PROPOSED DUNE WALKOVER SHOULD CONFORM TO THE GLO'S GUIDELINE PROVIDED IN THE DUNE PROTECTION AND IMPROVEMENT MANUAL FOR THE TEXAS GULF COAST, AND CAN BE FOUND ON THE GLO WEBSITE AT:  
[HTTP://WWW.GLO.TEXAS.GOV/COASTAL-MANAGEMENT/FORM/FILES/DUNE-PROTECTION-MANUAL-GPB.PDF](http://www.glo.texas.gov/coastal-management/form/files/dune-protection-manual-gpb.pdf).

CONNECT THE ENDS OF  
SUCCESSIVE REINFORCEMENT  
SHEETS OR ROLLS A MIN. OF  
6 TIMES WITH HOG RINGS.



### TEMPORARY SEDIMENT CONTROL FENCE



SECTION A-A

### LEGEND

- 120 — — — — — EXISTING CONTOUR
- — — — — REINFORCED FILTER BARRIER (R.F.B.)
- M.R.C.C.T. — MAP RECORDS CAMERON COUNTY, TEXAS
- W — — — — — PROP. 1-1/2" Ø, WATER LINE
- WM — WATER METER
- ⊗ — PROP. 1-1/2" Ø, BACKFLOW PREVENTER
- — PROP. SPRINKLE HEAD (TYP)

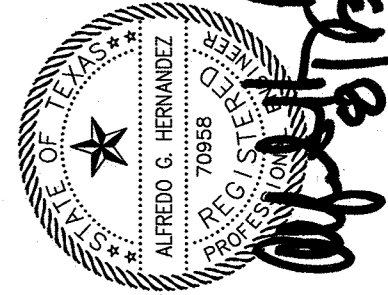
### NOTES:

EXCAVATED SAND SHALL BE RELOCATED ON LOW SPOTS.

OWNER TO IRRIGATE, AND REPLANT VEGETATION DISTURBED BY CONSTRUCTION IN MITIGATION AREA. STAGED CONSTRUCTION MATERIAL TO REMAIN BEHIND BULKHEAD UNTIL USED.

WALKOVER BOUNDARY TO BE DELIMITED WITH 5' HIGH FENCE TO MINIMIZE IMPACTS TO EXISTING DUNES AND VEGETATION.

Unit	Sheet	Date	2018
Scale	AS SHOWN	July 02, 2018	
Designed	F.H.	2017-0267	
Drawn	AGH	4	
Checked	F.H.	4	
Approved	F.H.	4	
8/10/18			
MERT CONSTRUCTION COMMENTS			



SPI  
CONDOMINIUMS  
SOUTH PADRE ISLAND

PROPOSED  
MITIGATION PLAN

**AGH**  
ENGINEERING & SURVEYING  
6505 FARM ROAD, SUITE 100  
DALLAS, TEXAS 75249  
TEL: (972) 514-8300 FAX: (972) 514-8305  
FIRM No: F-5197

**CITY OF SOUTH PADRE ISLAND  
SHORELINE TASKFORCE **SPECIAL**  
MEETING  
AGENDA REQUEST FORM**

**MEETING DATE:** September 4, 2018

**NAME & TITLE:** Brandon Hill, Shoreline Director

**DEPARTMENT:** Shoreline department

**ITEM**

Discussion and action regarding the submissions received concerning the Request for Proposals to provide access matting for many of South Padre Island's beach accesses.

**ITEM BACKGROUND**

Request for Proposals to provide access matting products to allow for access to the beach at many of the city's Public beach access points was made public July 19, 2018 with a deadline for submission of August 6, 2018 at 10:00 am. The proposals received before the deadline, were opened at 11:00 am on August 6, 2018, by Mr. Brandon Hill, and witnessed by Ms. Susan Hill.

**BUDGET/FINANCIAL SUMMARY**

None

**COMPREHENSIVE PLAN GOAL**

Chapter III. Parks and Resources

GOAL 1: The City shall ensure protection and conservation of natural resources, such as beaches, dunes, wetlands, Laguna Madre waterfront and native flora and fauna, allowing for their sustainable use and enjoyment by future generations.

Objective 1.1 Beach and dunes shall be protected from both natural and artificial erosion.

**LEGAL REVIEW**

Sent to Legal:

YES: \_\_\_\_\_

NO:   X  

Approved by Legal:

YES: \_\_\_\_\_

NO:   X  

Comments:

<b>RECOMMENDATIONS/COMMENTS</b>
---------------------------------



City of South Padre Island

## Request for Proposals

The City of South Padre Island is seeking proposals to provide rolled pedestrian (3' and 5' wide) and Vehicle (10' wide) access matting products that will serve to allow access to the beach at many of the City's public beach accesses. The City reserves the right to award the access-mat categories separately based on the proposal that is deemed most advantageous to the City. Please submit your proposal based upon the three (3) divisions shown herein and match the provided descriptions. Submission of materials not specified will be considered non-responsive. Sealed proposals and material samples must be submitted to the City Secretary's Office 4601 Padre Boulevard, South Padre Island 78597 no later than 10:00 am 8/6/2018. Bids will be unsealed publicly at 11:00 am 8/6/2018 at City Hall.

Delivery of material will be expected no more than two weeks after proposals have been selected by City Council. The anticipated award date is 8/15/18. In addition to the rolled mat products detailed below quotes should include all accompanying connectors, stakes, and staples that the products may require.

All questions should be directed to [bhill@myspi.org](mailto:bhill@myspi.org). Any questions asked and the corresponding answers will be disseminated through direct email correspondence with all RFP holders.

### Proposal Evaluation

Cost.....	10 Points
Warranty.....	10 Points
How closely they match the measurements included in this RFQ.....	5 Points
Product Sample/quality.....	20 Points
Delivery Date.....	5 Points
Total.....	50 Points

### Proposal Summary

1216	Linear Feet of 5' Rolled Walking Path Mats
386	Linear Feet of 10' Rolled Driving Mats
1059	Linear Feet of 3' Rolled Walking Path Mats
6	45° Right Turn Pieces
10	45° Left Turn pieces
*	All lengths are approximate



Walkover / Walkway Beach Accesses						
Access Name	Access Number	Access Type	Mat Improvements	Width	Length*	Turn Pieces
Neptune	16	Non ADA walkover	Access-mat product	5	50	0
Bougainvillea	14	Walkover	Access-mat product	5	90	0
Beach	4	Concrete Walkway	Access-mat product	5	150	0
Harbor	1	Foot-path	Access-mat product	5	90	0
Bluewater	9	Foot-path	Access-mat product	5	85	0
Treasure Island	11	Foot-path	Access-mat product	5	130	2:1R/1L 45°
Daydream	12	Foot-path	Access-mat product	5	115	1: 1L 45°
Gulf	3	Foot-path	Access-mat product	5	170	3: 1R/2L 45°
Poinsettia	15	Foot-path	Access-mat product	5	60	0
Sunset	24	Stairs	Access-mat product	5	95	1: 1L 45°
Sapphire	23	Foot-path	Access-mat product	5	181	0



Vehicle Drive Over / Alternate Vehicle Beach Accesses						
Access Name	Access Number	Access Type	Mat Improvements	Width	Length*	Turn Pieces
Beach	4	Drive Over Vehicle Access	Vehicle Mat	10	100	0
Starlight	17	Drive Over Vehicle Access	Vehicle Mat	10	70	0
Fantasy	22	Alternate Vehicle Access	Vehicle Mat	10	121	0
White Sands	NA	Alternate Vehicle Access	Vehicle Mat	10	95	0

Nature Trail Beach Accesses						
Access Name	Access Number	Access Type	Mat Improvements	Width	Length*	Turn Pieces
Whitecap	8	Nature Trail	Access-mat product	3	540	7: 3R/4L 45°
Riviera	10	Nature Trail	Access-mat product	3	519	2:1R/1L 45°

**FAQ:**

1. Mat lengths; the individual mats should utilize smaller lengths (i.e. 50' long) where possible to make the maintenance more manageable, however, the product cannot be less than 10' in length.
2. Color preference; there is not a preference at this time. If the color will impact the cost please show the differences in your submissions. If not the color will be selected upon awarding the proposal.



## Deschamps “Mobi-mat” Access Mat Bid (3’, 5’, and 10’)

Thank you for participating as one of the bid-review team for the access mat bids received as a result of the Requests for Proposals advertised recently by the Shoreline Department of South Padre Island. The RFP’s called for “access matting” products to enhance many of the Shoreline’s beach accesses, there were two quotes received, this evaluation is for Deschamps’ three types of custom “mobi-mats” (vehicle, pedestrian 3’ and 5’) whose lengths would be cut to order and widths and angles match the specifications.

As part of this team you are tasked with evaluating the access mat bids and materials submitted and ranking them based on the following evaluating criteria;

<b>Cost.....</b>	<b>15 Points</b>
<b>Warranty.....</b>	<b>15 Points</b>
<b>How closely they match the measurements included in this RFP.....</b>	<b>10 Points</b>
<b>Product Sample/quality.....</b>	<b>5 Points</b>
<b>Delivery Date.....</b>	<b>5 Points</b>
<b>Total.....</b>	<b>50 Points</b>

The delivery of the material is expected no more than two weeks after proposals have been selected by City Council. In addition to the mat products detailed below quotes should include all accompanying connectors, stakes, and staples that the products may require.

Please provide your evaluation of the proposals below and any additional comments that you may have in the provided area.

<b>Cost.....</b>	<b>____/15 Points</b>
<b>Warranty.....</b>	<b>____/15 Points</b>
<b>How closely they match the measurements included in this RFP.....</b>	<b>____/10 Points</b>
<b>Product Sample/quality.....</b>	<b>____/5 Points</b>
<b>Delivery Date.....</b>	<b>____/5 Points</b>
<b>Total.....</b>	<b>____/50 Points</b>

Additional Comments:



## **Skudo Access Mat Bid (Single size mat (3.3') laid side by side for 3', 5' and 10')**

Thank you for participating as one of the bid-review team for the access mat bids received as a result of the Requests for Proposals advertised recently by the Shoreline Department of South Padre Island. The RFP's called for "access matting" products to enhance many of the Shoreline's beach accesses, there were two quotes received, this evaluation is for Skudo Mat, a rubberized foot mat that comes in one width (3.3 feet) and would need to be laid side by side to accommodate increased widths.

As part of this team you are tasked with evaluating the access mat bids and materials submitted and ranking them based on the following evaluating criteria;

**Cost.....15 Points**  
**Warranty.....15 Points**  
**How closely they match the measurements included in this RFP.....10 Points**  
**Product Sample/quality.....5 Points**  
**Delivery Date.....5 Points**  
**Total.....50 Points**

The delivery of the material is expected no more than two weeks after proposals have been selected by City Council. In addition to the mat products detailed below quotes should include all accompanying connectors, stakes, and staples that the products may require.

Please provide your evaluation of the proposals below and any additional comments that you may have in the provided area.

**Cost...../15 Points**  
**Warranty...../15 Points**  
**How closely they match the measurements included in this RFP...../10 Points**  
**Product Sample/quality...../5 Points**  
**Delivery Date...../5 Points**  
**Total...../50 Points**

Additional Comments:

Mat Matrix Summary		
	Deschamps (Mobi-mat)	Skudo Mat
Darla Jones	25	18
Wendi Delgado	30	19
Oscar Grisham	31	15
Brandon Hill	33	24
Alex Sanchez	26	21
<b>Average Score</b>	<b>29</b>	<b>19.4</b>

Matrix Criteria	Possible Score
Cost	15
Warranty	15
Measurement	10
Sample Quality	5
Delivery Date	5

Deschamps (Mobi-mat)	Cost	Warranty	Measurements	Quality	Delivery Date	Total
Darla Jones	10	0	10	5	0	25
Wendi Delgado	10	0	10	5	5	30
Oscar Grisham	13	0	10	4	4	31
Brandon Hill	13	0	10	5	5	33
Alex Sanchez	6	0	10	5	5	26
<b>Average Score</b>	<b>10.4</b>	<b>0</b>	<b>10</b>	<b>4.8</b>	<b>3.8</b>	<b>29</b>

Skudo	Cost	Warranty	Measurements	Quality	Delivery Date	Total
Darla Jones	13	0	0	5	0	18
Wendi Delgado	11	0	1	3	4	19
Oscar Grisham	8	0	4	1	2	15
Brandon Hill	15	0	2	2	5	24
Alex Sanchez	15	0	4	1	1	21
<b>Average Score</b>	<b>12.4</b>	<b>0</b>	<b>2.2</b>	<b>2.4</b>	<b>2.4</b>	<b>19.4</b>





**CITY OF SOUTH PADRE ISLAND  
SHORELINE TASKFORCE **SPECIAL**  
MEETING  
AGENDA REQUEST FORM**

**MEETING DATE:** September 4, 2018

**NAME & TITLE:** Brandon Hill, Shoreline Director

**DEPARTMENT:** Shoreline department

**ITEM**

Discussion and action to recommend to City Council proposed amendments to the South Padre Island Beach User Fee (BUF) Plan and support for the publication of a “Request for Proposals” to solicit a third party paid parking vendor.

**ITEM BACKGROUND**

The City staff has performed a thorough review of the existing Beach User Fee plan and has found numerous corrections and amendments. Through the DMAIC review process the City staff is working to amend and improve the Beach User Fee plan. In addition to incorporating confirmed parking inventories, staff is putting forward options to the City Council regarding the potential seasonality of the parking program, which areas should be included as paid parking, and a reevaluation of the proposed rate schedule.

**BUDGET/FINANCIAL SUMMARY**

None at this time.

**COMPREHENSIVE PLAN GOAL**

Chapter III. Parks and Resources

GOAL 1: The City shall ensure protection and conservation of natural resources, such as beaches, dunes, wetlands, Laguna Madre waterfront and native flora and fauna, allowing for their sustainable use and enjoyment by future generations.

Objective 1.1 Beach and dunes shall be protected from both natural and artificial erosion.

**LEGAL REVIEW**

Sent to Legal:

YES: \_\_\_\_\_

NO:   X  

Approved by Legal:

YES: \_\_\_\_\_

NO:   X

Comments:

<b>RECOMMENDATIONS/COMMENTS</b>
---------------------------------

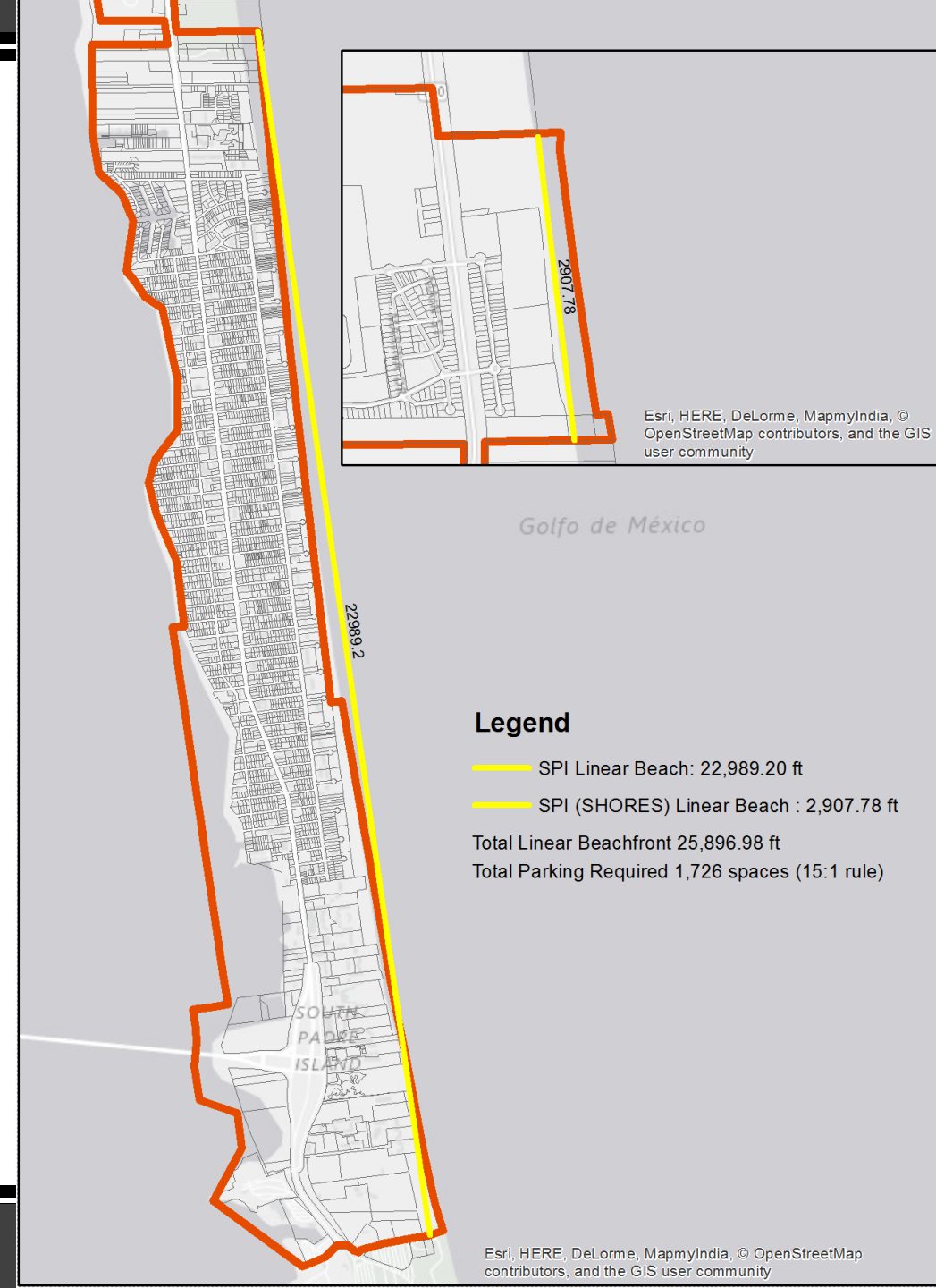
# Beach User Fee Plan Analysis



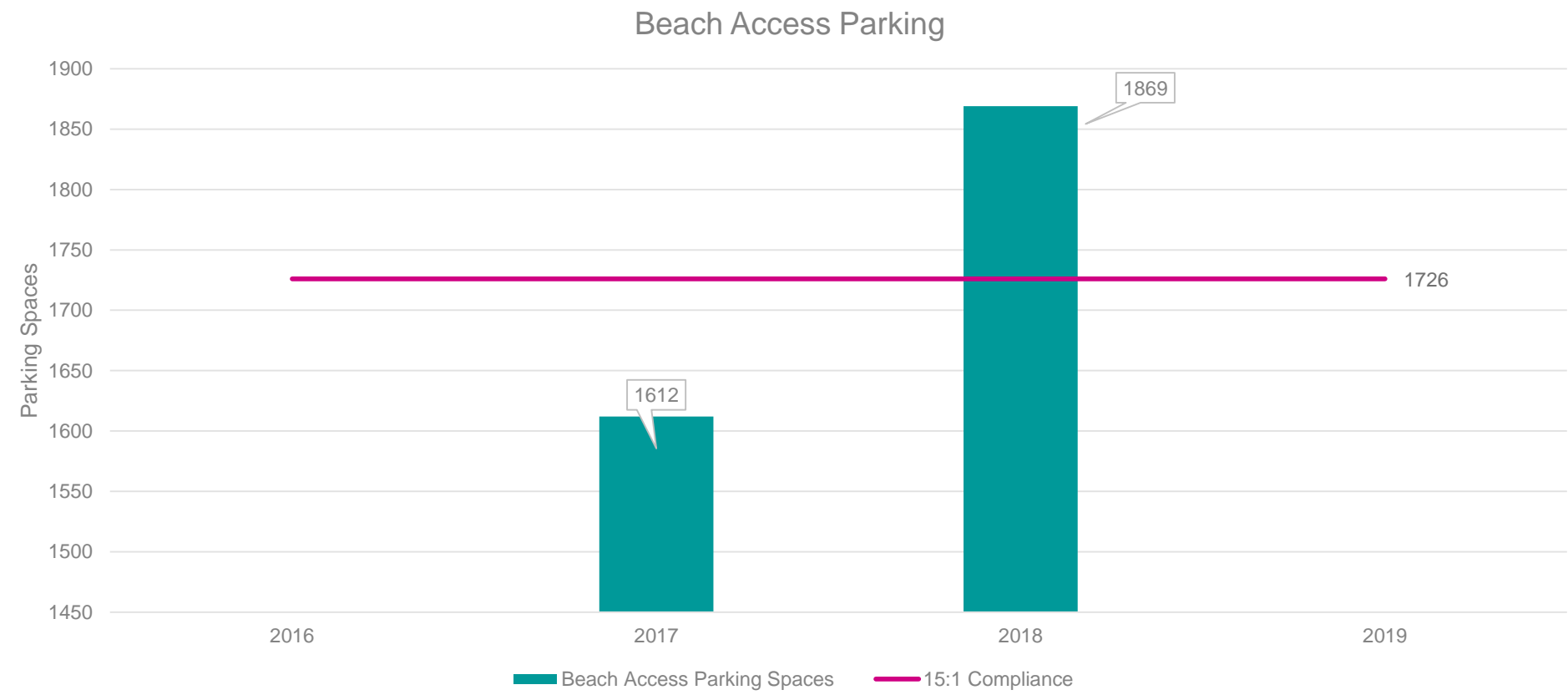
Amendment Proposal

# Public Parking Requirements on SPI

- Total Linear Beachfront 25,896.98 ft.
- Total Parking Required 1,726 spaces
- (h) Preservation and enhancement of public beach use and access. A local government shall regulate pedestrian or vehicular beach access, traffic, and parking on the beach only in a manner that preserves or enhances existing public right to use and have access to and from the beach. **A local government shall not impair or close an existing access point or close a public beach to pedestrian or vehicular traffic without prior approval from the General Land Office.**
- (1) For the purposes of this subchapter, beach access and use is presumed to be preserved if the following criteria are met.
- (A) Parking on or adjacent to the beach is adequate to accommodate one car for each 15 linear feet of beach.
- Texas Administrative Code, Title 31. Natural Resources and Conservation, Part 1. General Land Office, Chapter 15 Coastal Area Planning, Subchapter A. Management of the Beach/Dune System, Section 15.7 Local Government Management of the Public Beach



# Parking Totals as of 8/7/18



# Beach User Fee Plan

- Nested within the Beach Management and Access Plan (BMAP)
- Details the methodology and implementation of a municipality's Beach User Fee (BUF) Plan
- Approved by Texas General Land Office and published in the Texas Register for public comment purposes

## Previous Efforts...

- In 2015 the City of South Padre Island submitted to the GLO a BUF Plan that was approved
- Due to staff turnover, the parking inventory counts could not be validated, which resulted in a need for an amendment
- In 2017 Shoreline Staff began this process through the creation of the GIS-based SPI Beach Parking Tool
- The BUF Plan has now been amended to reflect accurate parking inventory and updated with current goals

# Options

- The City of SPI has options moving forward
  - Whether to implement paid parking **seasonally or year-round**
    - **March 1 – September 15**
    - **Annually (365 days)**
  - **Which parking spaces** to encompass in the paid parking
    - Cul-de-sacs, side streets east of Padre, and Gulf Boulevard rights-of-way
  - Whether it is best to charge an **hourly rate or 6-hour fee**

## Seasonally or Year-Round?

- The existing BUF called for a seasonal approach from March 1 – September 15 however this approach is not recommended at this time
- Other plans from coastal cities such as Galveston and Corpus Christi indicate that year-round implementation leads to greater compliance, less confusion and an increase in revenue
- No seasonal paid parking programs could be identified

## Which Areas to Include?

- The existing BUF called for inclusion of only the parking on Gulf Boulevard and the beach access cul-de-sacs (minus Harbor, Aurora, and Surf Circles due to their proximity to beach bars) to be included as paid parking
- An option exists to encompass all cul-de-sacs and improved side-streets from Gulf to Padre Boulevard as paid parking
  - Will excluding side streets encourage more parking in these areas?

# Parking Totals as of 8/7/18

Parking Location	ADA	Standard	Total	Free parking	Paid Parking
SPI Convention Center	9	447	456	456	
SPI Birding Center	4	109	113	113	
Thompkins Park	2	21	23	23	
SPI Post Office	2	86	88	88	
SPI City Hall	7	111	118	118	
SPI Multi Modal	6	120	126	126	
South Lot (La Copa)	0	27	27	27	
Beach Access Cul-de-Sacs	23	227	250	23	188
Gulf Blvd. R.O.W	7	310	317	7	310
Improved East side streets	0	251	251	0	251
Contributed by County Parks for Shores Development	0	100	100	100	
Totals	60	1809	1869	1081	788

FREE PARKING

PAID PARKING

## Hourly Rate or 6-Hour Fee

- The existing BUF calls for a \$6.35 flat fee for 6-hours of parking
- Other plans from coastal cities such as Galveston and Corpus Christi indicate that hourly rates lead to increased parking space turnover and more purposeful use of available parking spaces

# Existing BUF 6-Hour Fee

**2015**

	<b>6 Hours</b>	<b>+ 6 Hours</b>
<b>Beachgoer Charge</b>	\$ 6.35	\$ 6.00
<b>Convenience Fee (vendor)</b>	(\$ 0.35)	\$ -
<b>Transaction Fee (vendor)</b>	(\$ 0.33)	(\$ 0.33)
<b>City of SPI</b>	\$ 5.67	\$ 5.67

\*taken from existing BUF

# Possible Hourly Rate

## Per-Hour Options for 2018 BUF

	2015 Rate	Galveston Rate	Corpus Christi Rate	Cameron County “Equivalent”	Port Aransas “Equivalent”	McAllen Rate
<b>Beachgoer Charge</b>	\$0.95	\$1.75	\$1.25	\$1.67	\$2.00	\$0.85
<b>Convenience Fee (Vendor)</b>	(\$0.35)	(\$0.35)	(\$0.35)	(\$0.35)	(\$0.35)	(\$0.35)
<b>Transaction Fee (Vendor)</b>	(\$0.33)	(\$0.33)	(\$0.33)	(\$0.33)	(\$0.33)	(\$0.33)
<b><i>City of SPI (First Hour)</i></b>	<i>\$0.27</i>	<i>\$1.07</i>	<i>\$0.57</i>	<i>\$0.98</i>	<i>\$1.32</i>	<i>\$0.17</i>
<b><i>City of SPI (Subsequent Hours)</i></b>	<i>\$0.62</i>	<i>\$1.42</i>	<i>\$0.92</i>	<i>\$1.34</i>	<i>\$1.67</i>	<i>\$.52</i>

\*Rates taken from peer cities, fees based off of existing BUF

## Downtown Parking Rate Study (2010)

Peer City	Number of Parking Meters	Hourly Rate	Annual/Monthly Rate
Asheville, NC	1,202	\$1.00	\$30-\$45/month
Austin, TX	4,500	\$1.00	N/A
Fort Worth, TX	2,200	\$0.50-\$1.25	N/A
Galveston, TX	2,600	\$1.75	\$100/year
McAllen, TX	1,500	\$0.50	N/A
Savannah, GA	3,000	\$0.30-\$1.00	N/A
Ventura, CA	625	\$1.00-\$1.50	\$20/year

\*Information taken from City of McKinney Downtown Parking Rate Study, September 1, 2010

# Hourly On-Street Metered Parking Rates

(2008 most recent data available)

	High	Low	Median
National Median	\$1.88	\$1.05	\$1.48

\*Source: Colliers International Parking Rate Study

# Seasonal/Annual Pass Option

Estimated Seasonal Passes			
	Estimated passes	Cost per pass	Gross Revenue
Residents	400	\$100	\$40,000
Other	400	\$100	\$40,000
			\$80,000

\*Estimated levels taken from original BUF and cross-referenced with existing distribution of hurricane entry stickers

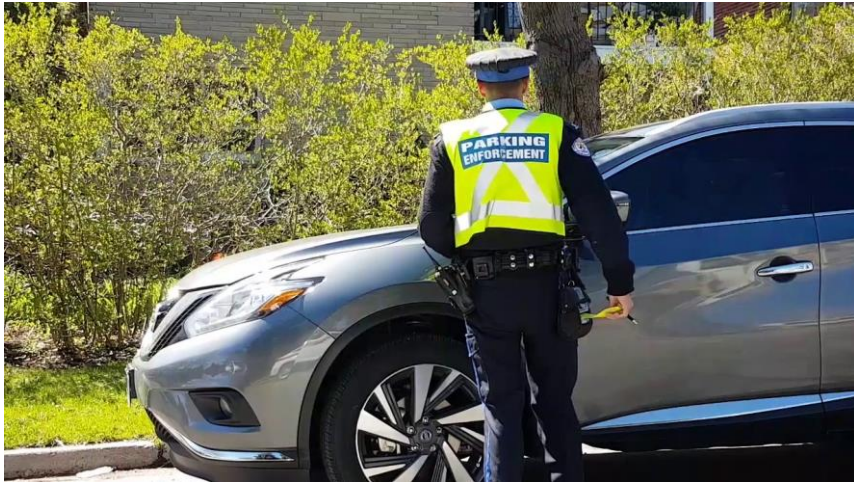
## Option Matrix: **Estimated** First Year Revenue

	<b>Peer City Revenue Rate</b>	<b>SPI Calculation Revenue Rate</b>
<b>Gross Revenue</b>	\$307,172	\$917,590
<b>Net Revenue</b>	\$115,825	\$723,411

- “SPI Calculation” values are estimates using the 2018 proposed rate (\$1.75) and are conservatively calculated using only weekend days, anticipating 6-hour stays on Saturday and Sunday during the 26-week or year-round period
- “Peer City” values are estimates using a per-space revenue rate (\$253.46 based on Galveston’s annual per-space revenue) multiplied by SPI’s projected paid spaces (537 – 788)
- Gross Revenue: estimated revenue minus sales tax, fine revenue, and court cost
- Net Revenue: estimated revenue minus **ParkMobile** Fees, and estimated operating costs

# Estimated Revenue Options

Some parking vendors offer “turnkey” operations where enforcement is included in the cost



## Other Proposed Meaningful Changes to the BUF

- Vehicles
- Enforcement Department
- Third Party Vendor

# Vehicles

2015: 4x4 ATV



Proposed 2018: Task Specific Vehicle



## Vehicles

- Full sized vehicles were suggested by other coastal cities due to their ability to not overheat while idling for long periods of time and their adaptability for computer systems
- A task specific vehicle will suit SPI due to their compact footprint and relatively low operating cost compared to full-size vehicles; they are similar to existing fleet UTV's but offer climate control, security for necessary computer systems and weather resistance

# Enforcement Department

2015: Police Department



Proposed 2018: Parking Division  
of Shoreline Department



\*unpaid, unprofessional model, not R.O.W. Officer Willie Higginbotham

## Enforcement Department

- The creation of a “Parking Enforcement” Division of the Shoreline Department is recommended
  - This program is heavily regulated by the GLO, keeping the regulation, development, and compliance of the BUF within a single department could allow for a coordinated and concentrated effort and not divert resources from law enforcement

# Third Party Vendor For Parking Fee Collections

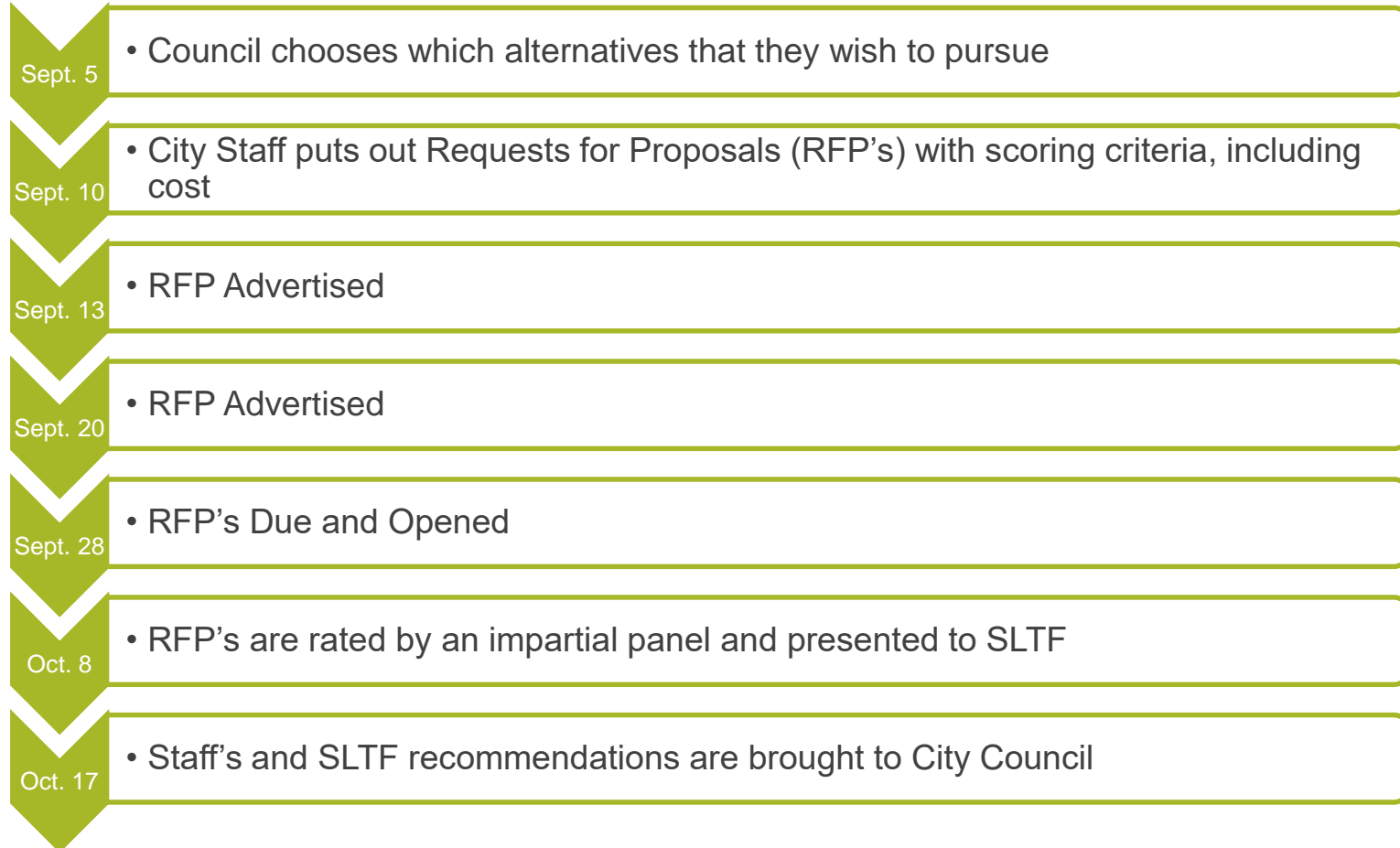
2015



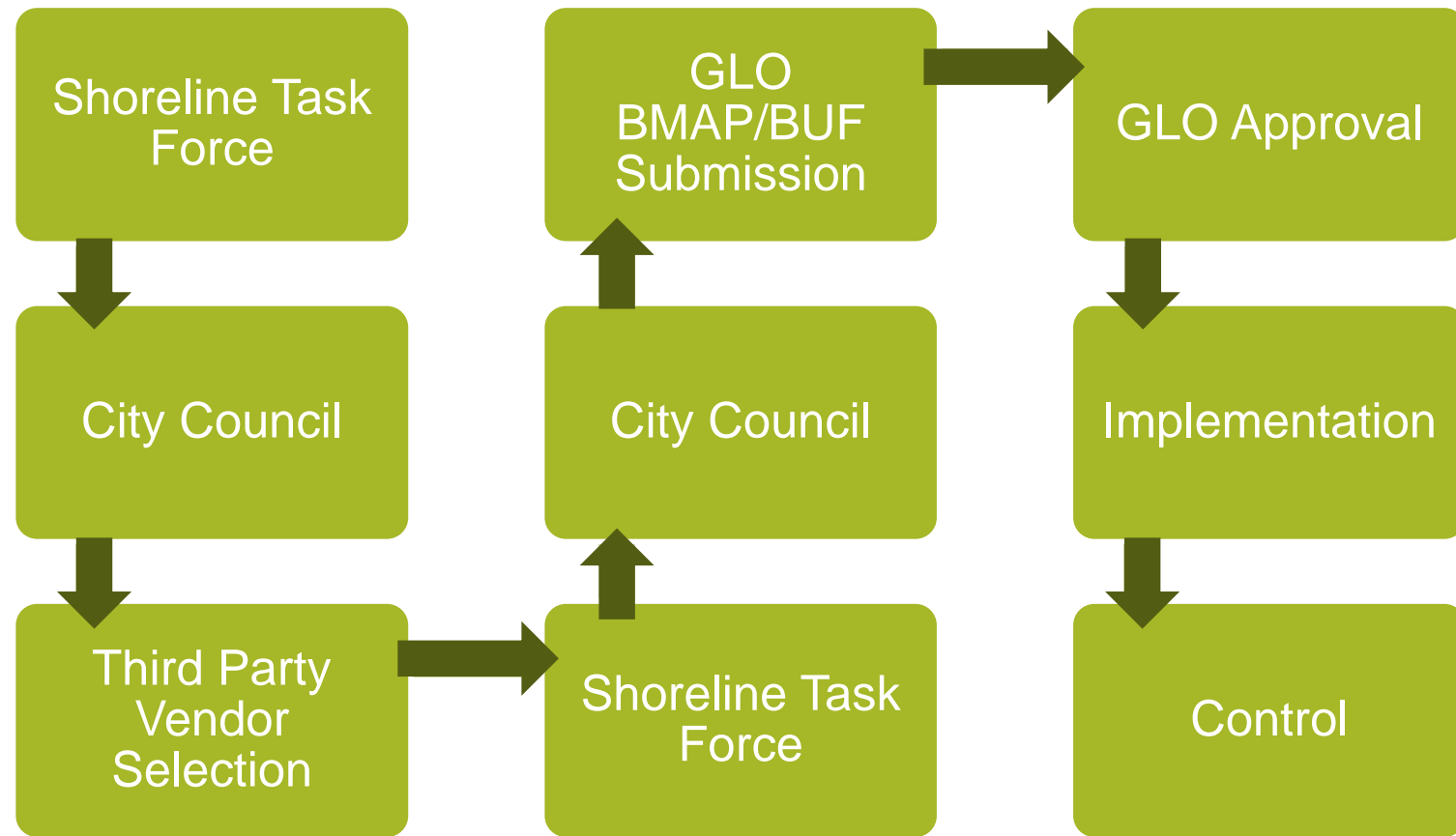
Proposed 2018: RFP Pending  
Council Directions



# Proposed Schedule for Obtaining Third Party Vendor



# BUF Plan Process



## Galveston Revenue Rate, ParkMoblie Fees

City of South Padre Island

Beach User Fee Parking Program Financial Forecast

8:00 am - 8:00 pm, Mon-Sun, **Year Round Parking, Side Streets Included**

	Year 1	Year 2	Year 3	Year 4	Year 5
Parking Revenue	\$199,728	\$203,722	\$207,797	\$211,953	\$216,192
Fine Revenue & Court Cost	\$122,664	\$125,117	\$127,619	\$130,172	\$132,775
Sales Tax Collected	(\$15,219)	(\$15,524)	(\$15,834)	(\$16,151)	(\$16,474)
<b>Gross Revenue</b>	<b>\$307,172</b>	<b>\$313,316</b>	<b>\$319,582</b>	<b>\$325,974</b>	<b>\$332,493</b>
<b>Operating Costs:</b>					
Credit Card Transaction Fees	\$36,222	\$36,222	\$36,222	\$36,222	\$36,222
Convenience Transaction Fees	\$27,264	\$27,264	\$27,264	\$27,264	\$27,264
Salaries & Benefits	\$65,000	\$66,300	\$67,626	\$68,979	\$70,358
Overtime	\$2,000	\$2,040	\$2,081	\$2,122	\$2,165
Advertising	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000
Training	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000
Vehicle Acquisition	\$30,000	\$0	\$0	\$0	\$0
Uniforms	\$750	\$765	\$780	\$796	\$812
Capital Replenishment	\$10,000	\$10,200	\$10,404	\$10,612	\$10,824
Automatic License Plate Reader & Software	\$9,000	\$9,000	\$9,000	\$9,000	\$9,000
Operating Expense Contingency	\$9,112	\$7,690	\$7,769	\$7,850	\$7,932
<b>Total Operating Costs</b>	<b>\$191,347</b>	<b>\$161,480</b>	<b>\$163,146</b>	<b>\$164,844</b>	<b>\$166,577</b>
<b>Net Revenue</b>	<b>\$115,825</b>	<b>\$151,835</b>	<b>\$156,436</b>	<b>\$161,129</b>	<b>\$165,916</b>
<b>Assumptions</b>					
Parking Revenue	Galveston Paid Parking Revenue per space (\$253.46) multiplied by SPI's projected maximum paid spaces (788)				
Fine Revenue and Court Cost	The citation per space rate of peer cities (7) multiplied by the SPI Projected paid spaces (788) provides the projected citations for SPI. This number multiplied by the 60% collection rate (average of SPI Court and Galveston Court rates) multiplied by the \$30 fine (conservative cost). Court costs were calculated based on a \$7 court cost per collected fine.				
Sales Tax Collected	Parking revenue multiplied by sales tax				
<b>Operating Costs:</b>					
Credit Card Fees	Assuming credit card fees based on ParkMobile merchant				
Convenience Transaction Fee	\$.35 per transaction				
Salaries & Benefits	Salaries and benefits for 1 full time employee, 2 part time				
Overtime	De minimis level to cover unanticipated issues				
Vehicle Acquisition	Quote from a Go4 used as estimated task specific vehicle cost				
Advertising	Print media to include handouts and window hangings				
Training	Software and practical training				
Uniforms	Uniforms for enforcement staff				
Capital Replenishment	Replacement costs of vehicles and signage				
Automatic License Plate Reader & Software	Software license costs				

## SPI Projected Revenue Rate, ParkMobile Fees

City of South Padre Island

Beach User Fee Parking Program Financial Forecast

8:00 am - 8:00 pm, Mon-Sun, **Year Round Parking, Side Streets Included**

	Year 1	Year 2	Year 3	Year 4	Year 5
Parking Revenue	\$860,496	\$860,496	\$860,496	\$860,496	\$860,496
Fine Revenue & Court Cost	\$122,664	\$125,117	\$127,619	\$130,172	\$132,775
Sales Tax Collected	(\$65,570)	(\$65,570)	(\$65,570)	(\$65,570)	(\$65,570)
<b>Gross Revenue</b>	<b>\$917,590</b>	<b>\$920,043</b>	<b>\$922,546</b>	<b>\$925,098</b>	<b>\$927,701</b>
<b>Operating Costs:</b>					
Credit Card Transaction Fees	\$37,499	\$37,499	\$37,499	\$37,499	\$37,499
Convenience Transaction Fees	\$28,683	\$28,683	\$28,683	\$28,683	\$28,683
Salaries & Benefits	\$65,000	\$66,300	\$67,626	\$68,979	\$70,358
Overtime	\$2,000	\$2,040	\$2,081	\$2,122	\$2,165
Advertising	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000
Training	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000
Vehicle Acquisition	\$30,000	\$0	\$0	\$0	\$0
Uniforms	\$750	\$765	\$780	\$796	\$812
Capital Replenishment	\$10,000	\$10,200	\$10,404	\$10,612	\$10,824
Automatic License Plate Reader & Software	\$9,000	\$9,000	\$9,000	\$9,000	\$9,000
Operating Expense Contingency	\$9,247	\$7,824	\$7,904	\$7,985	\$8,067
<b>Total Operating Costs</b>	<b>\$194,179</b>	<b>\$164,312</b>	<b>\$165,977</b>	<b>\$167,676</b>	<b>\$169,409</b>
<b>Net Revenue</b>	<b>\$723,411</b>	<b>\$755,731</b>	<b>\$756,568</b>	<b>\$757,422</b>	<b>\$758,293</b>
<b>Assumptions</b>					
Parking Revenue	The number of paid parking spaces (788), multiplied by an average space use (6 hours), multiplied by the hourly rate (\$1.75 per hour) multiplied by the number of days in a weekend (2) multiplied by the number of weeks that the program will be in use (52)				
Fine Revenue and Court Cost	The citation per space rate of peer cities (7) multiplied by the SPI Projected paid spaces (788) provides the projected citations for SPI. This number multiplied by the 60% collection rate (average of SPI Court and Galveston Court rates) multiplied by the \$30 fine (conservative cost). Court costs were calculated based on a \$7 court cost per collected fine.				
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