

**NOTICE OF MEETING  
CITY OF SOUTH PADRE ISLAND  
SHORELINE TASK FORCE**

**NOTE: One or more members of the City of South Padre Island City Council may attend this meeting; if so, this statement satisfies the requirements of the OPEN MEETINGS ACT.**

NOTICE IS HEREBY GIVEN THAT THE SHORELINE TASK FORCE OF THE CITY OF SOUTH PADRE ISLAND, TEXAS, WILL HOLD A REGULAR MEETING ON:

**MONDAY, DECEMBER 4, 2017  
3:00 P.M. AT THE MUNICIPAL BUILDING,  
CITY COUNCIL CHAMBERS, 2<sup>ND</sup> FLOOR  
4601 PADRE BOULEVARD, SOUTH PADRE ISLAND, TEXAS**

1. Call to Order.
2. Pledge of Allegiance.
3. **Public Comments and Announcements:** *This is an opportunity for citizens to speak to Task Force relating to agenda or non-agenda items. Speakers are required to address the Task Force at the podium and give their name before addressing their concerns. [Note: State law will not permit the Shoreline Task Force to discuss debate or consider items that are not on the agenda. Citizen Comments may be referred to City Staff or may be placed on the agenda of a future Shoreline Task Force meeting]*
4. Approval of the November 20, 2017 regular meeting minutes.
5. Discussion and action to cancel Shoreline Taskforce meetings to be held on December 18, 2017 and January 1, 2018.
6. Discussion and possible action to recommend to Texas General Land Office a Beach and Dune Permit for 5908 Gulf Boulevard South Padre Island Texas. (Hill)
7. Discussion and possible action regarding HDR's South Padre Island Resilient Public Access and Education, Conservation, and Tourism Master Plan. (Hill)
8. Discussion and presentation of *Dune Volunteer Planting Program* power point. A history of dune planting efforts by volunteers on South Padre Island. (Hill)
9. Discussion and presentation of *Sargassum* power point. A brief presentation on seaweed and its effects on the City's beaches. (Hill)
10. Discussion and possible action regarding a resolution from the City South Padre Island in support of The University of Texas Rio Grande Valley Lower Laguna Madre Estuary Program.(Hill)
11. Discussion and possible action to recommend approval of proposed Ordinance to amend 13-24 Regulation of Shade Devices and Chairs on the Public Beach, Section E. (Hill).

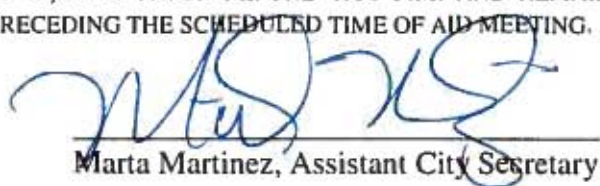
12. Adjournment.

DATED THIS THE 28 TH DAY OF NOVEMBER 2017



Marta Martinez, Assistant City Secretary

I, THE UNDERSIGNED AUTHORITY, DO HEREBY CERTIFY THAT THE ABOVE NOTICE OF MEETING OF THE SHORELINE TASK FORCE OF THE CITY OF SOUTH PADRE ISLAND, TEXAS IS A TRUE AND CORRECT COPY OF SAID NOTICE AND THAT I POSTED A TRUE AND CORRECT COPY OF SAID NOTICE ON THE BULLETIN BOARD AT CITY HALL/MUNICIPAL BUILDING ON **NOVEMBER 28, 2017** AT/OR BEFORE **4:00 P.M.** AND REMAINED SO POSTED CONTINUOUSLY FOR AT LEAST 72 HOURS PRECEDING THE SCHEDULED TIME OF AID MEETING.



Marta Martinez, Assistant City Secretary

THIS FACILITY IS WHEELCHAIR ACCESSIBLE, AND ACCESSIBLE PARKING SPACES ARE AVAILABLE. REQUESTS FOR ACCOMMODATIONS OR INTERPRETIVE SERVICES MUST BE MADE 48 HOURS PRIOR TO THIS MEETING. PLEASE CONTACT BUILDING OFFICIAL, DAVID TRAVIS; ADA DESIGNATED RESPONSIBLE PARTY AT (956) 761-8103.

**CITY OF SOUTH PADRE ISLAND  
SHORELINE TASKFORCE  
MEETING  
AGENDA REQUEST FORM**

**MEETING DATE:** 12/04/2017

**NAME & TITLE:** Brandon Hill, Shoreline Director

**DEPARTMENT:** Shoreline department

**ITEM**

Approval of November 20, 2017 regular meeting minutes.

**ITEM BACKGROUND**

**BUDGET/FINANCIAL SUMMARY**

None

**COMPREHENSIVE PLAN GOAL**

**LEGAL REVIEW**

Sent to Legal: YES: \_\_\_\_\_

NO: \_\_\_\_\_

Approved by Legal: YES: \_\_\_\_\_

NO: \_\_\_\_\_

Comments:

**RECOMMENDATIONS/COMMENTS**

**MINUTES  
CITY OF SOUTH PADRE ISLAND  
SHORELINE TASK FORCE**

**MONDAY, NOVEMBER 6, 2017**

**I. Call to Order.**

The Shoreline Task Force of the City of South Padre Island, Texas held a regular meeting on Monday, November 6, 2017, at the Municipal Complex Building, 2<sup>nd</sup> Floor, 4601 Padre Boulevard, South Padre Island Texas. Chairman Troy Giles, called the meeting to order at 3:02 p.m. A quorum was present: Task Force Members Virginia Guillot, Kerry Schwartz, Thoren Thorbjørnsen, Stormy Wall, and Neil Rasmussen, were present at the meeting, Task Force member Norma Trevino was absent.

City staff members present were: Shoreline Management Director Brandon Hill, and Shoreline Program Coordinator Jose Manuel Aguilar, City Manager Susan Guthrie.

**II. Pledge of Allegiance.**

Mr. Troy Giles led the Pledge of Allegiance.

**III. Public Comments and Announcements.**

Thoren Thorbjørnsen announced a public invitation to the 1<sup>st</sup> annual Chrisgiving Eve; a benefit for the Native Plant Center, on November 30, 2017 7-10 pm

**IV. Approval of the November 6, 2017 regular meeting minutes.**

Task Force Member Neil Rasmussen made a motion to approve the November 6, 2017 meeting minutes, seconded by Virginia Guillot. Motion passed unanimously.

**V. Discussion and possible action to recommend to Texas General Land Office a Beach and Dune Permit for Sangria Condominiums at 1400 Gulf Boulevard South Padre Island Texas. (Hill)**

Task Force Member Neil Rasmussen made a motion to recommend to Texas General Land Office a Beach and Dune Permit for Sangria Condominiums at 1400 Gulf Boulevard South Padre Island Texas, seconded by Virginia Guillot. Motion passed unanimously.

**VI. Discussion and possible action to recommend to City Council the approval of a Beach and Dune Permit for 5216 Gulf Boulevard South Padre Island Texas.**



Task Force Member Virginia Guillot made a motion to recommend to City Council the approval of a Beach and Dune Permit for 5216 Gulf Boulevard South Padre Island Texas, seconded by Thoren Thorbjørnsen. Motion passed unanimously.

**VII. Discussion and possible action to recommend approval of proposed Ordinance to amend 13-24 Regulation of Shade Devices and Chairs on the Public Beach, Section E.**

Task Force Member Thoren Thorbjørnsen made a motion to table the approval of proposed Ordinance to amend 13-24 Regulation of Shade Devices and Chairs on the Public Beach, Section E, seconded by Virginia Guillot. Motion passed unanimously.

**VIII. Discussion and presentation of “SPI Beach Access” power point; an overview of the condition of the City’s beach accesses (Hill).**

Shoreline Management Director Brandon Hill gave a presentation, and answered questions regarding the status of the City’s beach accesses. No action was taken.

**IX. Presentation of “Policy Driven Erosion Management” power point; presented at the National American Shore & Beach Preservation Association (ASBPA) conference: “Beaches, Bays and Beyond” held in Fort Lauderdale, Florida, October 24-27, 2017 (Hill)**

Shoreline Management Director Brandon Hill gave a presentation, and answered questions regarding the city’s responses to coastal erosion. No action was taken.

**X. Adjournment**

There being no further business, Task Force Chairman Troy Giles adjourned the meeting at 4:42 p.m.

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Jose Aguilar, Program Coordinator

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Troy Giles, Chairman

**CITY OF SOUTH PADRE ISLAND  
SHORELINE TASKFORCE  
MEETING  
AGENDA REQUEST FORM**

**MEETING DATE:** 12/04/2017

**NAME & TITLE:** Brandon Hill, Shoreline Director

**DEPARTMENT:** Shoreline department

**ITEM**

Discussion and action to cancel Shoreline Taskforce meetings to be held on December 18, 2017 and January 1, 2018.

**ITEM BACKGROUND**

The Shoreline Department has taking into consideration the holiday season that is upcoming and believes that it prudent to cancel the next upcoming meetings scheduled for December 18, 2017 and January 1, 2018.

**BUDGET/FINANCIAL SUMMARY**

None

**COMPREHENSIVE PLAN GOAL**

**LEGAL REVIEW**

Sent to Legal: YES: \_\_\_\_\_ NO: \_\_\_\_\_  
Approved by Legal: YES: \_\_\_\_\_ NO: \_\_\_\_\_

Comments:

**RECOMMENDATIONS/COMMENTS**

**CITY OF SOUTH PADRE ISLAND  
SHORELINE TASKFORCE  
MEETING  
AGENDA REQUEST FORM**

**MEETING DATE:** 12/04/2017

**NAME & TITLE:** Brandon Hill, Shoreline Director

**DEPARTMENT:** Shoreline department

**ITEM**

Discussion and possible action to recommend to Texas General Land Office a Beach and Dune Permit for 5908 Gulf Boulevard South Padre Island Texas. (Hill)

**ITEM BACKGROUND**

Proposed construction of a vinyl bulkhead with a 24x24 inch concrete cap to an elevation of 14.70 feet along the west side of the HBL and proposed block retaining wall on the north and south boundaries to an elevation of 14.67 ft.

**BUDGET/FINANCIAL SUMMARY**

None

**COMPREHENSIVE PLAN GOAL**

**LEGAL REVIEW**

Sent to Legal:                      YES: \_\_\_\_\_                      NO: \_\_\_\_\_  
Approved by Legal:              YES: \_\_\_\_\_                      NO: \_\_\_\_\_

Comments:

**RECOMMENDATIONS/COMMENTS**

Cover page

*City of South Padre Island  
Beach & Dune Application*  
for

*"Lot 3, Block 192,  
Fiesta Isles Subdivision"*

at

5908 Gulf Boulevard  
South Padre Island, Texas

**Prepared for:**

*Jeffrey Erickson Construction*  
3520 Buddy Owens  
McAllen, Texas, 78504  
Phone (956) 631-9789

**By:**

**Mejia & Rose, Incorporated**

*Engineering*                      *Surveying*

*T.B.P.E. Reg. No. F-002670*

*T.B.P.L.S. Reg. No. 10023900*

*1643 West Price Road, P.O. Box 3761*

*Brownsville, Texas 78523*

*Phone: (956) 544-3022*

*Fax (956) 544-3068*

*Email: mandrinc@cngmail.com*

*M&R Job No. 20067 (April 11, 2017)*

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Town of South Padre Island

Beach & Dune Application

Site for Proposed Work

Legal Description: Lot 3, Block 192, Fiesta Isles Subdivision

Physical Address: 5908 Gulf Boulevard

Property Owner Information:

Applicant/Agent for Owner:

Name: R. E. Orion, LLC

Name: Meija & Rose, Incorporated

Mailing Address: P. O. Box 370296

Mailing Address: P.O. Box 3761

City, State, Zip: El Paso, Texas 79937

City, State, Zip: Brownsville, Texas 78523

Phone Number: (915) 860-8592

Phone Number: (956) 544-3022

Fax Number: N/A

Fax Number: (956) 544-3068

E:mail Address: gus@swflines.com

Email Address: mandrinc@cngmail.com

Applicant Signature: \_\_\_\_\_

Date of Signature: \_\_\_\_\_

I/We, owners of the above-mentioned property, authorize the applicant stated above, to act in my behalf in order to acquire a Beach and Dune permit for the construction proposed below. (owner initials here--> \_\_\_\_\_)

Owner(s) Signature(s): \_\_\_\_\_

Date of Signature: \_\_\_\_\_

Project Description:

Describe with as much detail as possible, the construction proposed. If more room is needed, please include an additional page. Include the number of habitable units, amenities, swimming pools, fences, kinds of fences, whether footings and/or retaining walls will be installed, and locations of proposed landscaping and parking.

Proposed construction of vinyl bulkhead with a 24" x 24" concrete cap to an elevation of 14.70 feet along west side of Historic building line and proposed block retaining walls on the north and south boundaries built to elevation 14.67 feet. The 75' x 85' area west of H.B.L. will have all native or dune grass removed, cared for and a portion replanted out to 20 ft. past the existing vegetation line of lot 3, and a portion will be relocated to two off-site compensation areas as shown on map enclosed. A proposed 2-story block house to be built on this lot. Cut a 15.8 foot sand dune on the buildable portion of lot 3, block 192, to elevation 12.0 feet west of proposed bulkhead and use the material cut, to fill and level the building site within lot 3 to an elevation of 12.0 feet above sea level out to the front 10 ft. building line and sloping down to elevation 11.0 at the front of the lot. There will be a stair at the northeast side of the bulkhead as well as a 3' path through the vegetation to access the beach.

Total Square footage of footprint of habitable structure: 2,737 sq. ft.

Total Area of impervious surface (i.e. retaining walls, walkways, drives, patios, etc.): 5,124 sq. ft.

Percentage of impervious surface [(impervious surface / habitable footprint)\* 100]: 1.6 percent

Please Note: the percentage of impervious surface cannot exceed 5% in an eroding area.

Approximate Duration of Construction:

**Financial Plan for the removal of all hard structures.**

All Properties which are allowed to build retaining walls on their property are allowed to do so with the condition that a financial plan for the removal of the retaining wall is submitted to the Public Works Department of the Town of South Padre Island. Removal of the retaining wall at the owner's expense may be required if/once the retaining wall comes into regular contact with wave action for twenty (20) out of thirty (30) consecutive days. The Town accepts the submission of a Retaining Wall Covenant, or other financial guarantee, insuring the removal of the retaining wall if the required conditions are met.

Type of Plan N/A

submitted:

Date of submission: \_\_\_\_\_

**Drainage:**

Describe the impact that the proposed construction will have on the natural drainage pattern on the site and adjacent lots.

a) no change in the drainage on site.

b) the proposed construction will change the grading and the drainage on the subject property. (An explanation will be required detailing where the water will drain.)

Explanation/other info:

The proposed construction west of the H.B.L. will drain to the sides of the lot and then to the front of the lot and out into Gulf Boulevard right-of-way, the area east of the H.B.L. will be unchanged so it will drain as it did before construction.

**Impacts to Beach/Dune System:**

Answer each question as completely as possible in narrative form:

**1) What damage will this proposed construction have on the dune vegetation located at the project site?**

a) no damage to dune vegetation whatsoever.

b) the proposed construction will impact \_\_\_\_\_ % of the dune vegetation on site. (explanation of the "impact" will be required)

c) the proposed construction will require the removal and relocation of 100% of the dune vegetation on the buildable site. (the submission of a mitigation plan will be required)

Explanation/other info: For the 75.0' x 85.0' buildable area of lot 3, block 192, west of H.B.L. See Mitigation plan

**2) How will the proposed construction alter the dune size/shape at the project site?**

a) no change to dune size/shape whatsoever.

b) the proposed construction will change \_\_\_\_\_ % of the size/shape of dunes on site. (details will be required)

c) the proposed construction will require the removal and relocation of 0% of the dunes on site. (the submission of a mitigation plan will be required)

Explanation/other info: Only the dune on the building site portion of lot 3 (west of H.B.L.) will be disturbed and leveled. The size and shape of the dune east of H.B.L. will not be altered.

**3) How will the proposed construction change the hydrology of the dunes at the project site?**

a) no change to dune hydrology whatsoever.

b) the proposed construction will impact dune hydrology on site. (details will be required)

Explanation/details

4) Describe alternatives to the proposed construction or method of construction which will cause fewer or no adverse effects on dunes and dune vegetation.

This project will affect the dune vegetation lying east of the proposed bulkhead only where the 3' path to the beach is located.

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5) Describe alternatives to the proposed construction or method of construction which will cause fewer or no adverse impairment to beach access. *No part of the project will affect the beach access or use once completed.*

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**Mitigation Plan:** Describe the methods which you will use to avoid, minimize, mitigate and/or compensate for any adverse effects on dunes or dune vegetation.

See attached Mitigation plan.

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### Financial Plan for Dune Mitigation: N/A

If required by the Board of Aldermen, a financial guarantee (irrevocable letter of credit or a performance bond, etc.) may be necessary to insure the mitigation of dunes/dune vegetation takes place as proposed and required of the applicant. Type of Plan submitted: - Date of submission:

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### Checklist of Additional Required Application Information:

**An accurate map, plat or site plan showing: (see topographical survey map)**

- 1) Legal description of the property (lot, block, subdivision) and the immediately adjoining property.
- 2) Location of all existing structures - including the habitable and inhabitable structures, swimming pools, decks, fences, parking areas, landscape areas, etc.
- 3) Location of the Historical Building Line on the subject property and the extension of the line on the properties immediately adjoining the subject property to the north and to the south.
- 4) Location and elevation of existing retaining walls -both on the subject property and those properties immediately adjoining the subject property to the north and to the south.
- 5) Location of proposed structure(s) - if proposing the construction of a retaining wall, please also include the proposed elevation of the retaining wall.
- 6) Location of proposed driveways, parking areas (showing the # of proposed parking spaces), and landscape areas.
- 7) Location of all existing and proposed beach access paths and/or dune walkovers.
- 8) Location and extent of any man-made vegetated mounds, restored dunes, fill activities, or any other pre-existing human modifications on the tract.
- 9) Topographical survey of the site identifying all elevations, existing contours of the project area (including dunes and sqales), and the proposed contours of the final grade.

**Other required application information:**

- 1) A grading and layout plan showing proposed contours for the final grade
- 2) The floor plan(s) and elevation(s) of the structure proposed to be constructed or expanded.
- 3) Photographs of the site which clearly show the current location of the vegetation line & existing dunes on the tract.
- 4) Copy of the Flood Rate Map showing the location of the subject property.
- 5) Copy of the Historical Erosion Rate Map as determined by the Univ. of Texas @ Austin, Bureau of Economic Geology.
- 6) \$300 application fee.

**YOUR APPLICATION IS NOT COMPLETE UNLESS ALL INFORMATION REQUESTED ABOVE IS SUBMITTED.**  
FOR APPLICATIONS WHICH REQUIRE BEACH AND DUNE TASK FORCE REVIEW, 21 COPIES WILL BE REQUIRED

All other application submissions require only three (3) copies of the complete information.



*Site Photographs of existing conditions*



View of Lot 3 facing north showing proposed bulkhead connecting from the existing Lot 2 bulkhead and the bulkhead projection along the Historical Building line.



View from the southeast corner of Lot 4 facing south along the H.B.L.



View from southeast corner of Lot 4 facing south along Historic building line.



View of Lot 3 facing west from beach



***Topographical survey***

***See Exhibit “A”***

***Proposed improvements***

***See Exhibit “B”***

***Proposed Grading Plan***

***See Exhibits “C1” and “C2”***

***Proposed Bulkhead Plan***

***See Exhibits “D”, “E” & “F”***

***Proposed Off-Site Vegetation Compensation***

***See Exhibit “G”***

## *“Lot 3, Block 192, Fiesta Isles Subdivision”*

### *Mitigation plan*

The building site is west of the Historical Building line (H.B.L.) and is approximately 6,375 square feet. This site ranges from elevation of 10.0 feet above sea level to an elevation of 15.8 feet above sea level. The area west of the H.B.L. that will be cut above elevation 12.0 ft. is 124 cubic yards. This material will be used to fill and level the building area west of the H.B.L. to the same elevation of 12.0 feet using 118 cubic yards, to the 10 ft. front building line where it will taper down to 11.0 feet using 6 cubic yards at the front property line/ road right-of-way for Gulf Boulevard which matches the amount of materials cut in this lot. The area east of the H.B.L. will have a stair from the bulkhead onto the dune area and a 3 ft. wide path to the beach, these will displace 271 sq. ft. of vegetation which added to the 6,375 sq. ft. from west of H.B.L. will make a total of 6,646 sq. ft. of vegetation to be mitigated. We will not be changing the grade of the sand on the dune area east of H.B.L.. We will replant 1,500 sq. ft. of vegetation onto the beach area of lot 3, block 192, (See exhibit “B”) and we will replant 2,861 sq. ft. of vegetation onto the beach area of East Tract 16, Padre Beach Estates (future Marriot location) and we will replant 2,613 sq. ft. of vegetation onto the beach area of 2.60 acres out of 3.654 acres, East Tract 20, Padre Beach Estates (current location of the “La Quinta Inn”) (See exhibit “G”). We will use the services of Mr. Joe Vela for the Compensation of vegetation onto these sites and the care of said vegetation. All vegetation being replanted will be done within the required 20 feet east of the existing vegetation line at each site. We have included a letter of vegetation protocol for mitigation in Texas that Mr. Vela will use as a guide for the removal, care and planting of relocated vegetation on this project.

# Mejia & Rose, Incorporated

Engineering

Surveying

September 19, 2017

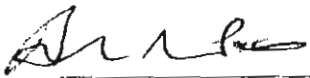
Mr. Bharat Patel  
7010 Padre Boulevard  
South Padre Island, Texas 78597

Re: *Lot 3, Block 192, Fiesta Isles Subdivision, South Padre Island, Tx.*  
Client: Mr. Gustavo Jimenez

Mr. Bharat Patel,

Per the Shoreline Management Director, Mr. Brandon N. Hill, I was told you would be willing to accept vegetation to be planted along the beachfront portion of your properties.

I would like to ask for your permission to plant vegetation 20 feet out from the present vegetation line as permitted by the GLO, on the beach in front of the Marriot site (East Tract 16, Padre Beach Estates), La Quinta (Tract 20, Padre Beach Estates), and The Hilton Gardens Inn (6.50 acres out of 225.818 acres). This is beneficial to the beach and existing vegetation as it adds protection from wind and water erosion. If you have no objections please sign below;



9/22/17

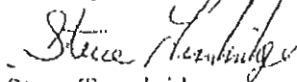
Yes I will accept additional vegetation on these sites.

Mr. Bharat Patel

date

Please call or email me if you have any questions or comments.

Thank you,



Steve Trowbridge

Surveying Draftsman

Mejia and Rose Inc.

956-544-3022 ph.

<mailto:strowbridge@engmail.com>

October 31, 2017

*Shoreline Management Director,*

**LIST OF LOCATIONS FOR OFFSITE COMPENSATION OF VEGETATION  
AND AMOUNT OF VEGETATION EACH SITE WILL ACCEPT.**

- |   |  |
|---|--|
| 1) <b>R.E. ORION, LLC</b><br>MR. GUSTAVO JIMENEZ<br>P.O. BOX 370296<br>EL PASO, TX. 79937-0296    | <b>LOT 3, BLOCK 192, FIESTA ISLES</b><br><b>S.P.I., Tx. (GULF BLVD.)</b><br><b>(1,500 SQ. FT. VEGETATION)</b>  |
| 2) <b>MODERN RESORT LODGING, LLC</b><br>MR. BHARAT PATEL<br>7010 PADRE BLVD.<br>S.P.I., TX. 78597 | <b>EAST TRACT 16, PADRE BEACH</b><br><b>S.P.I., Tx. (MARRIOT LOCATION)</b><br><b>(2,861 SQ. FT. VEGETATION)</b>  |
| 3) <b>SPI OLEANDER LTD</b><br>MR. BHARAT PATEL<br>P.O. BOX 2249<br>S.P.I., Tx. 78597              | <b>2.60 ACRE OUT OF 3.654 ACRES</b><br><b>EAST TRACT 20, PADRE BEACH,</b><br><b>PADRE BEACH ESTATES SUBDIVISION</b><br><b>(LA QUINTA INN) (2,613 SQ. FT. VEGETATION)</b> |

SOURCE OF VEGETATION:

*Lot 3, Block 192, Fiesta Isles Subdivision, City of South Padre Island, Texas.*

*Contractor: Jeffrey Erickson Construction*

<i>3520 Buddy Owens</i>	<i>75'X85' AREA WEST OF BULKHEAD LINE=6,375 SQ.FT.</i>
<i>McAllen, Tx. 78504</i>	<i>271 SQ. FT. FOR STAIR AND 3' PATH TO BEACH</i>
<i>(956) 631-9789</i>	<i>6,646 SQ. FT. TOTAL VEGETATION TO RELOCATE</i>

*Our Client: Mr. Gustavo Jimenez*

*If you have any questions or comments please contact us at:*

*Steve Trowbridge*  
*Survey Technician*  
*Mejia and Rose, Inc.*  
*1643 W. Price Road*  
*Brownsville, Texas, 78523*  
*(956) 544-3022 ph.*  
*(956) 544-3068 fax*  
*<mailto:strowbridge@cngmail.com>*  
*Job # 20067*

## Vegetation Protocol for Texas Mitigation

Outlined below is the proposal for plant relocation and management for Texas mitigation.

### 1. Site investigation

The entire area of disturbance will be investigated for frontal dune vegetation for relocation.

Frontal dune species and densities will be sampled across the front of the existing frontal dune. A total of five random one-meter square areas will be sampled on the current frontal dune transecting the dune parallel to the ocean.

Non- frontal dune areas to be disturbed will be sampled along a center line perpendicular to the ocean with a total of five random one meter square areas to determine species and densities consistent with frontal dune sampling and capable of relocation.

The two data sets will be combined to extrapolate the number and species of plants to be relocated.

### 2. Relocation

All plants located within the frontal dune area will be moved from the area of disturbance to the mitigation area. Species capable of direct relocation will be moved directly to the mitigation area. Species not capable of direct relocation will be taken to an off-site propagation facility for propagation to return to the site upon completion of the new frontal dune.

Upon completion of the new frontal dune, all plants suitable for relocation will be moved from the building, pool, and deck area to be disturbed to the new frontal dune area or to a propagation facility until propagated, fully rooted, and then returned to the new frontal dune area.

### 3. New Frontal Dune and Mitigation area Planting

The plant density and species diversity will be based on the data obtained during the site investigation and on the contractors experience with vegetation management on a frontal dune system.

All plants relocated will be managed for survival during the relocation process and introduction into the mitigation area. Contractor will assure that everything necessary will be done to achieve the highest possible survival rates of all relocated materials.



All plants destined for a propagation facility will be documented upon collection and upon propagation (initial and usable). These plants will be returned upon completion of the new frontal dune or as soon as fully rooted.

Based upon data collected during the site investigation, if relocated material is not sufficient to fill the area of the new frontal dune or mitigation area, additional plants will be propagated from donor locations located on South Padre Island. This same source will be used in the case of reduced survivability.

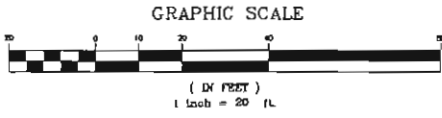
#### 4. Management, Maintenance and Reporting

The contractor will assure proper management and maintenance to assure survivability, growth and proper health of all plants during relocation or propagated planting, and for a period of one year from the time of completion of the planting phase of construction of the Marriott.

This will include but not limited to the installation and maintenance of a temporary irrigation system, fertilization and replanting of all plant losses to bring the final plant count to meet GLO standards and regulations.

The contract will provide reports at all required intervals including a post planting six month and one-year report documenting survivability and any remedies required and implemented.

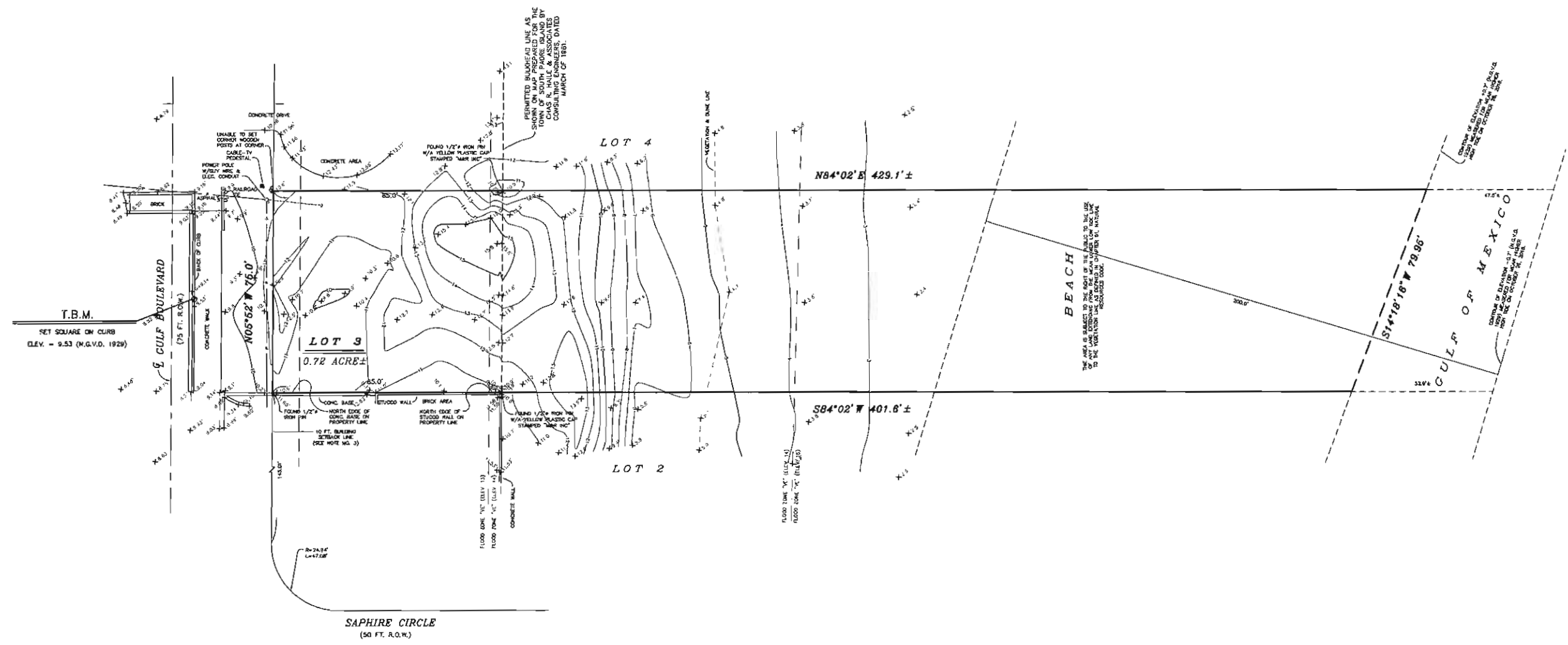
**NOTES:**  
 1. MONUMENTATION FOUND ALONG THE EAST RIGHT-OF-WAY LINE OF GULF BOULEVARD WAS HELD FOR BASE OF BEARING.  
 2. THIS TRACT LIES IN FLOOD ZONES "M" (ELEV. 1.5'), "C" (ELEV. 1.4') AND "X" (ELEV. 1.3') AS SHOWN ON THE F.L.A. FLOOD INSURANCE RATE MAP OF COMMUNITY NO. 40013, PAGE NO. 00010, REVISED MARCH 2, 1998.



MERIDIAN OF FIESTA ISLES SUBDIVISION



VICINITY MAP - N.T.S.



**TOPOGRAPHIC SURVEY  
 EXHIBIT "A"**

LOT NUMBER THREE (3), BLOCK NUMBER ONE HUNDRED NINETY-TWO (192), FIESTA ISLES SUBDIVISION, BEING PADRE BEACH SECTION XXI, IN THE CITY OF SOUTH PADRE ISLAND, CAMERON COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAN THEREOF RECORDED IN VOLUME 17, PAGE 43, MAP RECORDS, CAMERON COUNTY, TEXAS.

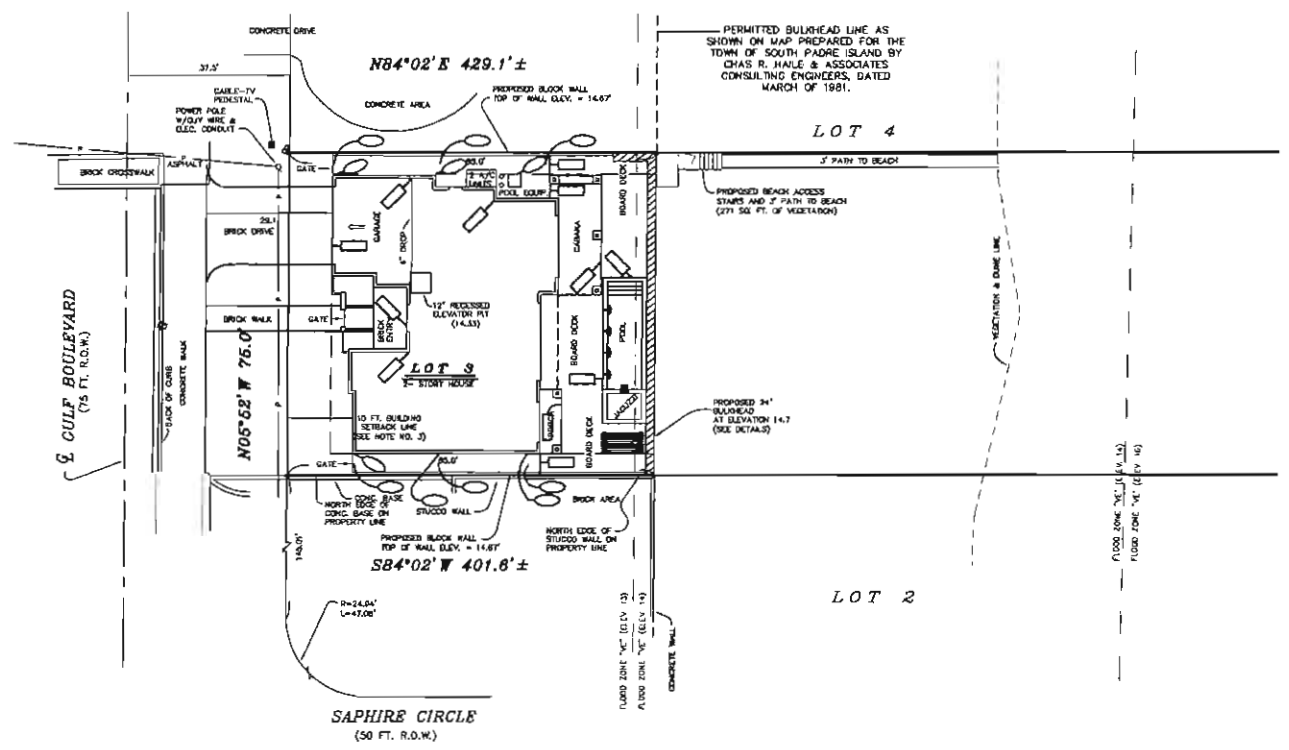
SCALE: 1" = 20'  
 SURVEYED FOR:  
**GUSTAVO JIMENEZ**

APRIL 4, 2017

**Mejia & Rose, Incorporated**

Engineering      Surveying  
 T.B.P.E. Reg. No. F-002870  
 T.B.P.L.S. Reg. No. 10023900  
 1643 West Price Road (956) 544-3022  
 P.O. Box 3761 Brownsville, Texas 78520  
 Fax (956) 544-3068  
 email: mandrinc@engmail.com

G.P. NO. N/A      JOB NO. 20067  
 S. TROWBRIDGE

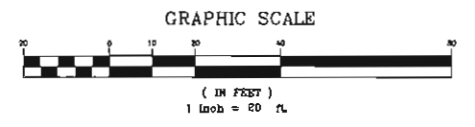


MERIDIAN OF FIESTA ISLES SUBDIVISION

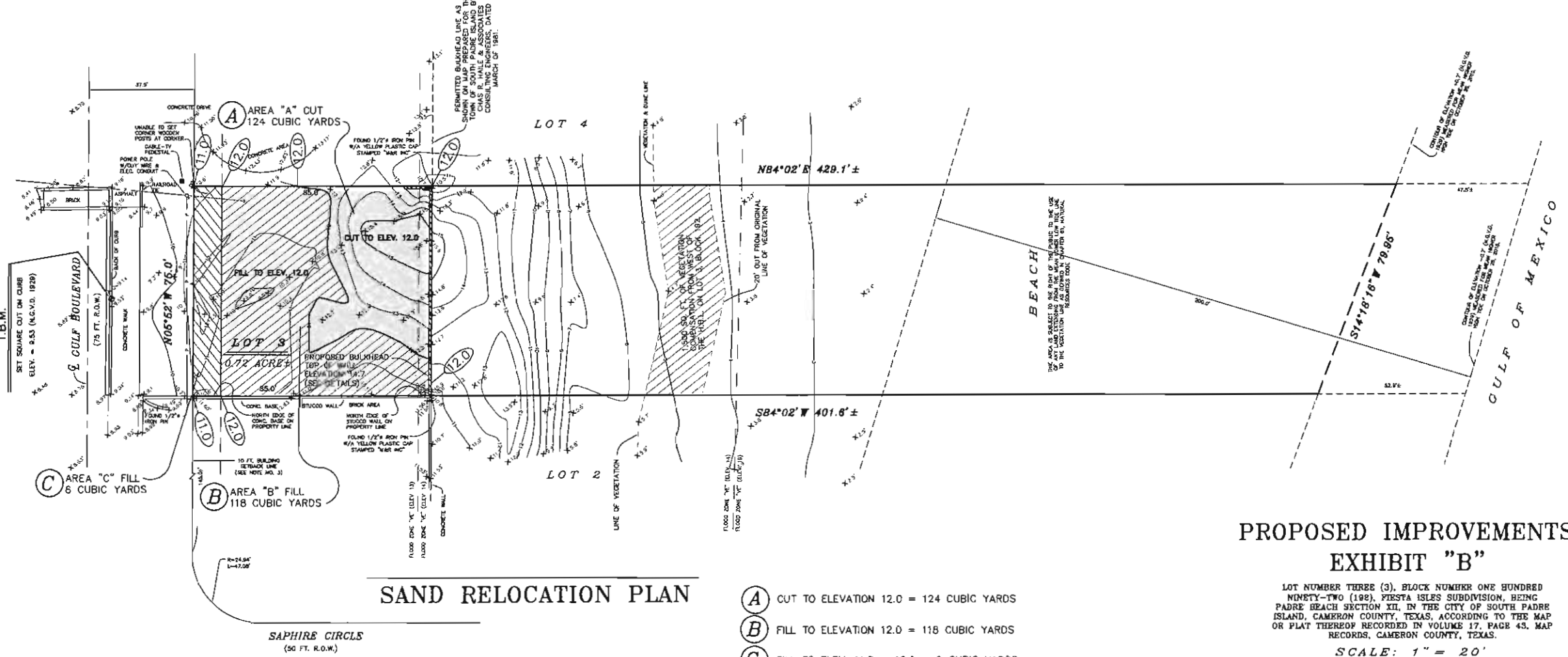


VICINITY MAP - N.T.S.

NOTES:  
 1. NO VEGETATION FIELD ALONG THE EAST RIGHT-OF-WAY LINE OF GULF BOULEVARD HAS BEEN HELD FOR BASIS OF BEARING.  
 2. THIS TRACT LIES IN FLOOD ZONES "C" (ELEV. 13), "D" (ELEV. 14) AND "E" (ELEV. 15) AS SHOWN FROM THE FLOOD INSURANCE RATE MAP OF COMMUNITY NO. 48076, FIRM NO. 00013, REVISED MARCH 8, 1999.



PROPOSED IMPROVEMENTS



SAND RELOCATION PLAN

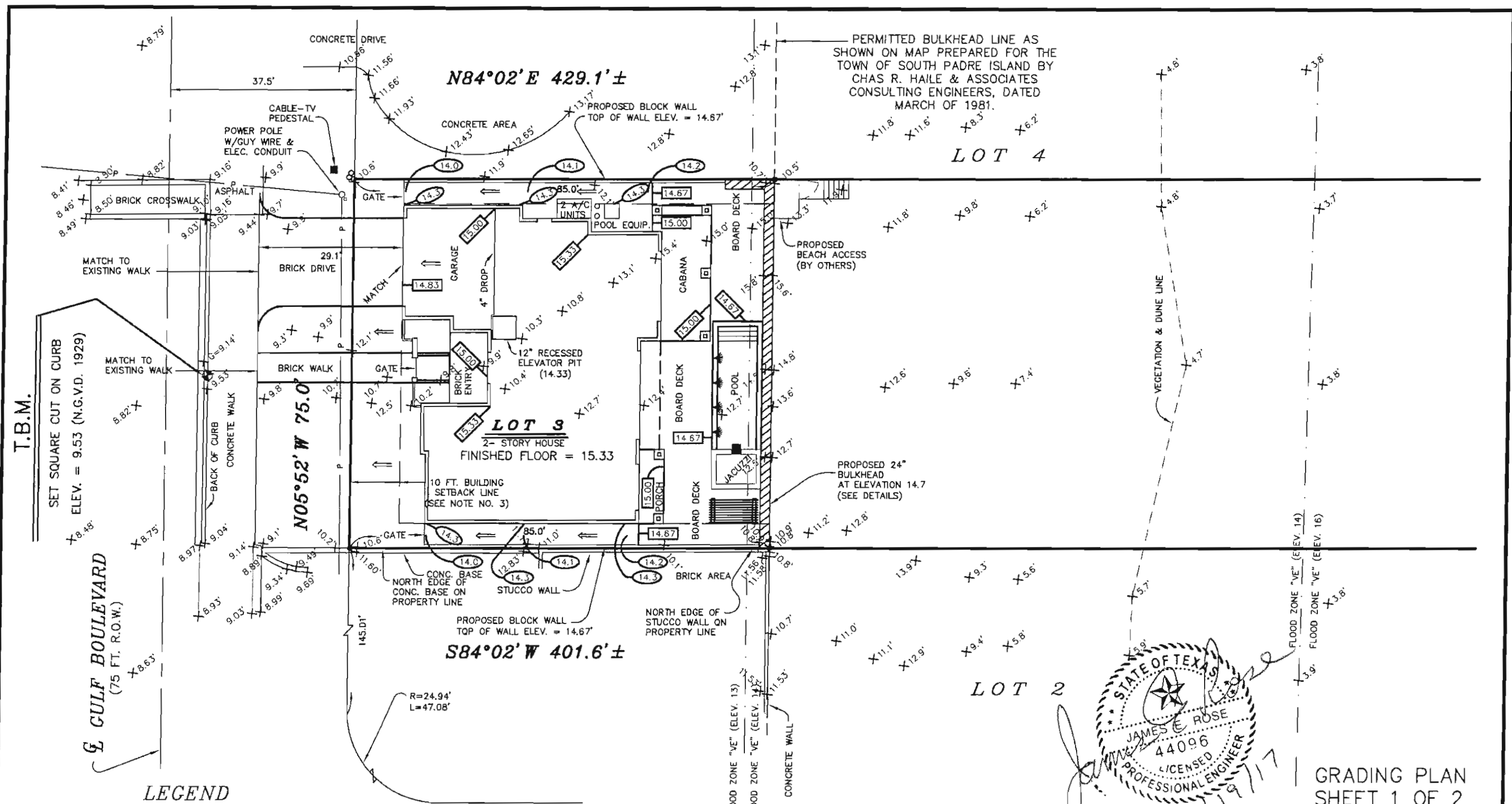
- (A) CUT TO ELEVATION 12.0 = 124 CUBIC YARDS
- (B) FILL TO ELEVATION 12.0 = 118 CUBIC YARDS
- (C) FILL TO ELEV. 11.0 - 12.0 = 6 CUBIC YARDS

PROPOSED IMPROVEMENTS  
EXHIBIT "B"

LOT NUMBER THREE (3), BLOCK NUMBER ONE HUNDRED NINETY-TWO (192), FIESTA ISLES SUBDIVISION, BEING PADRE BEACH SECTION XII, IN THE CITY OF SOUTH PADRE ISLAND, CAMERON COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 17, PAGE 43, MAP RECORDS, CAMERON COUNTY, TEXAS.

SCALE: 1" = 20'  
 SURVEYED FOR:  
**GUSTAVO JIMENEZ**  
 APRIL 4, 2017

**Mejia & Rose, Incorporated**  
 Engineering Surveying  
 T.B.P.E. Reg. No. F-002670  
 T.B.P.L.S. Reg. No. 10023900  
 1643 West Price Road (956) 544-3022  
 P.O. Box 3761 Brownsville, Texas 78520  
 Fax (956) 544-3066  
 email: mandrinc@cmjma.com



**LEGEND**

x 3.21	= EXISTING PAVED SURFACE ELEV. (TWO DECIMALS)
x 3.2	= EXISTING GROUND ELEV.
3.21	= PROPOSED FINISHED PAVED SURFACE ELEV.
3.2	= PROPOSED FINISHED GROUND SURFACE ELEV.
↗	= DIRECTION OF PROPOSED SURFACE DRAINAGE FLOW

**SAPHIRE CIRCLE**  
(50 FT. R.O.W.)

**DRAINAGE PLAN OF**  
LOT NUMBER THREE (3), BLOCK NUMBER ONE HUNDRED NINETY-TWO (192), FIESTA ISLES SUBDIVISION, BEING PADRE BEACH SECTION XII, IN THE CITY OF SOUTH PADRE ISLAND, CAMERON COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 17, PAGE 43, MAP RECORDS, CAMERON COUNTY, TEXAS.

SCALE: 1" = 20'  
PREPARED FOR:  
**GUSTAVO JIMENEZ**  
APRIL 13, 2017



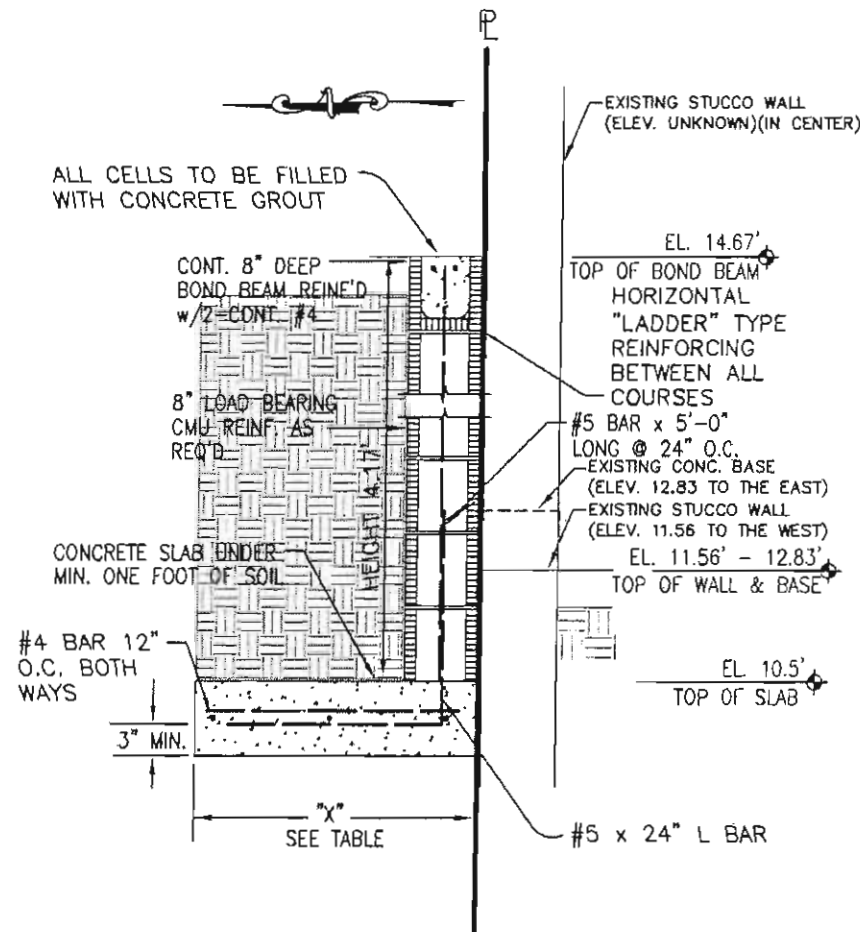
**Mejia & Rose, Incorporated**

Engineering      Surveying  
T.B.P.L.S Reg. No. 10023900  
T.B.P.E. Reg. No. F-002670  
1643 West Price Road (956) 544-3022  
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Fax (956) 544-3068  
email: mandrinc@cngmail.com  
G.F. NO. N/A      JOB NO. 20067  
J.3301332193

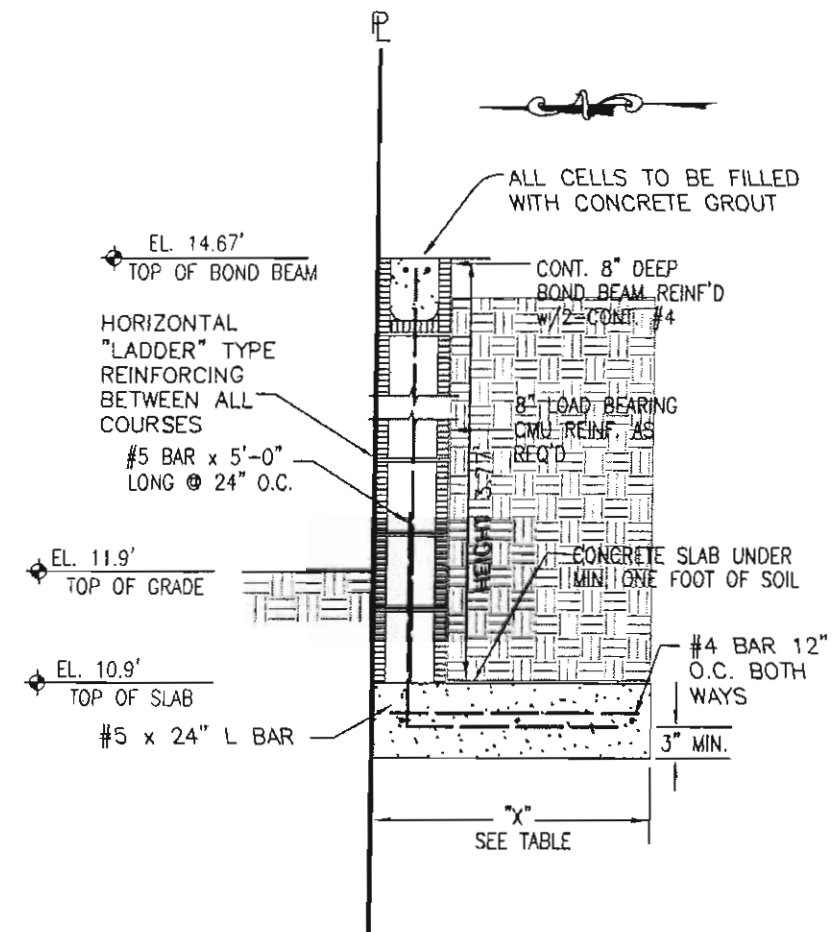
GRADING PLAN  
SHEET 1 OF 2

**CONCRETE MASONRY**

1. ALL LOAD BEARING CONCRETE MASONRY SHALL BE IN ACCORDANCE WITH ALL THE REQUIREMENTS OF THE LOCAL BUILDING CODES AND THE NATIONAL CONCRETE MASONRY ASSOCIATION.
2. HOLLOW LOAD BEARING CONCRETE MASONRY UNITS SHALL BE DOMESTIC LIGHTWEIGHT GRADE N UNITS, CONFORMING TO ASTM C-90-75.
3. MASONRY UNITS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI WHEN TESTED IN ACCORDANCE WITH ASTM C-140, "METHODS OF SAMPLING AND TESTING CONCRETE MASONRY UNITS" ( $f'_m = 1500$  PSI).
4. MORTAR FOR MASONRY SHALL BE IN ACCORDANCE WITH ASTM-270 TYPE "S" (1800 PSI COMPRESSIVE STRENGTH AT 28 DAYS).
5. GROUT FOR ALL REINFORCED HOLLOW MASONRY UNIT WALLS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI (6 SACK MIX) WITH A MAXIMUM 3/8" AGGREGATE.
6. REINFORCING STEEL SHALL CONFORM TO ASTM A-615, GRADE 60.
7. UNLESS OTHERWISE NOTED, ALL MASONRY WALLS SHALL BE REINFORCED WITH 9 GA. MILL GALVANIZED, HORIZONTAL WIRE REINFORCEMENT (LADDER TYPE) EMBEDDED IN MORTAR JOINTS AT 8" o.c. NOMINAL WIDTH OF JOINT REINFORCING SHALL EQUAL WALL THICKNESS. WIRE REINFORCEMENT SHALL CONFORM TO ASTM DESIGNATION A-82, AND SHALL BE LAPPED AT LEAST 6" WITH AT LEAST ONE CROSS WIRE WITHIN THE LAP. JOINT REINFORCING SHALL BE INSTALLED IN THE FIRST AND SECOND MORTAR BED JOINTS IMMEDIATELY ABOVE AND BELOW ALL OPENINGS.
8. UNLESS NOTED OTHERWISE ON PLANS, ONE GROUTED #5 BAR SHALL BE PROVIDED AROUND THE PERIMETER OF ALL WALL OPENINGS.
9. BOND BEAMS SHALL BE REINFORCED WITH ONE CONTINUOUS #5 BAR. REINFORCING SHALL BE CONTINUOUS AT ALL CORNERS AND INTERSECTING WALLS.
10. CONTROL JOINTS SHALL BE CONSTRUCTED WITH SLOTTED MASONRY UNITS AND FACTORY MOLDED JOINT FILLER. JOINTS SHALL BE CAULKED WITH AN APPROVED MATERIAL.
11. CONTROL JOINTS SHALL NOT EXTEND THROUGH BOND BEAMS UNLESS INDICATED ON PLANS.
12. ALL PERIMETER EXTERIOR CMU WALLS SHALL BE REINFORCED WITH VERT. #5's GROUTED SOLID AT THE SPACING INDICATED ON DETAILS 6/S1 AND 7/S1 AND HORIZONTAL BOND BEAMS REINFORCED w/1-CONT. #5. BOND BEAMS SHALL BE LOCATED VERTICALLY AT 8'-0" o.c. AND AT TOP OF WALL.



**S SOUTH CMU RETAINING WALL**  
SCALE: NTS



**N NORTH CMU RETAINING WALL**  
SCALE: NTS

**TABLE "X"**

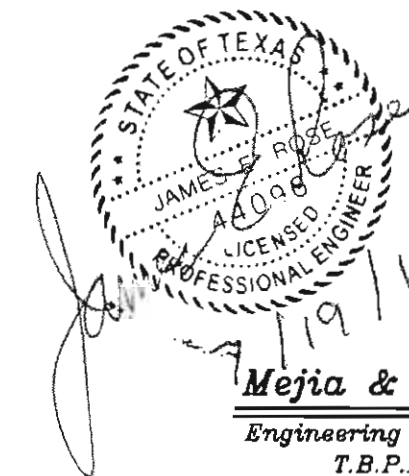
HEIGHT	LENGTH
84"	47"
78"	43"
72"	40"
66"	37"
60"	33"
54"	30"
48"	26"
42"	23"
36"	20"
30"	16"
24"	14"
18"	10"
12"	8"

**BLOCK RETAINING WALL PLAN**

LOT NUMBER THREE (3), BLOCK NUMBER ONE HUNDRED NINETY-TWO (192), FIESTA ISLES SUBDIVISION, BEING PADRE BEACH SECTION XII, IN THE CITY OF SOUTH PADRE ISLAND, CAMERON COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 17, PAGE 43, MAP RECORDS, CAMERON COUNTY, TEXAS.

SCALE: 1" = 20'  
SURVEYED FOR:  
**GUSTAVO JIMENEZ**

APRIL 13, 2017



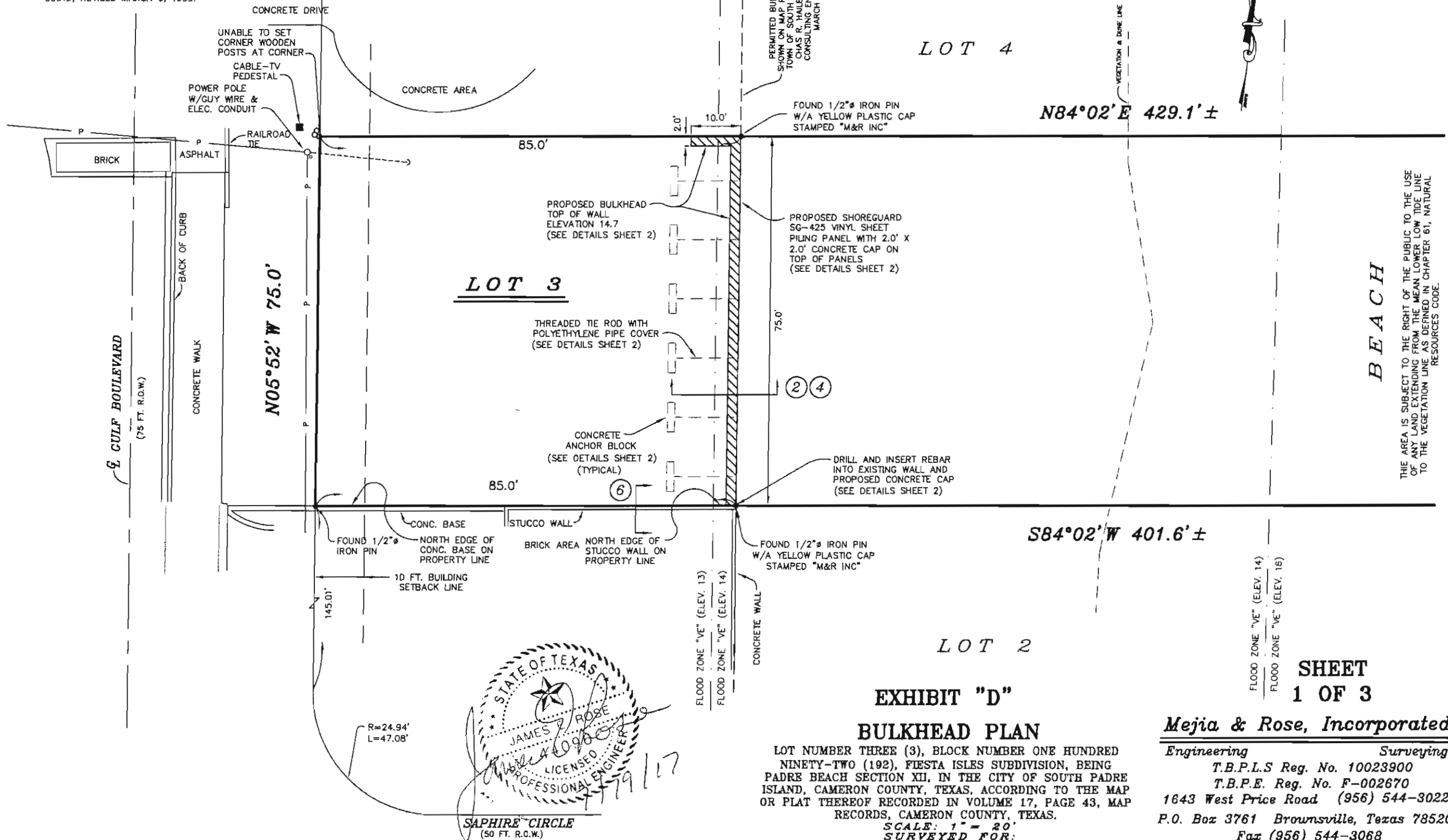
GRADING PLAN  
SHEET 2 OF 2

**Mejia & Rose, Incorporated**

Engineering Surveying  
T.B.P.L.S Reg. No. 10023900  
T.B.P.E. Reg. No. F-002670  
1643 West Price Road (956) 544-3022  
P.O. Box 3761 Brownsville, Texas 78520  
Fax (956) 544-3068  
email: mandrinc@cngmail.com  
G.P. NO. N/A JOB NO. 20067  
J. J. R. W. S. J. S. S.

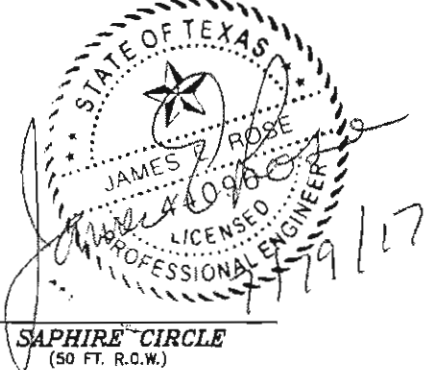
**NOTES:**

1. MONUMENTATION FOUND ALONG THE EAST RIGHT-OF-WAY LINE OF GULF BOULEVARD WAS HELD FOR BASIS OF BEARING.
2. THIS TRACT LIES IN FLOOD ZONES "VE" (ELEV. 13), "VE" (ELEV. 14) AND "VE" (ELEV. 16) AS SHOWN, PER THE F.I.A. FLOOD INSURANCE RATE MAP OF COMMUNITY NO. 480115, PANEL NO. 0001D, REVISED MARCH 9, 1999.



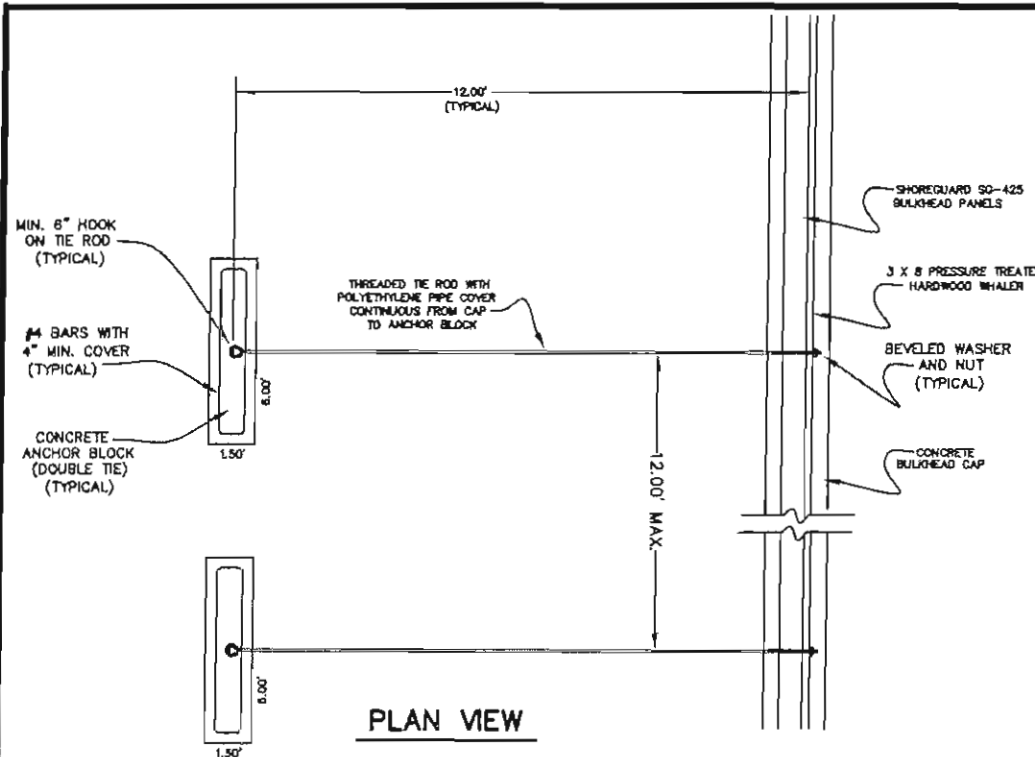
MERIDIAN OF FIESTA ISLES SUBDIVISION

THE AREA IS SUBJECT TO THE RIGHT OF THE PUBLIC TO THE USE OF ANY LAND EXTENDING FROM THE MEAN LOWER LOW TIDE LINE TO THE VEGETATION LINE AS DEFINED IN CHAPTER 61, NATURAL RESOURCES CODE.

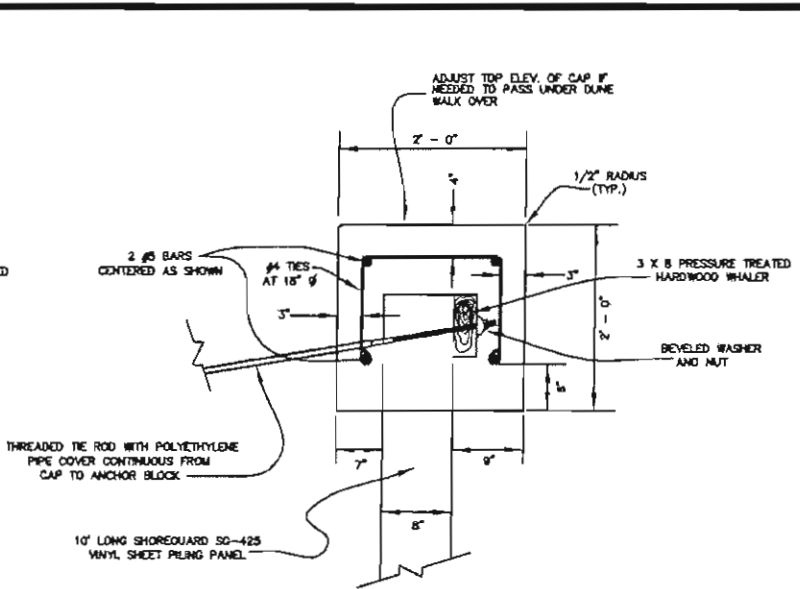


**EXHIBIT "D"**  
**BULKHEAD PLAN**  
 LOT NUMBER THREE (3), BLOCK NUMBER ONE HUNDRED NINETY-TWO (192), FIESTA ISLES SUBDIVISION, BEING PADRE BEACH SECTION XII, IN THE CITY OF SOUTH PADRE ISLAND, CAMERON COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 17, PAGE 43, MAP RECORDS, CAMERON COUNTY, TEXAS.  
 SCALE: 1" = 20'  
 SURVEYED FOR:  
**GUSTAVO JIMENEZ**  
 APRIL 13, 2017

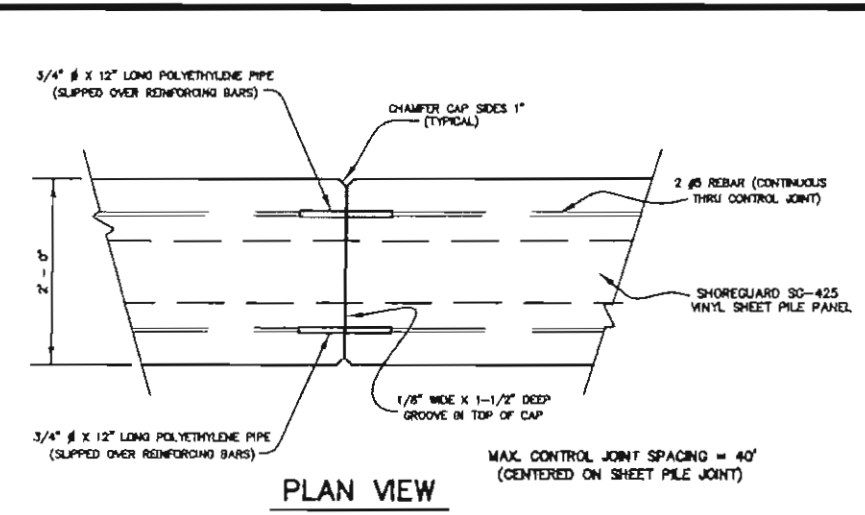
**SHEET 1 OF 3**  
**Mejia & Rose, Incorporated**  
 Engineering Surveying  
 T.B.P.L.S Reg. No. 10023900  
 T.B.P.E. Reg. No. F-002670  
 1643 West Price Road (956) 544-3022  
 P.O. Box 3761 Brownsville, Texas 78520  
 Fax (956) 544-3068  
 email: mandrinc@cngmail.com  
 G.P. NO. N/A  
 JOB NO. 20067  
 J. FLOWERFORD



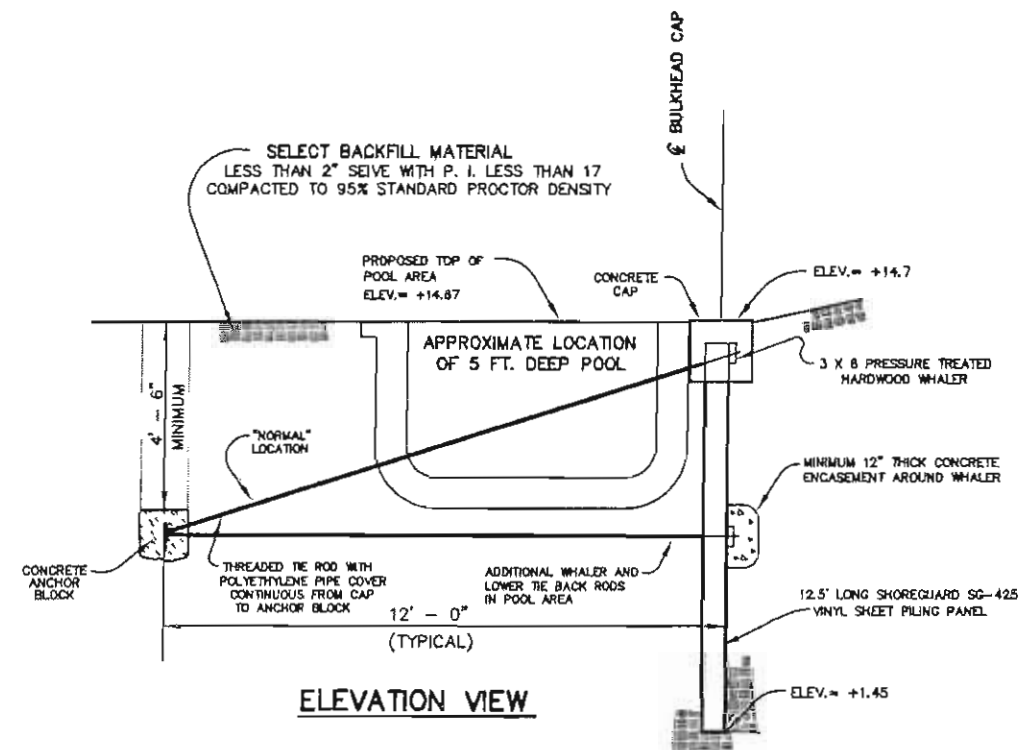
1 TIE-BACK DETAIL  
SCALE: N.T.S.



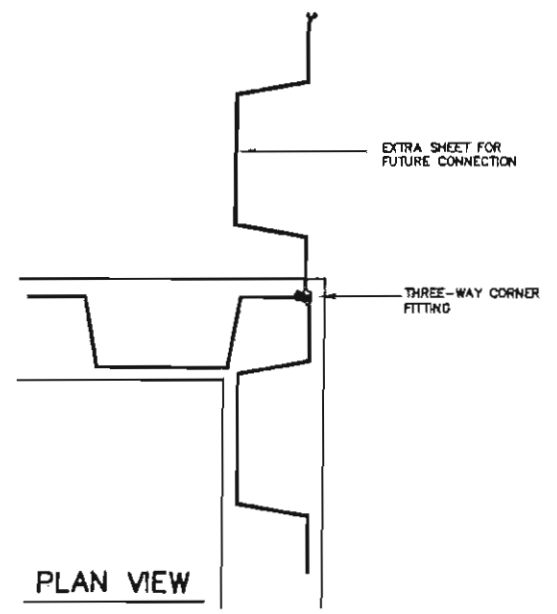
2 CAP DETAIL  
SCALE: N.T.S.



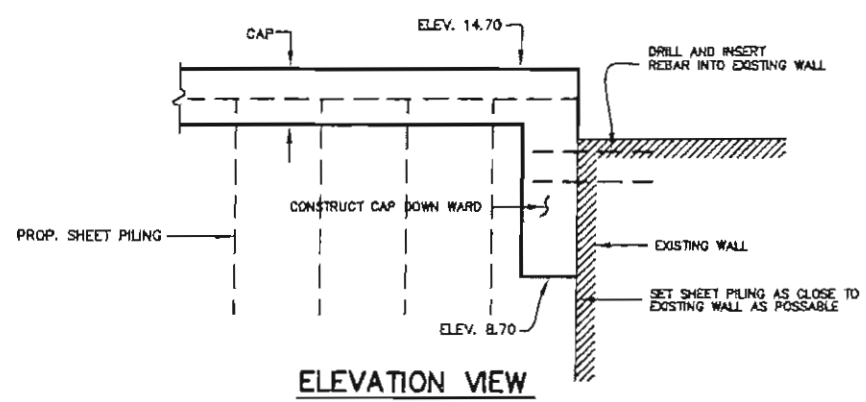
3 CAP CONTROL JOINT  
SCALE: N.T.S.



4 TYPICAL BULKHEAD SECTION  
SCALE: N.T.S.



5 TYPICAL CORNER DETAIL  
SCALE: N.T.S.

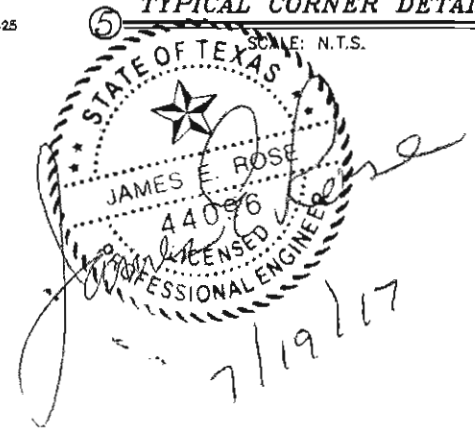


6 EXIST. WALL CONNECTION  
SCALE: N.T.S.

- NOTES AND SPECIFICATIONS :**
1. ALL HARDWARE SHALL BE DOUBLE HOT-DIPPED GALVANIZED TO CONFORM TO ASTM STANDARD SPECIFICATION A153-80 FOR ZINC COATING (MIN. 1.25 OUNCES OF ZINC COATING PER SQUARE FOOT).
  2. ALL NUTS, WASHERS, AND BOLT HEADS SHALL BE FIELD COATED WITH TWO COATS OF COAL TAR EPOXY (KOPPERS BITUMANTIC NO. 300-M OR APPROVED EQUAL). COATING SHALL OVERLAP OR EXTEND BEYOND METAL PARTS ONTO ADJOINING MATERIAL A MINIMUM OF ONE INCH.
  3. ALL BOLTS SHALL CONFORM TO ASTM 307-80, GRADE A (STANDARD SPECIFICATION FOR CARBON STEEL EXTERNALLY THREADED STANDARD FASTENERS) SPECIFICATIONS.
  4. ALL NUTS SHALL CONFORM TO ASTM A563-80 (STANDARD SPECIFICATION FOR CARBON ALLOY STEEL NUTS), HEAVY HEX STYLE, GRADE "A".
  5. ALL WASHERS SHALL BE ROUND OR SQUARE CARBON STEEL.
  6. ALL WOOD WHALERS SHALL BE NEW DIMENSIONAL LUMBER PRESSURE TREATED FOR CCA 2.5 #/CF ACCORDING TO ANPA STANDARD SPECIFICATION PS-78.
  7. ALL CONCRETE (CAST IN PLACE) SHALL BE 5 SACK MIX TESTING 3,600 PSI IN COMPRESSION AT 28 DAYS.

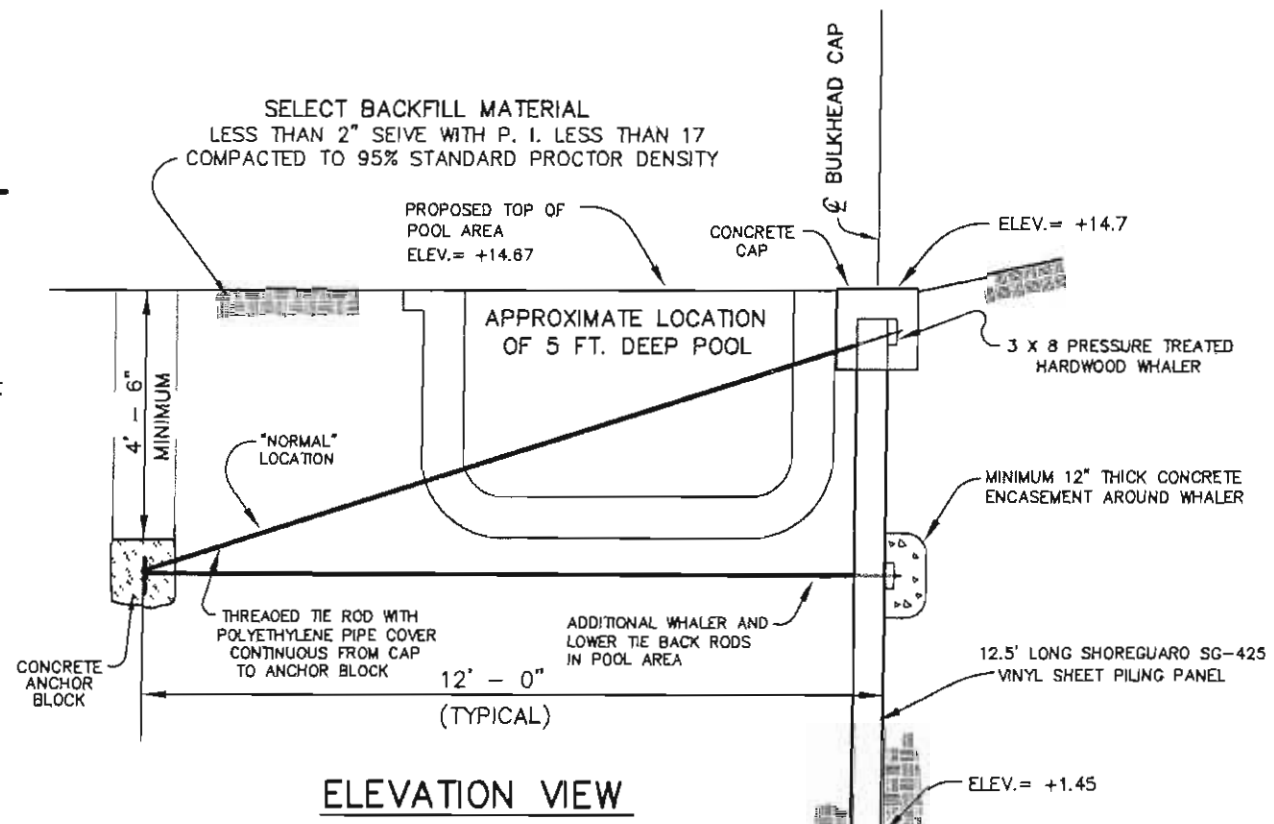
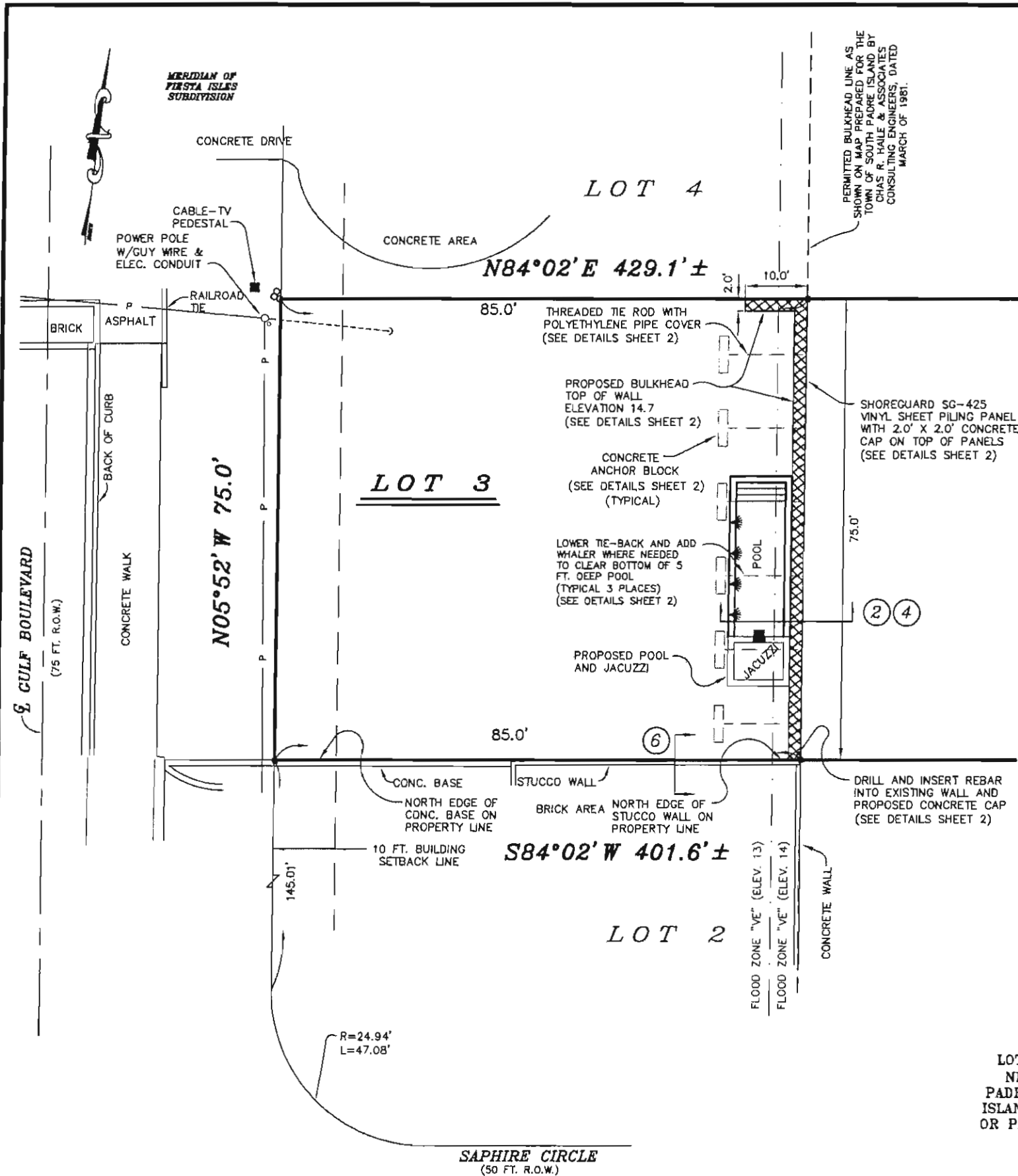
**BULKHEAD PLAN**  
 LOT NUMBER THREE (3), BLOCK NUMBER ONE HUNDRED NINETY-TWO (192), FIESTA ISLES SUBDIVISION, BEING PADRE BEACH SECTION XII, IN THE CITY OF SOUTH PADRE ISLAND, CAMERON COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 17, PAGE 43, MAP RECORDS, CAMERON COUNTY, TEXAS.  
 SCALE: N.T.S.  
 SURVEYED FOR:  
**GUSTAVO JIMENEZ**  
 APRIL 13, 2017

**Mejia & Rose, Incorporated**  
 Engineering Surveying  
 T.B.P.L.S Reg. No. 10023900  
 T.B.P.E. Reg. No. F-002670  
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 Fax (956) 544-3068  
 email: mandrinc@cngmail.com  
 G.F. NO. N/A JOB NO. 20067



**EXHIBIT "E"**  
**SHEET**  
**2 OF 3**





4 TYPICAL BULKHEAD SECTION  
 SCALE: N.T.S.

**EXHIBIT "F"**  
**BULKHEAD PLAN**

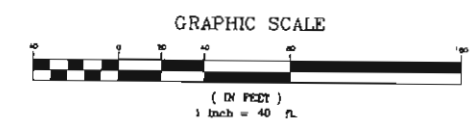
LOT NUMBER THREE (3), BLOCK NUMBER ONE HUNDRED NINETY-TWO (192), FIESTA ISLES SUBDIVISION, BEING PADRE BEACH SECTION XII, IN THE CITY OF SOUTH PADRE ISLAND, CAMERON COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 17, PAGE 43, MAP RECORDS, CAMERON COUNTY, TEXAS.  
 SCALE: 1" = 20'  
 SURVEYED FOR:

**GUSTAVO JIMENEZ**  
 APRIL 13, 2017

**SHEET 3 OF 3**  
**Mejia & Rose, Incorporated**  
 Engineering Surveying  
 T.B.P.L.S Reg. No. 10023900  
 T.B.P.E. Reg. No. F-002670  
 1643 West Price Road (956) 544-3022  
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 Fax (956) 544-3068  
 email: mandrinc@cngmail.com  
 G.F. NO. N/A JOB NO. 20067  
 J.S.R.O.W.S.22-38







MERIDIAN PER  
PADRE BEACH  
ESTATES

"HILTON GARDENS INN"  
AFFILIATED HOSPITALITY LLC  
7010 PADRE BLVD.  
SPI, TX. 78597

EAST TRACT 20 PADRE ESTATES SUBDIVISION

"LA QUINTA"  
SPI OLEANDER LTD.  
7000 PADRE BLVD.  
SPI, TX. 78597

LOT 2, CONTRAN SUBDIVISION  
(CABINET 1, SLOT 1416-A, MAP RECORDS)

"CLAYTON'S BEACH  
BAR AND GRILL"  
7200 PADRE BLVD.  
SPI, TX. 78597

EAST TRACT 17 PADRE ESTATES SUBDIVISION

"CLAYTON'S PIER"  
PADRE BLVD.  
SPI, TX. 78597

EAST TRACT 16 PADRE ESTATES SUBDIVISION

"MARRIOT SITE"  
MODERN RESORT  
LODGING, LLC.  
PADRE BLVD.  
SPI, TX. 78597

8.68 ACRE TRACT (VOL. 929, PG. 771 DEED RECORDS)  
LOT 15  
TIKI CONDOMINIUMS

PERMITTED BUILDING LINE AS SHOWN, IT  
ON A PLAN PREPARED BY CHAS. R. HINES  
FOR THE TOWN OF SOUTH PADRE ISLAND  
DATE: MARCH 1981.

NORTHERLY EXTENSION OF THE  
EAST RIGHT-OF-WAY  
LINE OF SUI SULEVARO

CONCRETE  
BULKHEAD

66.75'

CONCRETE RETAINING WALL

THIS AREA IS SUBJECT TO THE RIGHT OF THE PUBLIC TO THE USE OF ANY LAND  
EXTENDING FROM THE MEAN LOW TIDE LINE TO THE VEGE LINE AS DEFINED BY  
CHAPTER 61, NATURAL RESOURCES CODE.

GULF OF MEXICO

**EXHIBIT "G"**  
MAP OF  
LOCATIONS FOR OFF-SITE PLANTING OF VEGETATION FROM  
WEST OF THE HISTORIC BUILDING LINE ON LOT 3, BLOCK 192,  
FIESTA ISLES SUBDIVISION, SPI, TX.  
SCALE: 1" = 40'  
PREPARED FOR:  
**MR. GUSTAVO JIMENEZ**

**Mejia & Rose, Incorporated**  
Engineering Surveying  
T.B.P.E. Reg. No. F-002670  
T.B.P.L.S. Reg. No. 10023900  
1843 West Price Road (956) 544-3022  
P.O. Box 3761 Brownsville, Texas 78520  
Fax (956) 544-3088  
email: mandrinc@crngmail.com





11/28/2017





11/28/2017





11/28/2017





LA QUINTA  
INN & SUITES

*The Lockout*  
BAR + REFUGE  
Burgers • Seafood • Drinks  
Open to Public

Eaton  
Garden Inn

11/28/2017

RESTORATION  
PROJECT  
PLANTED WITH  
SEEDS  
PLEASE  
KEEP SOIL

DUNE RESTORATION  
PROJECT  
AREA PLANTED WITH  
SEEDS  
PLEASE  
KEEP SOIL





11/28/2017





11/28/2017





**ASI** Alamo System Industries, LLC  
Specialized Contractors  
956.702.4111  
alamosystemllc.com

COOLERS  
UMBRELLAS  
CHAIRS  
BEACH ACCESS  
CUSTOM BAG FITS

11/28/2017





**ASI** Alamo System  
Industries, LLC  
Specialized Commercial  
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alamosystemllc.com

11/28/2017





11/28/2017





11/28/2017





11/28/2017





11/28/2017





11/28/2017





11/28/2017



**CITY OF SOUTH PADRE ISLAND  
SHORELINE TASKFORCE  
MEETING  
AGENDA REQUEST FORM**

**MEETING DATE:** 12/04/2017

**NAME & TITLE:** Brandon Hill, Shoreline Director

**DEPARTMENT:** Shoreline department

**ITEM**

Discussion and possible action regarding HDR’s South Padre Island Resilient Public Access and Education, Conservation, and Tourism Master Plan.

**ITEM BACKGROUND**

HDR is on contract to administer the City’s GOMA Grant. It involves public outreach, local research and extensive review of existing city documents in order to create a master plan that encompasses the City’s shoreline goals. HDR will review existing plans and formulate new suggestions to provide guidance and goals for our future.

**BUDGET/FINANCIAL SUMMARY**

**COMPREHENSIVE PLAN GOAL**

**LEGAL REVIEW**

Sent to Legal: YES: \_\_\_\_\_ NO:   X    
Approved by Legal: YES: \_\_\_\_\_ NO:   X  

Comments:

**RECOMMENDATIONS/COMMENTS**





August 23, 2017

MCN10060129

Mr. Brandon Hill  
Shoreline Management Director  
City of South Padre Island  
4601 Padre Blvd  
South Padre Island, Texas 78597

**RE: PLANNING SERVICES FOR SOUTH PADRE ISLAND RESILIENT PUBLIC ACCESS AND EDUCATION, CONSERVATION, AND TOURISM MASTER PLAN, SOUTH PADRE ISLAND, TEXAS**

Mr. Hill:

Working closely with the City of South Padre Island (City), HDR will prepare the South Padre Island Resilient Public Access and Education, Conservation, and Tourism Master Plan (Master Plan) to prioritize projects that support tourism, education, conservation, and beach and bay access enhancement strategies. Prioritization will be a collaborative process based upon the City's coastal environmental planning goals, the Texas Coastal Resilience Master Plan, existing plans and studies, and public input. Capital improvement projects tend to be multi-faceted and multi-phased, where interim steps or smaller subprojects are required to achieve the larger goal. For example, construction of a new park may require zoning changes, land acquisition, modifications to transportation and utility networks, and possible construction phasing in order to implement the entire project over multiple years as funding becomes available. The Master Plan will consider each currently proposed project together as a whole and identify the milestones needed to support implementation, as well as smaller interim projects or phases that could be independently executed as funding is available to support progress toward the larger vision.

The comprehensive Master Plan will integrate the visions and goals identified in the existing plans and reports, the Hazard Mitigation Action Plan, and new projects or programs that are identified during this effort. The focus is to create a single Master Plan that combines hazard reduction and economic resiliency, as well as clearly articulating priorities, outlining implementation phasing, and developing funding strategies for priority projects and programs. The proposed process for developing the Master Plan is laid out

below and provides a roadmap to achieving City Council Approval and Adoption by the end of March 2018.



## ● Task 1. Project Initiation

HDR will conduct a conference call with City staff to kick-off the project and initiate a discussion regarding available resources and datasets to support the analytical work defined under Task 2 below. During the meeting, HDR will review the project scope and define the deliverables, schedule, and public outreach strategy.

Because of the eight month schedule it will be important for the City and HDR to work together during Task 1 to develop a draft evaluation and prioritization methodology, as well as any weighting of criteria that may be relevant. While the evaluation and prioritization system may need to adjust as the project evolves, it will be important to view projects, policies, programs, regulations and initiatives through this lens early on in the Master Planning process. This methodology should be transparent, clearly documented, and easy to replicate so that as new projects or programs are identified in the future, the City can easily update the Master Plan.

### Deliverables:

- Draft Evaluation and Prioritization Methodology Matrix

### Assumptions:

- One conference call with up to three HDR staff

## **Task 2. Evaluation of Policies, Programs, Regulations, and Initiatives**

HDR will complete an evaluation of current policies, programs, regulations, and initiatives related to the City's efforts to mitigate storm and sea-level rise hazards and strengthen the seasonal beach-tourism economy. Although subject to change based on direction by the City, we anticipate organizing this effort around the following broad categories:

- Tourism
  - Nature and Water-based Recreation
  - Heritage and Nature Tourism
  - Connectivity (Automobile, pedestrian, bicycle, and/or water)
- Education
- Conservation
  - Beach Dune Preservation and Beach Management
  - Bay and Beach Resource Conservation
- Bay and Beach Access Enhancement Strategies
  - Bay and Beach Access and Parking
- Hazard Mitigation and Resiliency Planning

In completing this task, HDR will review relevant documents, plans, reports, and regulations provided by City staff, the GLO, and others addressing conditions on South Padre Island. The HDR team will identify new projects, as well opportunities and constraints of existing projects. Upon completion of document review, HDR in partnership with the City, will confirm the projects that should be further explored and included in the Master Plan.

Using the evaluation and prioritization system developed in Task 1, HDR will complete a preliminary assessment of projects, programs, and policies to be included in the Master Plan. Concurrently, The City will complete the same evaluation and prioritization, so that the results can be compared and contrasted and the evaluation system modified as needed to be clear to the user and result in reproducible results.

The results of this analysis will be presented to the City for discussion, evaluation and modification.

### Deliverables:

- Draft Evaluation and Prioritization Matrix

Assumptions:

- Document review limited to Capital Improvement Plan (CIP) 2017 – 2021, Coastal Resilience Index Results, Laguna Madre Ecotourism Network Project Restore Application, Laguna Madre Island Gateway Restore Application, Laguna Madre Boat Ramp Restore Application, Beach Access Plan, Erosion Response Plan, Beach User Fee Plan, Hazard Mitigation Action Plan, and Chapter 22 Code of Ordinances.
- Resources will be provided by SPI or from a free publically available source including the City's Digital Parking Tool, new and existing Real Time Kinetic (RTK) topographic surveys, HDR topographic and bathymetric surveys, University of Texas at Rio Grande Valley (UTRGV) work products, library of prior research and past strategies used for previous grant applications, and GIS land use, zoning, and census data sets.
- Up to 15 projects, programs, and/or policies will be evaluated and prioritized in the Matrix.

### **Task 3. Vision, Goals, and New Ideas**

HDR staff will conduct a tour of the City with the intention of becoming more familiar with key resources and destinations, beach and bay access improvements and management initiatives, and to further explore the feasibility of new ideas and existing projects. HDR will meet with key City staff and community members, as identified by the City, such as Sea Turtle Inc., to discuss agenda items identified by the team, such as visions, goals, public outreach strategies, primary hazards and resiliency shortfalls, and proposed projects. Following these meetings HDR will reconvene with City staff for a workshop that will summarize the outcomes of the meetings and key takeaways, finalize the vision and goals for the Master Plan, set key milestone and meeting dates, and confirm the goals and priorities of the public workshop.

HDR staff will lead a public workshop with City staff to help bring community members and key stakeholders together to discuss the vision and goals of the Master Plan and facilitate brainstorming and prioritization around the following:

- Vision and goals of the Master Plan effort
- Proposed projects, potential project phasing, and key milestones
- New ideas
- Funding sources

The goal of the public workshop is to provide a forum for community members to engage with the team and provide feedback on the work to date so that the final Master Plan is in line with both the community's and the City's goals. Typically, in a public workshop, it is best to make a presentation to the entire group, divide into breakout sessions based on specific topics or projects, and reconvene as a group to summarize findings and discuss next steps. HDR anticipates that the workshop will follow this loose format, utilizing City staff in conjunction with HDR staff to lead the workshop and direct breakout sessions. Following the conclusion of the presentation, HDR and the City will conduct a wrap-up session to discuss any key points or takeaways that will need to be reflected in the Master Plan.

Deliverables:

- Workshop Presentation
- Final Evaluation and Prioritization Matrix

Assumptions:

- Facility and refreshments will be provided by SPI.
- The duration of the public workshop will not exceed four hours, with two HDR staff.

## Task 4. Draft Master Plan

Building off of the previous tasks, HDR will synthesize the findings to develop a draft Master Plan. The Plan may include:

- Problem identification statement;
- Vision and goal statements;
- Listing of policies, programs, regulations, and initiatives, with narrative descriptions of each;
- Evaluation and prioritization methodology; and
- Potential funding sources.

Deliverables:

- Draft Master Plan (approximately 40-page report)

Assumptions:

- Upon review by the City, HDR will receive one round of consolidated comments for revision

## **Task 5. Master Plan Finalization**

Upon review by City staff of the Draft Master Plan and incorporation of all comments, HDR will finalize the Master Plan for public review. The City can present the plan at a public meeting or post the Draft Master Plan on their website and solicit comments. This will allow the community the opportunity to review the Master Plan and provide any final comments. Comments received will be responded to and included as an Appendix within the Master Plan.

Deliverables:

- Final Master Plan, with public comments added as an Appendix

Assumptions:

- Hazard, Sea-level Rise, Economic and/or Real Estate analysis is not included

## **Task 6. City Council Presentation**

HDR will develop a PowerPoint presentation for City review, comments will be incorporated in one round of revisions, and the presentation will be finalized. HDR will present the Final Master Plan to the City Council.

Deliverables:

- City Council Presentation (PowerPoint)

Assumptions:

- Presentation not to exceed four hours, with two HDR staff on-site leading the presentation.
- Stenographer, if needed, will be provided by the City.

### **FEE**

HDR proposes to provide these services on a lump sum basis for a total amount of **Sixty Nine Thousand Seven Hundred and Eighty Two Dollars (\$69,782)**. A summary of the estimated amount for each major task is listed below. All services will be provided in accordance with the attached Terms and Conditions. Any additional assignments authorized by the City will be billed on an agreed to fixed fee. This Proposal is valid for 30 days.

Task	Amount per Task
Task 1 - Project Initiation	\$ 4,135
Task 2 - Evaluation of Policies, Programs, Regulations, and Initiatives	\$ 8,799
Task 3 - Vision, Goals, and New Ideas	\$ 23,160
Task 4 - Draft Master Plan	\$ 15,613
Task 5 - Master Plan Finalization	\$ 11,743
Task 6 - City Council Presentation	\$ 6,332
<b>Total Proposed Budget:</b>	<b>\$ 69,782</b>

If you are in agreement with the above, please sign this letter proposal which will serve as a Work Order and return one signed copy to us.

Thank you for considering HDR for this exciting project. Should you have any questions, please do not hesitate to contact us to discuss this proposal in more detail.

Sincerely,  
HDR ENGINEERING, INC.



M. Cameron Perry, P.E.  
Coastal Project Manager

AGREED TO AND ACCEPTED:  
CITY OF SOUTH PADRE ISLAND

Printed Name: \_\_\_\_\_

Title: \_\_\_\_\_



Arthur B. Colwell, P.E.  
Managing Principal/Vice President

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Attachments:      Contract Terms and Conditions



# HDR Engineering, Inc.

## Terms and Conditions for Professional Services

### 1. STANDARD OF PERFORMANCE

The standard of care for all professional engineering, consulting and related services performed or furnished by ENGINEER and its employees under this Agreement will be the care and skill ordinarily used by members of ENGINEER's profession practicing under the same or similar circumstances at the same time and in the same locality. ENGINEER makes no warranties, express or implied, under this Agreement or otherwise, in connection with ENGINEER's services.

### 2. INSURANCE/INDEMNITY

ENGINEER agrees to procure and maintain, at its expense, Workers' Compensation insurance as required by statute; Employer's Liability of \$250,000; Automobile Liability insurance of \$1,000,000 combined single limit for bodily injury and property damage covering all vehicles, including hired vehicles, owned and non-owned vehicles; Commercial General Liability insurance of \$1,000,000 combined single limit for personal injury and property damage; and Professional Liability insurance of \$1,000,000 per claim for protection against claims arising out of the performance of services under this Agreement caused by negligent acts, errors, or omissions for which ENGINEER is legally liable. OWNER shall be made an additional insured on Commercial General and Automobile Liability insurance policies and certificates of insurance will be furnished to the OWNER. ENGINEER agrees to indemnify OWNER for third party personal injury and property damage claims to the extent caused by ENGINEER's negligent acts, errors or omissions. However, neither Party to this Agreement shall be liable to the other Party for any special, incidental, indirect, or consequential damages (including but not limited to loss of profits or revenue; loss of use or opportunity; loss of good will; cost of substitute facilities, goods, or services; and/or cost of capital) arising out of, resulting from, or in any way related to the Project or the Agreement from any cause or causes, including but not limited to any such damages caused by the negligence, errors or omissions, strict liability or breach of contract.

### 3. OPINIONS OF PROBABLE COST (COST ESTIMATES)

Any opinions of probable project cost or probable construction cost provided by ENGINEER are made on the basis of information available to ENGINEER and on the basis of ENGINEER's experience and qualifications, and represents its judgment as an experienced and qualified professional engineer. However, since ENGINEER has no control over the cost of labor, materials, equipment or services furnished by others, or over the contractor(s)' methods of determining prices, or over competitive bidding or market conditions, ENGINEER does not guarantee that proposals, bids or actual project or construction cost will not vary from opinions of probable cost ENGINEER prepares.

### 4. CONSTRUCTION PROCEDURES

ENGINEER's observation or monitoring portions of the work performed under construction contracts shall not relieve the contractor from its responsibility for performing work in accordance with applicable contract documents. ENGINEER shall not control or have charge of, and shall not be responsible for, construction means, methods, techniques, sequences, procedures of construction, health or safety programs or precautions connected with the work and shall not manage, supervise, control or have charge of construction. ENGINEER shall not be responsible for the acts or omissions of the contractor or other parties on the project. ENGINEER shall be entitled to review all construction contract documents and to require that no provisions extend the duties or liabilities of ENGINEER beyond those set forth in this Agreement. OWNER agrees to include ENGINEER as an indemnified party in OWNER's construction contracts for the work, which shall protect ENGINEER to the same degree as OWNER. Further, OWNER agrees that ENGINEER shall be listed as an additional insured under the construction contractor's liability insurance policies.

### 5. CONTROLLING LAW

This Agreement is to be governed by the law of the state where ENGINEER's services are performed.

### 6. SERVICES AND INFORMATION

OWNER will provide all criteria and information pertaining to OWNER's requirements for the project, including design objectives and constraints, space, capacity and performance requirements, flexibility and expandability,

and any budgetary limitations. OWNER will also provide copies of any OWNER-furnished Standard Details, Standard Specifications, or Standard Bidding Documents which are to be incorporated into the project.

OWNER will furnish the services of soils/geotechnical engineers or other consultants that include reports and appropriate professional recommendations when such services are deemed necessary by ENGINEER. The OWNER agrees to bear full responsibility for the technical accuracy and content of OWNER-furnished documents and services.

In performing professional engineering and related services hereunder, it is understood by OWNER that ENGINEER is not engaged in rendering any type of legal, insurance or accounting services, opinions or advice. Further, it is the OWNER's sole responsibility to obtain the advice of an attorney, insurance counselor or accountant to protect the OWNER's legal and financial interests. To that end, the OWNER agrees that OWNER or the OWNER's representative will examine all studies, reports, sketches, drawings, specifications, proposals and other documents, opinions or advice prepared or provided by ENGINEER, and will obtain the advice of an attorney, insurance counselor or other consultant as the OWNER deems necessary to protect the OWNER's interests before OWNER takes action or forebears to take action based upon or relying upon the services provided by ENGINEER.

### 7. SUCCESSORS, ASSIGNS AND BENEFICIARIES

OWNER and ENGINEER, respectively, bind themselves, their partners, successors, assigns, and legal representatives to the covenants of this Agreement. Neither OWNER nor ENGINEER will assign, sublet, or transfer any interest in this Agreement or claims arising therefrom without the written consent of the other. No third party beneficiaries are intended under this Agreement.

### 8. RE-USE OF DOCUMENTS

All documents, including all reports, drawings, specifications, computer software or other items prepared or furnished by ENGINEER pursuant to this Agreement, are instruments of service with respect to the project. ENGINEER retains ownership of all such documents. OWNER may retain copies of the documents for its information and reference in connection with the project; however, none of the documents are intended or represented to be suitable for reuse by OWNER or others on extensions of the project or on any other project. Any reuse without written verification or adaptation by ENGINEER for the specific purpose intended will be at OWNER's sole risk and without liability or legal exposure to ENGINEER, and OWNER will defend, indemnify and hold harmless ENGINEER from all claims, damages, losses and expenses, including attorney's fees, arising or resulting therefrom. Any such verification or adaptation will entitle ENGINEER to further compensation at rates to be agreed upon by OWNER and ENGINEER.

### 9. TERMINATION OF AGREEMENT

OWNER or ENGINEER may terminate the Agreement, in whole or in part, by giving seven (7) days written notice to the other party. Where the method of payment is "lump sum," or cost reimbursement, the final invoice will include all services and expenses associated with the project up to the effective date of termination. An equitable adjustment shall also be made to provide for termination settlement costs ENGINEER incurs as a result of commitments that had become firm before termination, and for a reasonable profit for services performed.

### 10. SEVERABILITY

If any provision of this agreement is held invalid or unenforceable, the remaining provisions shall be valid and binding upon the parties. One or more waivers by either party of any provision, term or condition shall not be construed by the other party as a waiver of any subsequent breach of the same provision, term or condition.

### 11. INVOICES

ENGINEER will submit monthly invoices for services rendered and OWNER will make payments to ENGINEER within thirty (30) days of OWNER's receipt of ENGINEER's invoice.

ENGINEER will retain receipts for reimbursable expenses in general accordance with Internal Revenue Service rules pertaining to the support of



expenditures for income tax purposes. Receipts will be available for inspection by OWNER's auditors upon request.

If OWNER disputes any items in ENGINEER's invoice for any reason, including the lack of supporting documentation, OWNER may temporarily delete the disputed item and pay the remaining amount of the invoice. OWNER will promptly notify ENGINEER of the dispute and request clarification and/or correction. After any dispute has been settled, ENGINEER will include the disputed item on a subsequent, regularly scheduled invoice, or on a special invoice for the disputed item only.

OWNER recognizes that late payment of invoices results in extra expenses for ENGINEER. ENGINEER retains the right to assess OWNER interest at the rate of one percent (1%) per month, but not to exceed the maximum rate allowed by law, on invoices which are not paid within thirty (30) days from the date OWNER receives ENGINEER's invoice. In the event undisputed portions of ENGINEER's invoices are not paid when due, ENGINEER also reserves the right, after seven (7) days prior written notice, to suspend the performance of its services under this Agreement until all past due amounts have been paid in full.

## 12. CHANGES

The parties agree that no change or modification to this Agreement, or any attachments hereto, shall have any force or effect unless the change is reduced to writing, dated, and made part of this Agreement. The execution of the change shall be authorized and signed in the same manner as this Agreement. Adjustments in the period of services and in compensation shall be in accordance with applicable paragraphs and sections of this Agreement. Any proposed fees by ENGINEER are estimates to perform the services required to complete the project as ENGINEER understands it to be defined. For those projects involving conceptual or process development services, activities often are not fully definable in the initial planning. In any event, as the project progresses, the facts developed may dictate a change in the services to be performed, which may alter the scope. ENGINEER will inform OWNER of such situations so that changes in scope and adjustments to the time of performance and compensation can be made as required. If such change, additional services, or suspension of services results in an increase or decrease in the cost of or time required for performance of the services, an equitable adjustment shall be made, and the Agreement modified accordingly.

## 13. CONTROLLING AGREEMENT

These Terms and Conditions shall take precedence over any inconsistent or contradictory provisions contained in any proposal, contract, purchase order, requisition, notice-to-proceed, or like document.

## 14. EQUAL EMPLOYMENT AND NONDISCRIMINATION

In connection with the services under this Agreement, ENGINEER agrees to comply with the applicable provisions of federal and state Equal Employment Opportunity for individuals based on color, religion, sex, or national origin, or disabled veteran, recently separated veteran, other protected veteran and armed forces service medal veteran status, disabilities under provisions of executive order 11246, and other employment, statutes and regulations, as stated in Title 41 Part 60 of the Code of Federal Regulations § 60-1.4 (a-f), § 60-300.5 (a-e), § 60-741 (a-e).

## 15. HAZARDOUS MATERIALS

OWNER represents to ENGINEER that, to the best of its knowledge, no hazardous materials are present at the project site. However, in the event hazardous materials are known to be present, OWNER represents that to the best of its knowledge it has disclosed to ENGINEER the existence of all such hazardous materials, including but not limited to asbestos, PCB's, petroleum, hazardous waste, or radioactive material located at or near the project site, including type, quantity and location of such hazardous materials. It is acknowledged by both parties that ENGINEER's scope of services do not include services related in any way to hazardous materials. In the event ENGINEER or any other party encounters undisclosed hazardous materials, ENGINEER shall have the obligation to notify OWNER and, to the extent required by law or regulation, the appropriate governmental officials, and ENGINEER may, at its option and without liability for delay, consequential or any other damages to OWNER, suspend performance of services on that portion of the project affected by hazardous materials until OWNER: (i) retains appropriate specialist consultant(s) or contractor(s) to identify and, as appropriate, abate, remediate, or remove the hazardous materials; and (ii) warrants that the project site is in full compliance with all applicable

laws and regulations. OWNER acknowledges that ENGINEER is performing professional services for OWNER and that ENGINEER is not and shall not be required to become an "arranger," "operator," "generator," or "transporter" of hazardous materials, as defined in the Comprehensive Environmental Response, Compensation, and Liability Act of 1990 (CERCLA), which are or may be encountered at or near the project site in connection with ENGINEER's services under this Agreement. If ENGINEER's services hereunder cannot be performed because of the existence of hazardous materials, ENGINEER shall be entitled to terminate this Agreement for cause on 30 days written notice. To the fullest extent permitted by law, OWNER shall indemnify and hold harmless ENGINEER, its officers, directors, partners, employees, and subconsultants from and against all costs, losses, and damages (including but not limited to all fees and charges of engineers, architects, attorneys, and other professionals, and all court or arbitration or other dispute resolution costs) caused by, arising out of or resulting from hazardous materials, provided that (i) any such cost, loss, or damage is attributable to bodily injury, sickness, disease, or death, or injury to or destruction of tangible property (other than completed Work), including the loss of use resulting therefrom, and (ii) nothing in this paragraph shall obligate OWNER to indemnify any individual or entity from and against the consequences of that individual's or entity's sole negligence or willful misconduct.

## 16. EXECUTION

This Agreement, including the exhibits and schedules made part hereof, constitute the entire Agreement between ENGINEER and OWNER, supersedes and controls over all prior written or oral understandings. This Agreement may be amended, supplemented or modified only by a written instrument duly executed by the parties.

## 17. ALLOCATION OF RISK

**OWNER AND ENGINEER HAVE EVALUATED THE RISKS AND REWARDS ASSOCIATED WITH THIS PROJECT, INCLUDING ENGINEER'S FEE RELATIVE TO THE RISKS ASSUMED, AND AGREE TO ALLOCATE CERTAIN OF THE RISKS, SO, TO THE FULLEST EXTENT PERMITTED BY LAW, THE TOTAL AGGREGATE LIABILITY OF ENGINEER (AND ITS RELATED CORPORATIONS, SUBCONSULTANTS AND EMPLOYEES) TO OWNER AND THIRD PARTIES GRANTED RELIANCE IS LIMITED TO THE LESSER OF \$1,000,000 OR ITS FEE, FOR ANY AND ALL INJURIES, DAMAGES, CLAIMS, LOSSES, OR EXPENSES (INCLUDING ATTORNEY AND EXPERT FEES) ARISING OUT OF ENGINEER'S SERVICES OR THIS AGREEMENT REGARDLESS OF CAUSE(S) OR THE THEORY OF LIABILITY, INCLUDING NEGLIGENCE, INDEMNITY, OR OTHER RECOVERY. THIS LIMITATION SHALL NOT APPLY TO THE EXTENT THE DAMAGE IS PAID UNDER ENGINEER'S COMMERCIAL GENERAL LIABILITY INSURANCE POLICY.**

## 18. LITIGATION SUPPORT

In the event ENGINEER is required to respond to a subpoena, government inquiry or other legal process related to the services in connection with a legal or dispute resolution proceeding to which ENGINEER is not a party, OWNER shall reimburse ENGINEER for reasonable costs in responding and compensate ENGINEER at its then standard rates for reasonable time incurred in gathering information and documents and attending depositions, hearings, and trial.

## 19. NO THIRD PARTY BENEFICIARIES

No third party beneficiaries are intended under this Agreement.

## 20. UTILITY LOCATION

If underground sampling/testing is to be performed, a local utility locating service shall be contacted to make arrangements for all utilities to determine the location of underground utilities. In addition, OWNER shall notify ENGINEER of the presence and location of any underground utilities located on the OWNER's property which are not the responsibility of private/public utilities. ENGINEER shall take reasonable precautions to avoid damaging underground utilities that are properly marked. The OWNER agrees to waive any claim against ENGINEER and will indemnify and hold ENGINEER harmless from any claim of liability, injury or loss caused by or allegedly caused by ENGINEER's damaging of underground utilities that are not properly marked or are not called to ENGINEER's attention prior to beginning the underground sampling/testing.

**CITY OF SOUTH PADRE ISLAND  
SHORELINE TASKFORCE  
MEETING  
AGENDA REQUEST FORM**

**MEETING DATE:** 12/04/2017

**NAME & TITLE:** Brandon Hill, Shoreline Director

**DEPARTMENT:** Shoreline department

**ITEM**

Discussion and presentation of *Dune Volunteer Planting Program* power point. A history of dune planting efforts by volunteers on South Padre Island.

**ITEM BACKGROUND**

Shoreline Department Director Brandon Hill will give an overview of the Dune Volunteer Planting program. This PowerPoint was presented to the American Shore and Beach Preservation Association in 2016 and has been provided to you exactly as it was shown. City staff intends to briefly overview the more superfluous slides and focus on the data.

**BUDGET/FINANCIAL SUMMARY**

**COMPREHENSIVE PLAN GOAL**

**LEGAL REVIEW**

Sent to Legal: YES: \_\_\_\_\_ NO:   X    
Approved by Legal: YES: \_\_\_\_\_ NO:   X  

Comments:

**RECOMMENDATIONS/COMMENTS**



# Dune Conservation on a Developed Coastline



Shoreline Management Director  
Brandon N. Hill



25 Miles

3 Miles























# Ideal Beach

Robust  
sandbars

Natural  
Aerial  
Beach

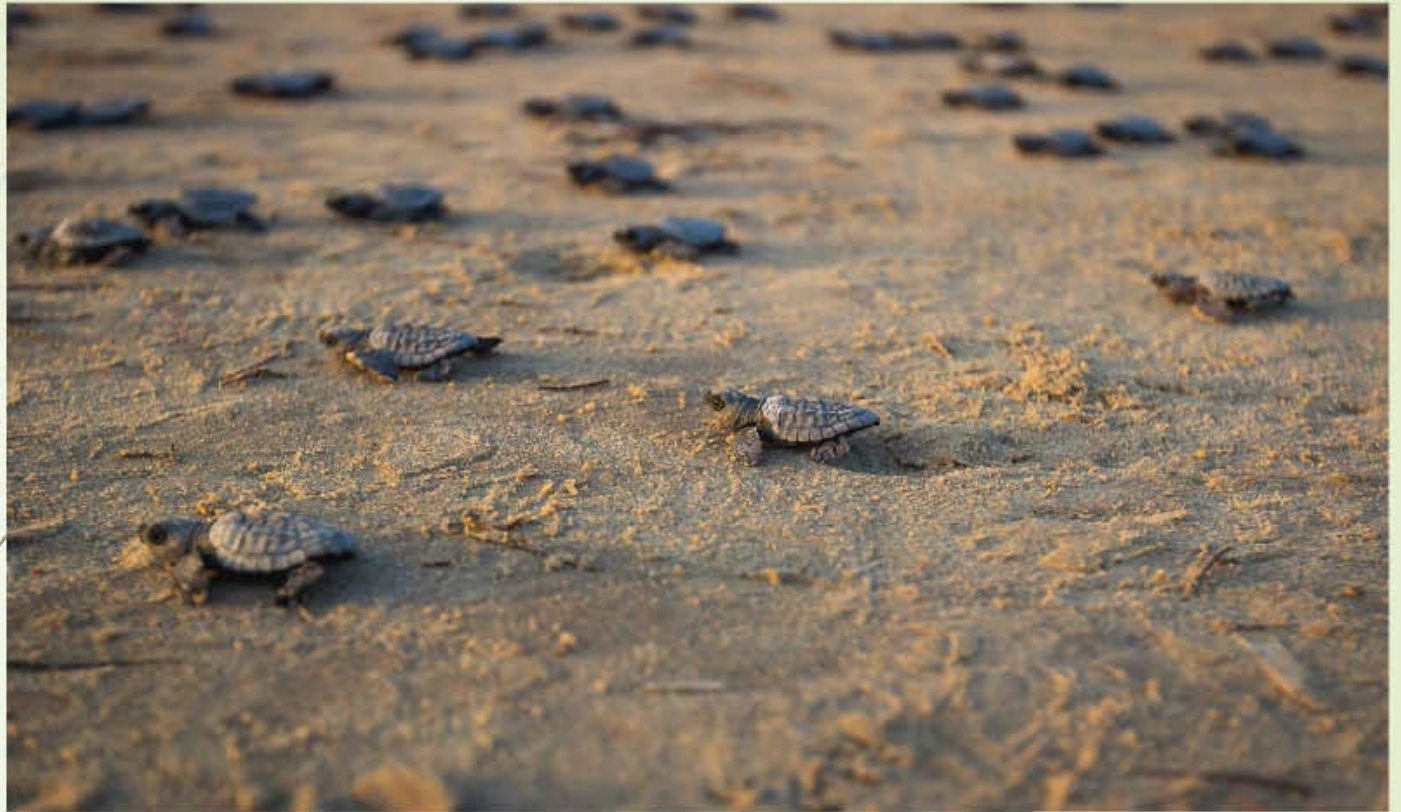
Growing  
Vegetated Dunes

*Karim Miller*
















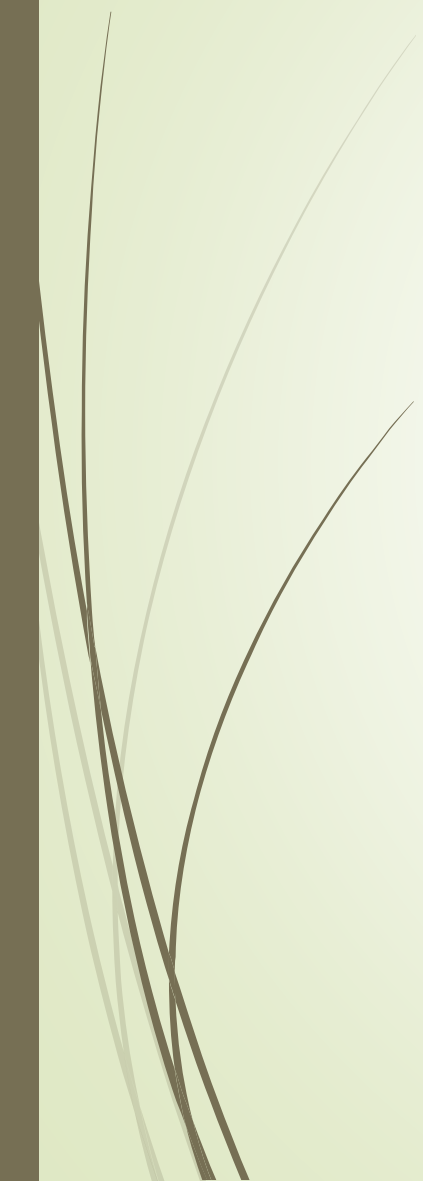


# Dune Volunteer Program





# 14 planting events between 11/22/2014 - 5/12/2016

- Acres Planted: 1.89
  - Over 152,000 Plants
  - Vegetation Type: Bitter Panicum and Sea Oats
  - Almost 900 Total Volunteers engaged
  - More than 2,100 Total Hours
- 

January 16, 2016



September 14, 2016





February 13, 2016



September 14, 2016





North

2/2002



10/2008



1/2016





Middle

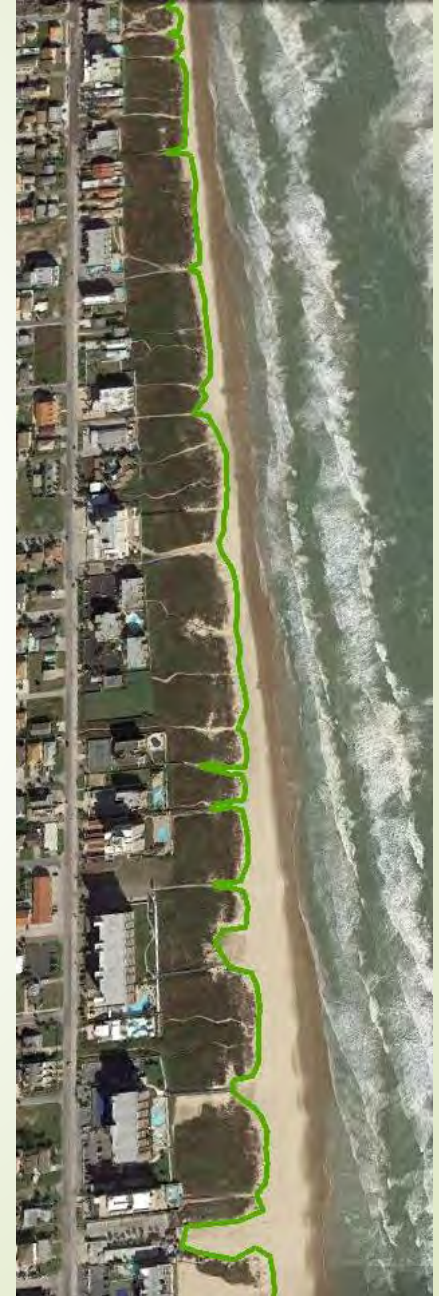
2/2002



10/2008



1/2016





South 2/2002



10/2008

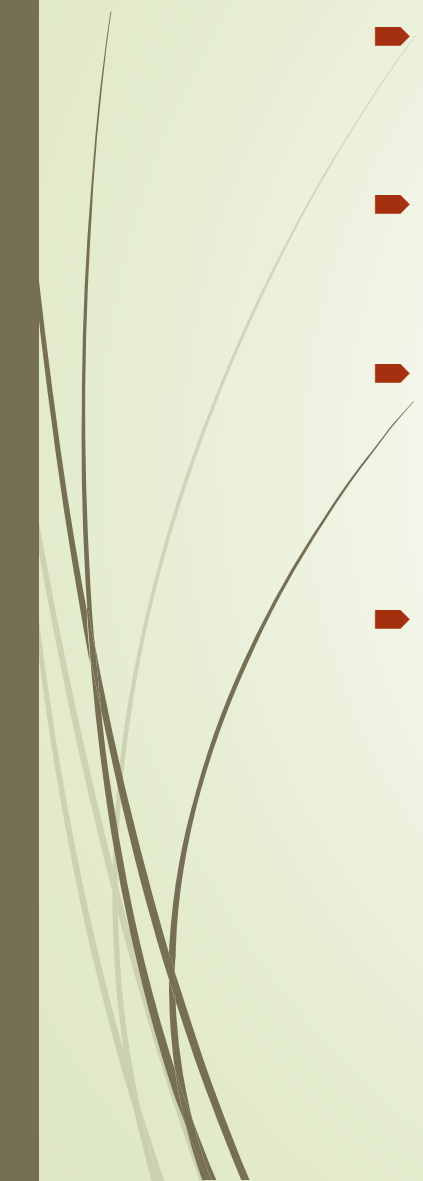


1/2016





# What did it take?

- ▶ CMP Funding and buy in for local match
  - ▶ Half dozen planting events a year
  - ▶ Planting scheme that maximizes success
    - ▶ For South Padre Island USACE has indicated 1-2 culm per ft<sup>2</sup>
  - ▶ Support from local stake holders
    - ▶ Residents
    - ▶ City Council
    - ▶ Elected Officials
- 



What does the future hold?



# Dune Scheme Experimentation





# Continued Dune Volunteer Program



# Continued Beneficial Use of Dredge Material



## City of South Padre Island 2016 Beach Nourishment

The City of South Padre Islands' beach nourishment is scheduled to begin October 14<sup>th</sup>. The United States Army Corps of Engineers is once again facilitating the beneficial use of dredge material.



The engineers estimate it will take 25-30 days to dredge the channels and place the approximate 225,000 cubic yards of sand onto the beach. It will take an additional 7-10 days to remove the tractors and bulldozers once the project has been completed.

The Army Corps will use a 'hopper dredge', which means there will be no pipe laid down across the City's shoreline. The pipe will be laid horizontal to the beach and act like an outstretched fire hose spraying a sand/water mix onto the beach face. As the sand dries it will be sculpted using machinery into a natural beach slope.



You



# Collaboration Partners



**TEXAS A&M**  
UNIVERSITY



**TEXAS A&M UNIVERSITY**  
**GALVESTON CAMPUS**

# Collaboration Partners



US Army Corps  
of Engineers®





# Thank you for your attention

Shoreline Management Director  
Brandon N. Hill  
BHill@myspi.org  
956-761-8166  
www.myspi.org



**CITY OF SOUTH PADRE ISLAND  
SHORELINE TASKFORCE  
MEETING  
AGENDA REQUEST FORM**

**MEETING DATE:** 12/04/2017

**NAME & TITLE:** Brandon Hill, Shoreline Director

**DEPARTMENT:** Shoreline department

**ITEM**

Discussion and presentation of *Sargassum* power point. A brief presentation on seaweed and its effects on the City's beaches.

**ITEM BACKGROUND**

Shoreline Department Director Brandon Hill will give a brief presentation on seaweed and its effects on the City's beaches. This PowerPoint was presented at a community lecture earlier this month and has been provided to you exactly as it was shown.

**BUDGET/FINANCIAL SUMMARY**

**COMPREHENSIVE PLAN GOAL**

**LEGAL REVIEW**

Sent to Legal: YES: \_\_\_\_\_ NO:   X    
Approved by Legal: YES: \_\_\_\_\_ NO:   X  

Comments:

**RECOMMENDATIONS/COMMENTS**



# Sargassum: a History, Explanation and Discussion

Seaweed 101, what's going on with that stuff?



Shoreline Director  
Brandon N. Hill











# South Padre Island





# Who am I?















06.21.2013 15:41





**Objective**  
Sargassum arrives seasonally via the loop system described by this poster in seven stages.

**Methods**  
SEAS utilizes a broad array of scientific tools and procedures to capture, collect, and analyze the Sargassum movement. The use of NOAA's Landsat Imagery. The satellite images have allowed for exploration of how far the Sargassum moves to and from as well as what stage of development. In situ surface ocean current tracking and NOAA's oceanic weather buoys allow for accurate and timely forecasts.

**Conclusion**  
The beach's status as a natural resource has been compromised. It is vital to leave a stable beach for future generations we must re-evaluate our approach. The SEAS Team has been extremely successful in our mission to restore the success of a natural beach alongside the ever-growing tourism industry.

[www.2014.10.15.15.15](http://www.2014.10.15.15.15)

- 1. The map illustrates the path and direction of Sargassum movement from the Atlantic Ocean to the Gulf of Mexico.
- 2. The Sargassum is transported through the Gulf of Mexico to the Florida coast.
- 3. The path shows the Sargassum moving from the Atlantic Ocean to the Gulf of Mexico.
- 4. The Sargassum is transported through the Gulf of Mexico to the Florida coast.
- 5. The Sargassum is transported through the Gulf of Mexico to the Florida coast.
- 6. The Sargassum is transported through the Gulf of Mexico to the Florida coast.
- 7. The Sargassum is transported through the Gulf of Mexico to the Florida coast.

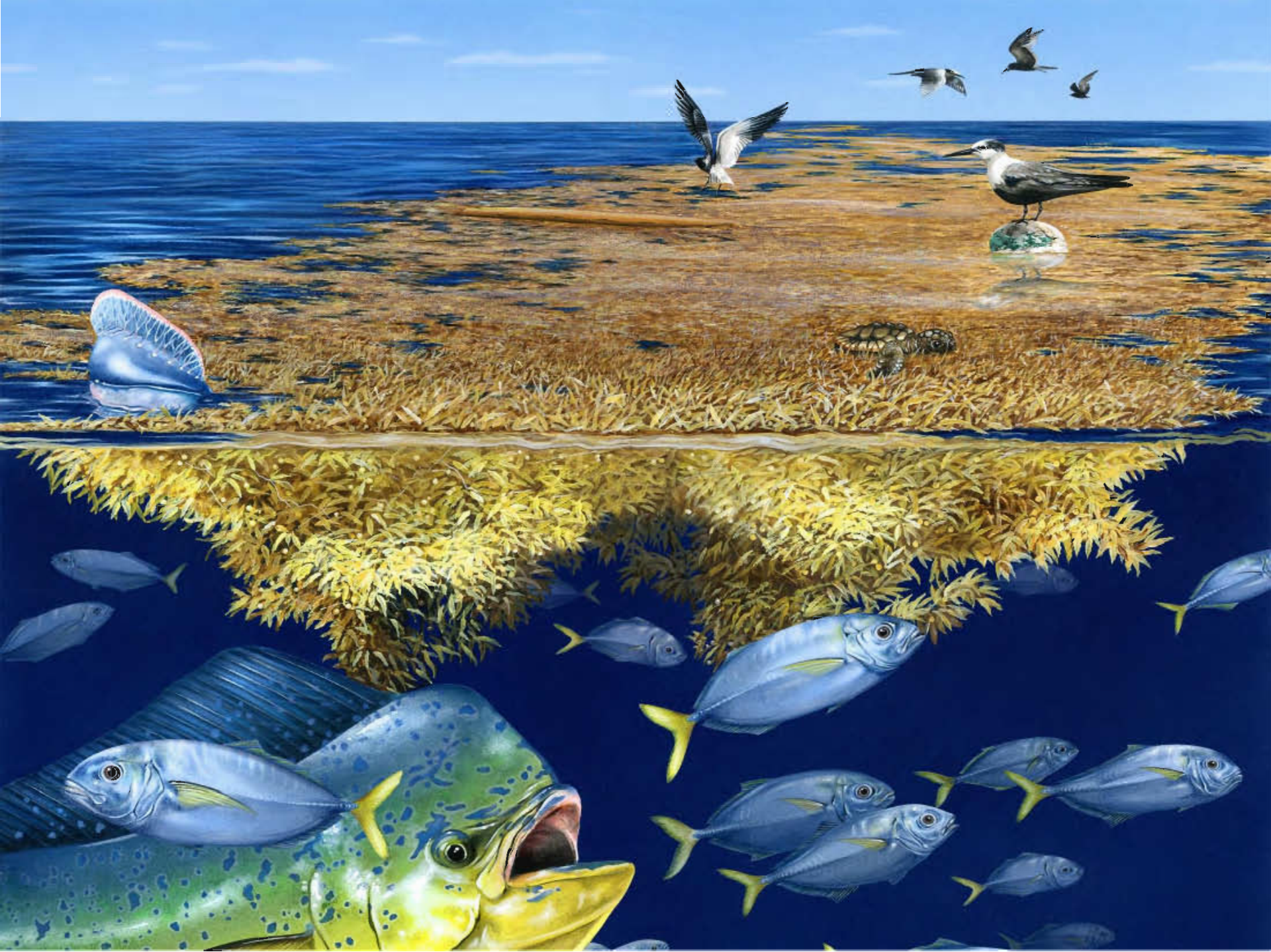




# Sargassum





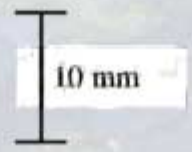
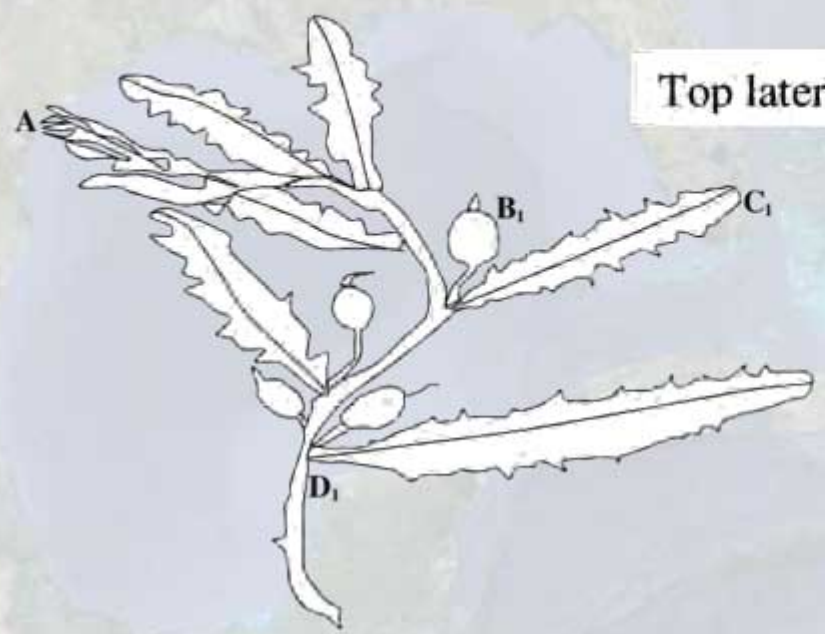




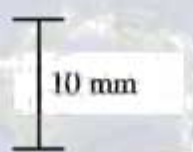
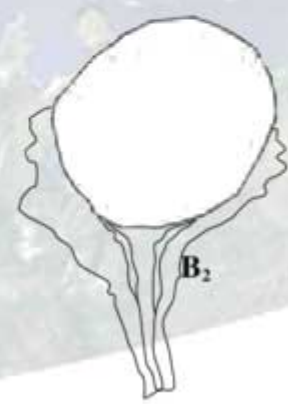
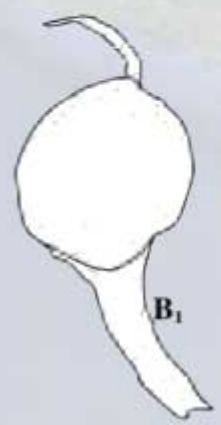
*S. natans*

*S. fluitans*

Top lateral branches



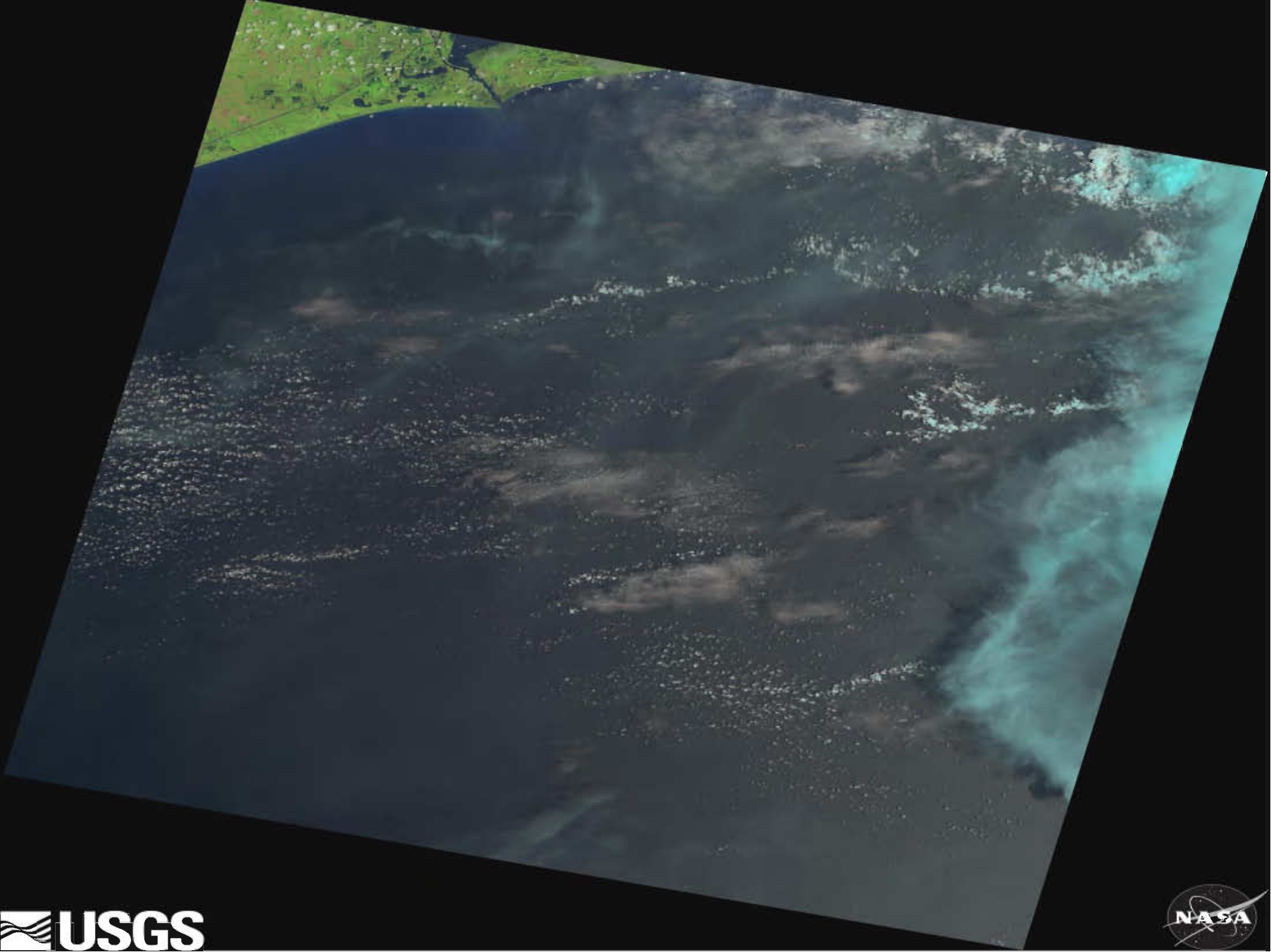
Gas bladders



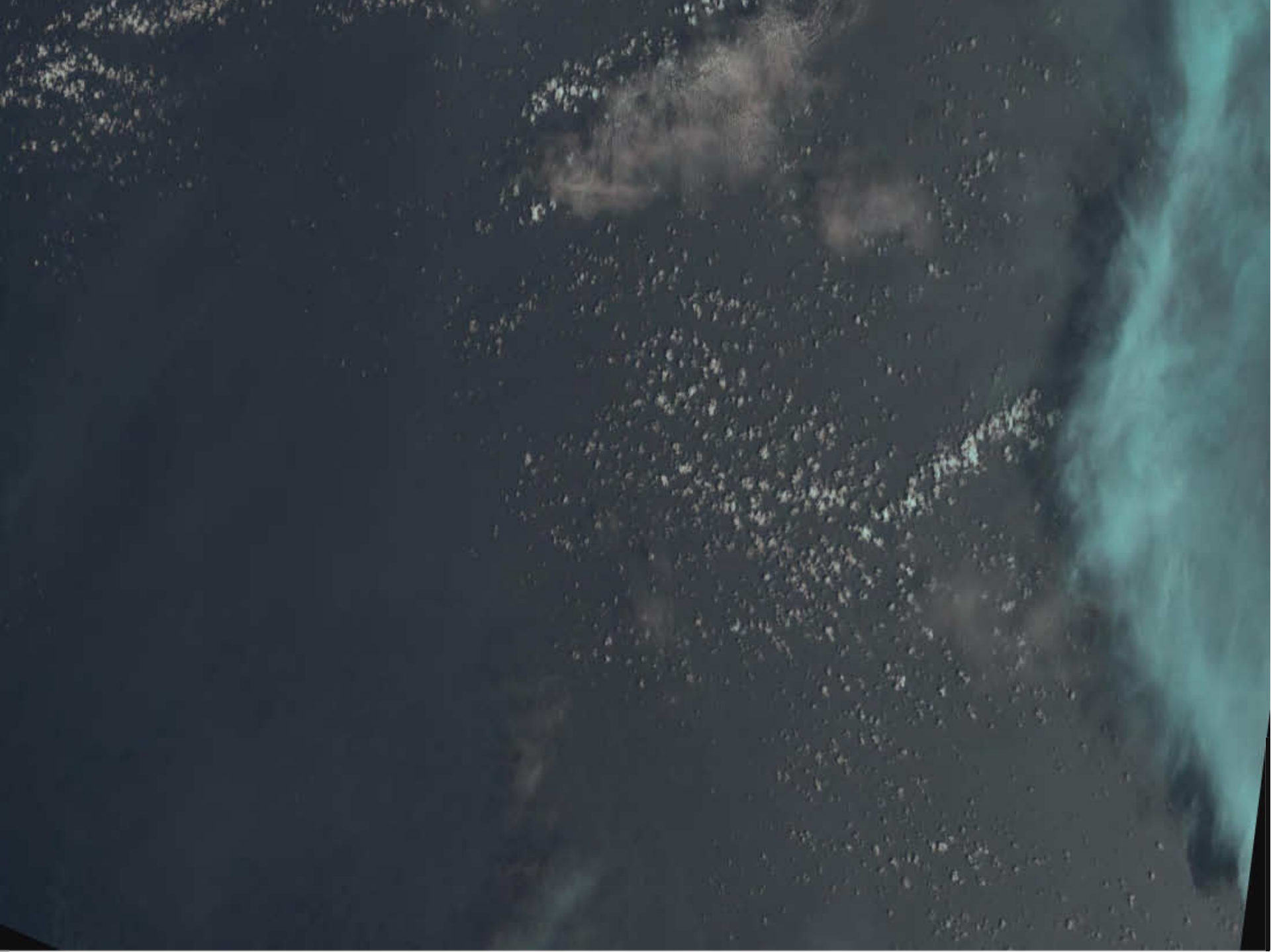


























July 17, 1966

# Seaweed A 'Current' Problem

BY JOHN DAVIS  
STAFF WRITER

Columbus cried about it when the only tourists on Hispaniola were Karankawa Indians. And "the weed" as it has come to be known along the beachfront, was angered and frightened people since.

On his first voyage to the West Indies, Columbus and his three ships passed through the Sargasso Sea.

This tract of the North Atlantic Ocean is covered with Sargassum, the same seaweed that piles up along the Gulf beaches.

**THE BELIEF** that ships passing through the area could become hopelessly entangled in the floating weed was widely adhered to until the early part of this century. Shippers avoided the Sargasso Sea like the plague.

And Galvestonians view the weed as an economic plague that keeps the tourists away in droves.

No one, according to Dr. Robert Stevenson of the U. S. Bureau of Commercial Fisheries, knows why the weed

decides to pile up on Gulf beaches in any particular year. As a matter of fact, he said, no one can say when it will come in or when it will stop.

**ABOUT TWO** weeks ago, a spokesman for the bureau predicted that the island had seen the last of the weed for the year 1966. County Commissioner Jimmie Vacek hopefully concurred.

And then, last week, masses of brown were spotted out in the Gulf. Today, the brown mass piles up along the beach as quickly as the county can tow it off.

"It is a floating algae," "and goes where the currents carry it."

**HE BELIEVES** the weed that reaches Galveston is carried up from the Yucatan Straits near the southern tip of Mexico. It is almost as plentiful there, he said, as in the Sargasso Sea.

"It's a problem that varies from year to year. Some people have theorized that nutrients brought to the surface by Hurricane Carla caused the seaweed to grow rapidly and cause the influx in 1962. I think that's reaching pretty far," he said.

He pointed out that Hurricanes Betsy and Hilda followed basically the same path as Carla, but produced no seaweed invasion. "No one really knows what facts

influence this. As a guess, the primary thing causing the buildup is the ocean current — waters from the Yucatan Straits."

Not everyone shares the aversion to Sargassum. Amateur marine biologists find it a constant source of fascination, since it supports innumerable small plant and

See SEAWEED, Page 3A

W. L. MOODY & CO.  
(UNINCORPORATED)  
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Time to remodel - Get a  
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**ST HUTCHINGS-SEALY**  
NATIONAL BANK  
of Galveston  
INSURED  
MEMBER F.D.I.C.  
OLDEST BANK IN TEXAS



BROWNSVILLE, TEXAS, THURSDAY, MAY 16, 1935



By RALPH L. BUELL  
REPRESENTATIVE AUGUSTINE Celaya vouches for the truth of this one.

Among the relief projects over Texas was one in Galveston county—

Cleaning the beach of the island from seaweed.

Very carefully would the laborers garner all the seaweed in sight.

And very carefully would it be loaded on barges—

Taken out into the bay and dumped.

And as nature took its course, and the seaweed again drifted to the beach—

Very carefully would the seaweed be gathered, loaded on barges, and taken out into the bay and dumped.

Finally somebody with a sense of humor took a moving picture of the procedure and sent it to Washington.

The project was stopped.

# Victor

## MINISTER OF INTERIOR IS CITY VISITOR

### Long-Sought Shorter Route to Capital of Mexico Promise Made Here

Construction work on the Matamoros-Victoria highway will be started next year, Juan de Dios Bojorquez, Mexican secretary of interior, said upon his arrival here at noon Thursday by Pan American plane.

Secretary Bojorquez was accompanied by his two young sons and left shortly after noon on the Bowen Airlines plane for New York, where he will undergo medical treatment, and will spend a month resting from his official duties in Mexico.

#### Important Official

Secretary Bojorquez holds one of the most important positions in Mexico as Secretario de Gobernacion, passing on most federal projects, including roads.

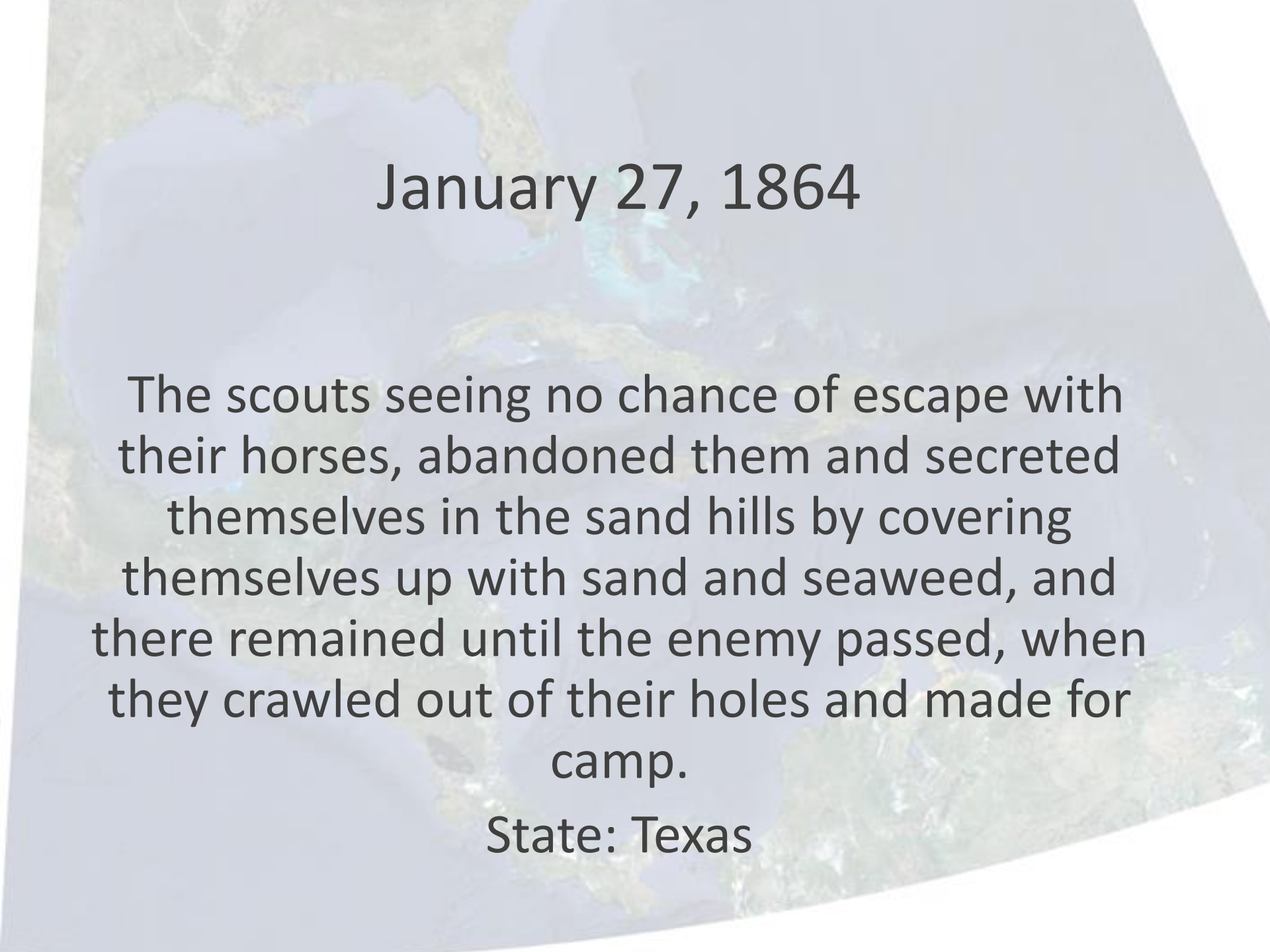
He said the Matamoros to Victoria highway would be started next year with the state and fed-



# Texas Circa 1894





An aerial photograph of a coastal region, likely Texas, showing a large body of water on the left and a sandy beach area on the right. The text is overlaid on the image.

# January 27, 1864

The scouts seeing no chance of escape with their horses, abandoned them and secreted themselves in the sand hills by covering themselves up with sand and seaweed, and there remained until the enemy passed, when they crawled out of their holes and made for camp.

State: Texas





A large landing of Sargassum has completely reshaped the beach in this vintage photo.

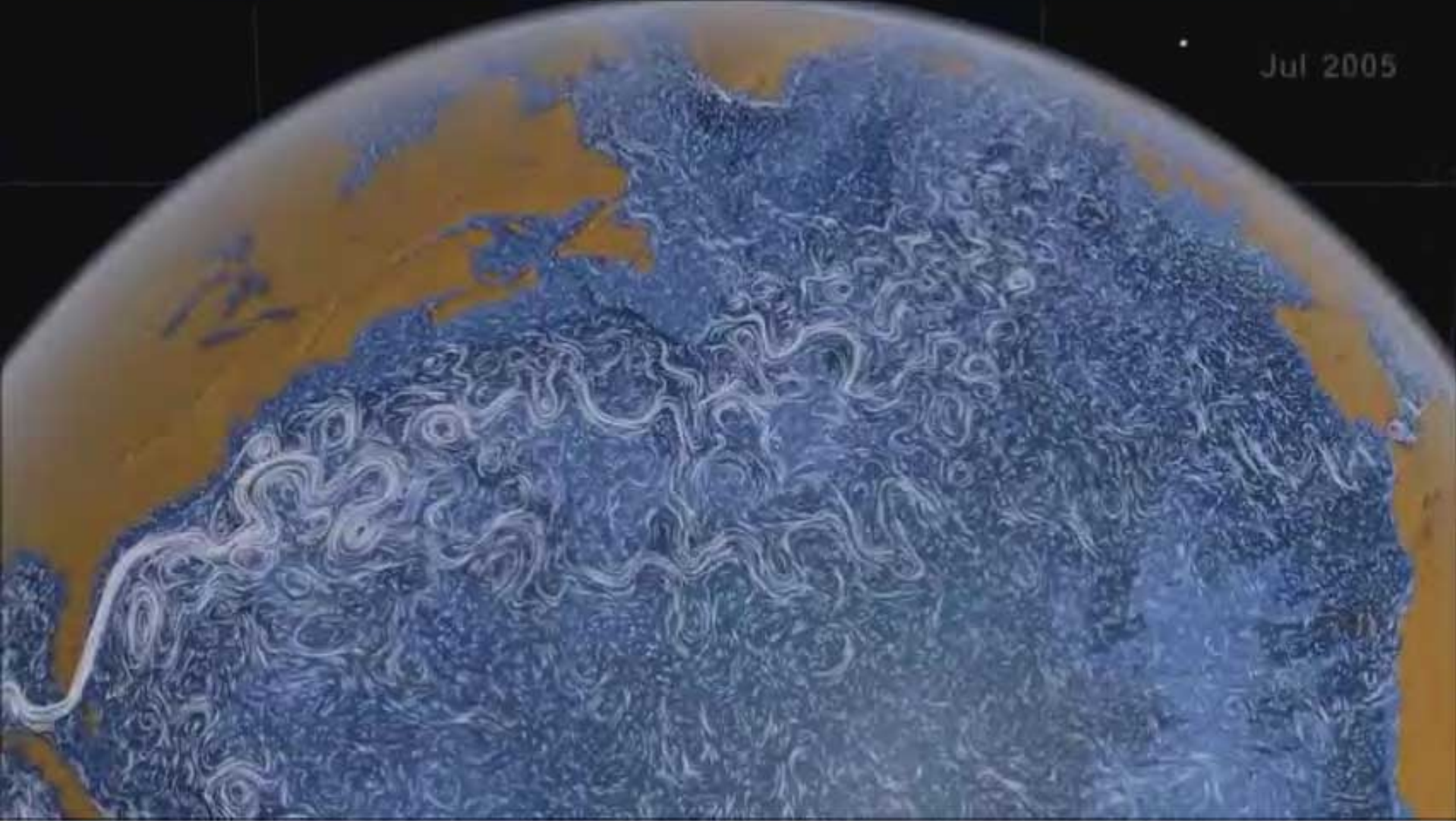


# Why? Caribbean, 2015



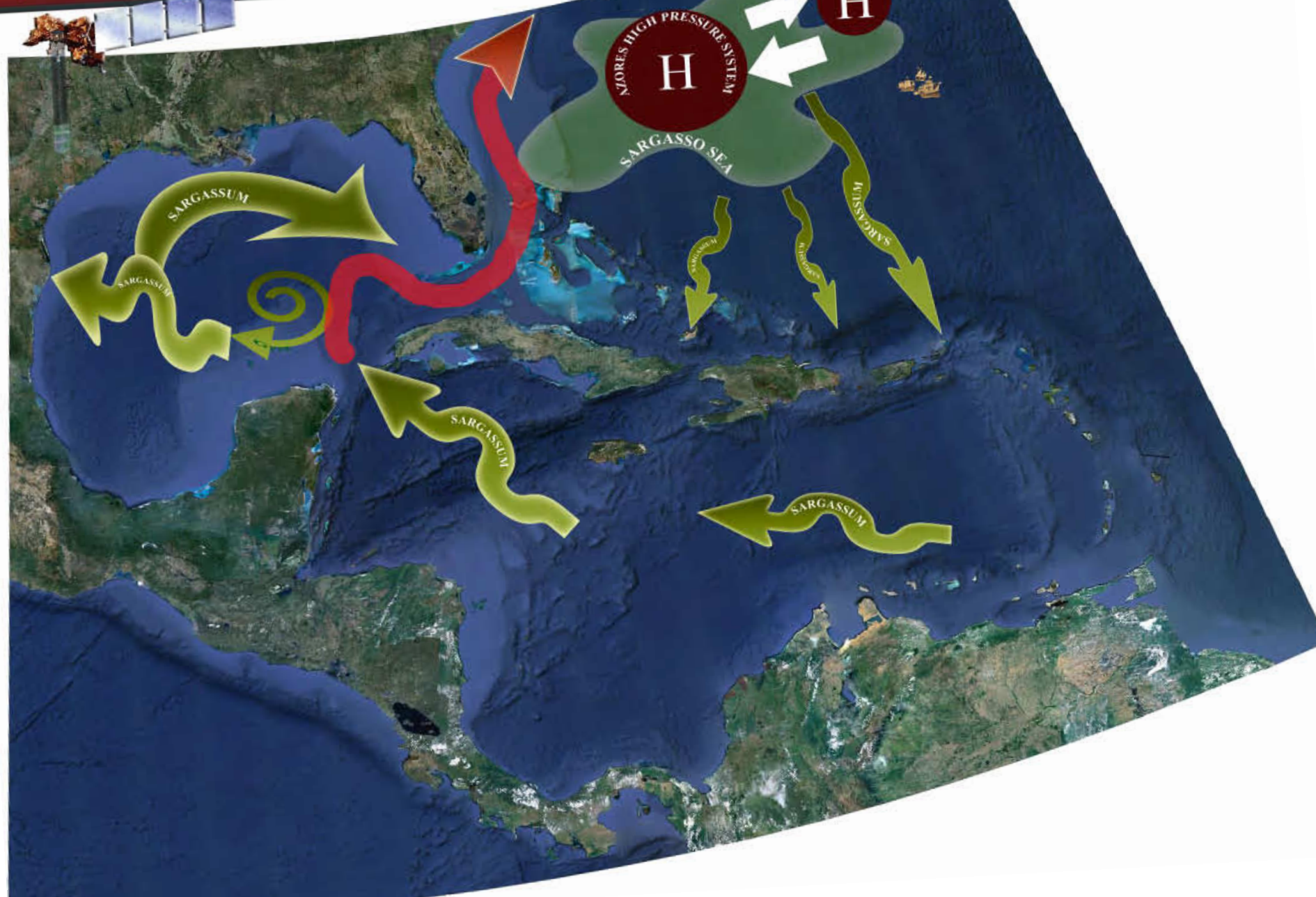


Jul 2005

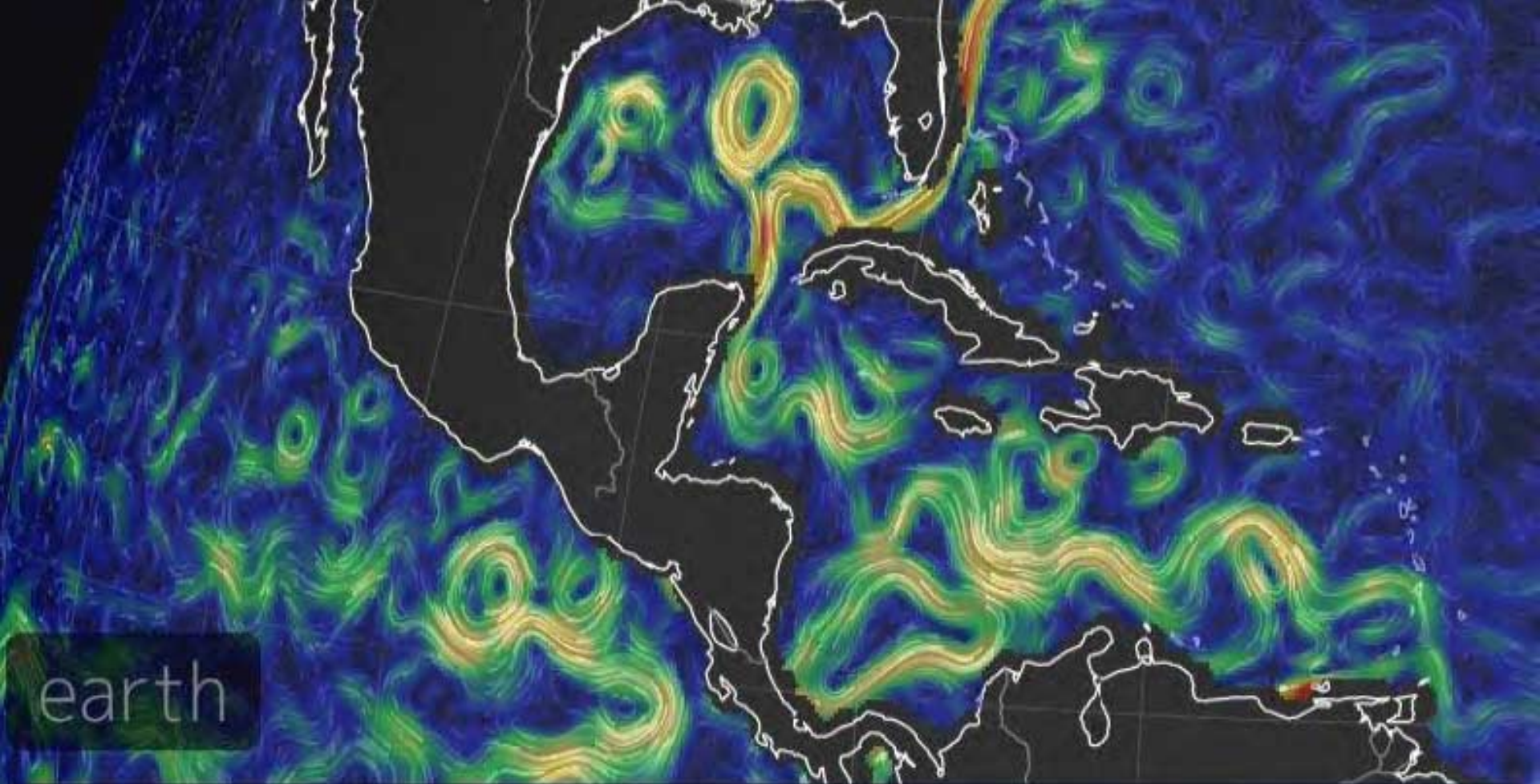




# Sargassum Early Advisory System (SEAS) Explanation of the Sargassum Loop System







earth

Date | 2015-08-31 19:00 Local ⇌ UTC

Data | Ocean Currents @ Surface



Source | OSCAR / Earth & Space Research



# Sargassum as shelter, food source, and nursery







Juvenile sea turtles depend on the buoyant macroalgae to provide them with aid gaining neutral buoyancy during their initial stages of life.





06/27/2008 18:47

Even decaying Sargassum on Boca Chica is suitable bedding for baby calves.

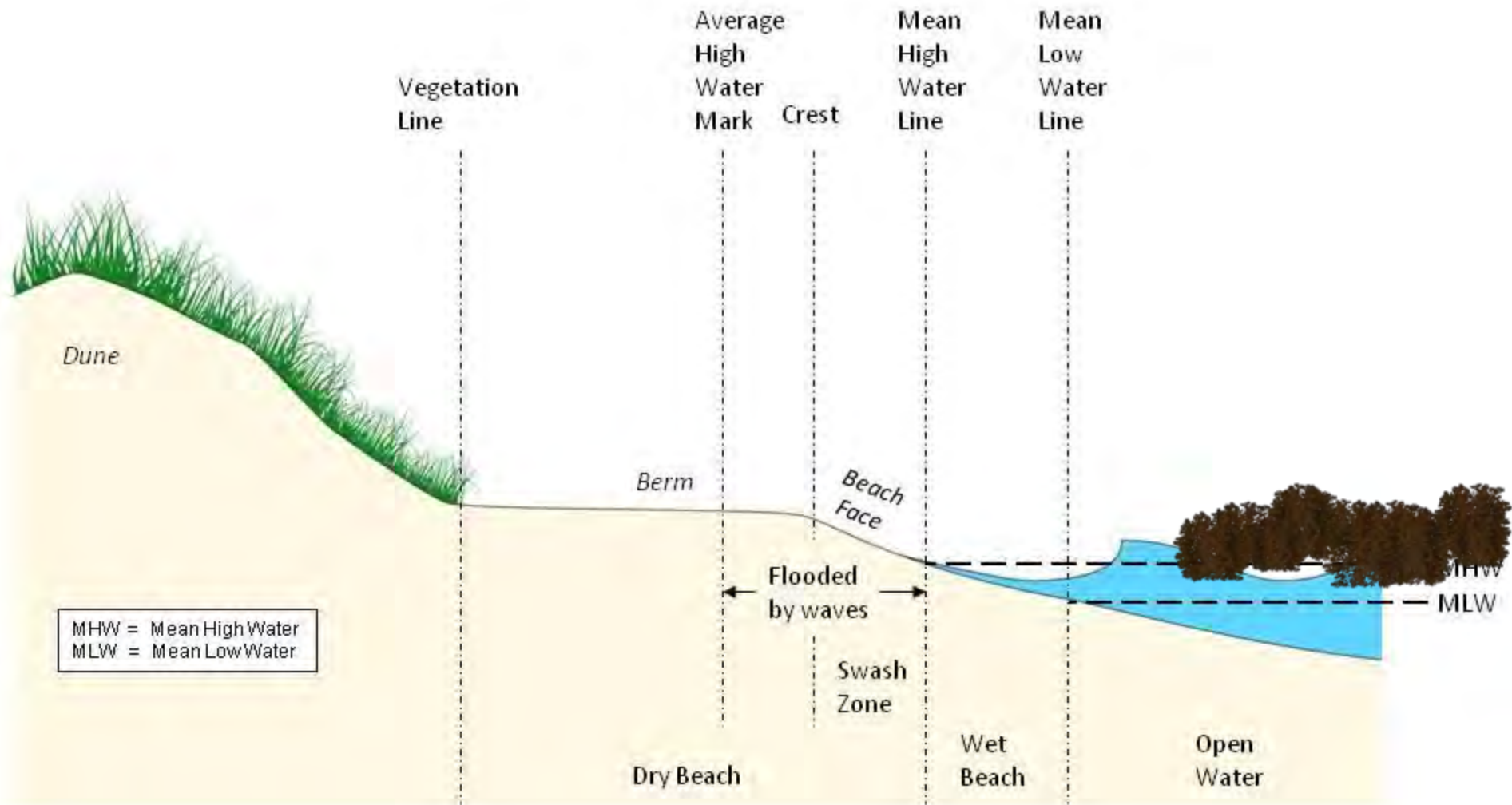




The Three Stages of Sargassum Landings, (Right to Left) Near Shore mats drift towards the beach, the mats form a wrack that crests at the surge point of the high tide, Sargassum decomposes and becomes intermixed with beach sediment.



# Mother Nature's Plan



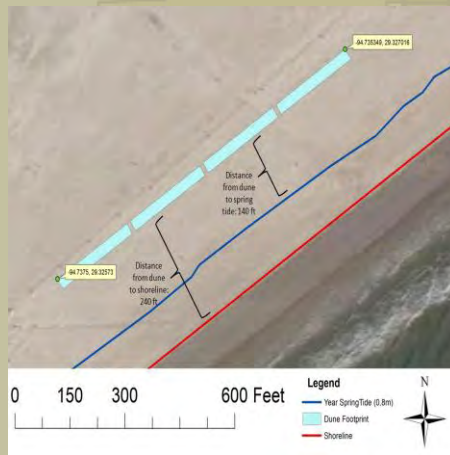
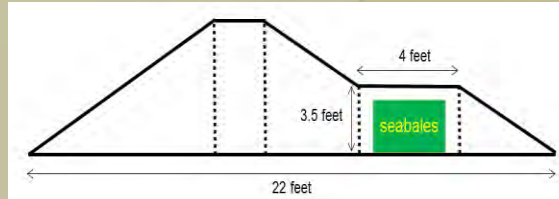




A section of a dune has been removed, exposing the layers of decomposed Sargassum.



# ATTENTION: Scientific Study Underway



Top: Dune cross-section

Left: Dune footprint

This dune is part of a new pilot study conducted by researchers from Texas A&M University – Galveston Campus. Portions of this dune are reinforced with a seaweed core made of compacted Sargassum wrack material (“seabales”). We anticipate the compacted seaweed core to improve erosion resistance and spur vegetation growth on the dune. The goal is to retain Sargassum as a natural part of the beach-dune system while at the same time providing unrestricted access to the beach and water. This project is funded by a Texas General Land Office CEPRA grant with generous support from the Galveston Park Board of Trustees.

**PLEASE STAY OFF THE DUNE!**

For any questions or additional information, please contact:  
Dr. Jens Figlus at (409)741-4317 or [figlusj@tamug.edu](mailto:figlusj@tamug.edu)



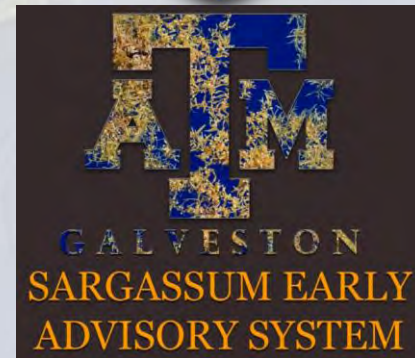
Study  
Funded by:



**CAUTION: BEWARE OF SNAKES**



So a guy walks into a bar with a bucket of seaweed...



If there's one sentiment that's constantly repeated among craft beer drinkers it is, "This beer is good but it needs more seaweed!"





# Sargassum as...

## OTHER USES

Fish Food

Biofuel

Livestock Feed

Fertilizer/Soil Conditioner

A means of removing toxins/heavy metals  
from wastewater



**SEAWEED**  
THE 8TH WONDER OF THE WORLD

*Please* EXCUSE THE SEAWEED  
WHILE MOTHER NATURE  
REBUILDS OUR BEACHES

**FUN FACTS** SEAWEED IS:  
A floating ecosystem  
Important to create dunes and conserve sand  
An invaluable food source for coastal birds  
A natural occurrence along all coastal destinations

Join the  
**SEAWEED**  
SCAVENGER  
HUNT

GRAB A BUCKET AND  
SHAKE OUT A HANDFUL OF  
FLOATING SEAWEED TO FIND:

Manatee  
Crab  
Sea Turtle  
Seaweed Bed





07/01/2014





07/05/2012



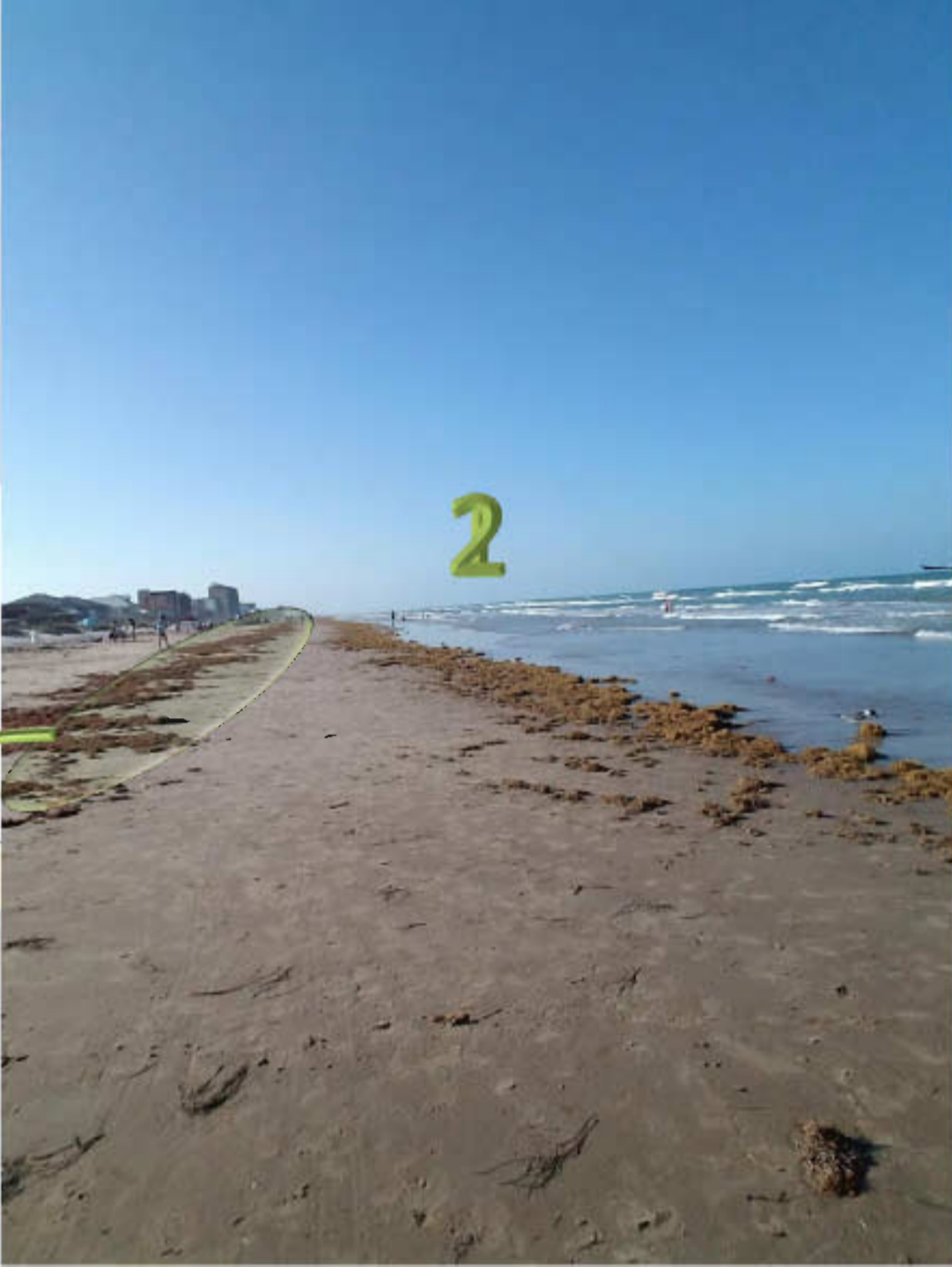


*South Padre*  
**ISLAND**

WATER  
TIDE  
GAGE  
DHAUS

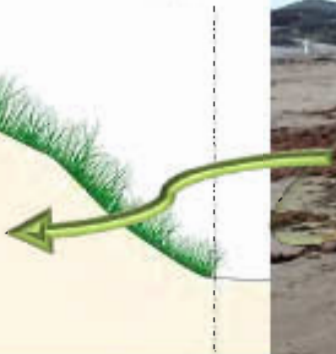
NO SWIM





Vegetation  
Line

Dune















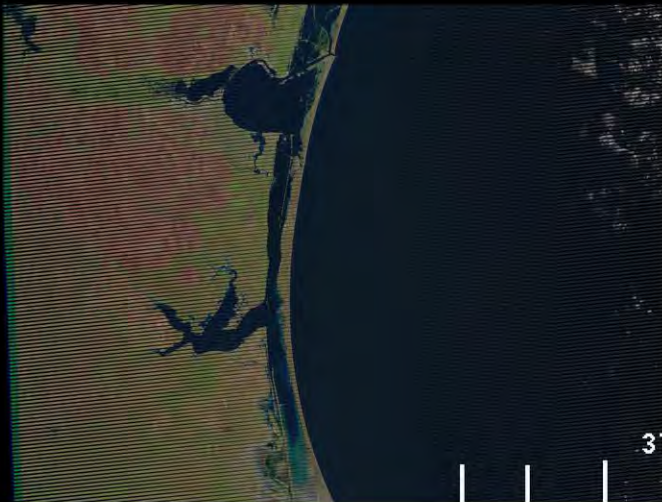
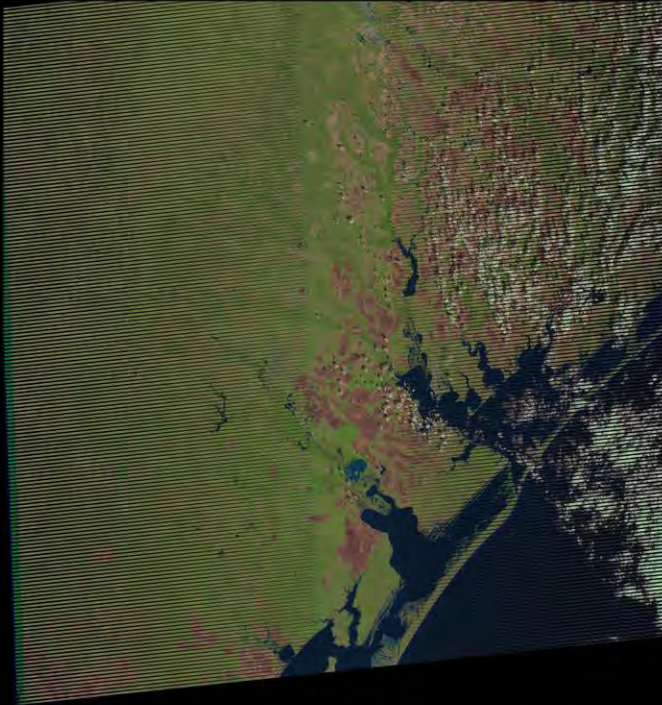


# Thank you for your attention

Shoreline Director  
Brandon N. Hill  
BHill@myspi.org  
956-761-8166  
www.myspi.org







Wind: 20 Mph SW Direction

Currents: 0.69 Knots NE Direction

Set and Drift: 0.104 Knots NNE Direction

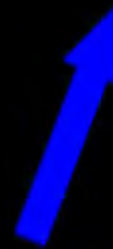
Forecast:

Sargassum spotted out at sea.

The mats are currently headed NNE at 0.12 MPH.

The Sargassum should travel about 3 Miles in a day.

Please take this into consideration when planning for these landings.



Net Drift direction over  
a three day period



[www.SEAS-forecast.com](http://www.SEAS-forecast.com)



**SARGASSUM EARLY  
ADVISORY SYSTEM**



**CITY OF SOUTH PADRE ISLAND  
SHORELINE TASKFORCE  
MEETING  
AGENDA REQUEST FORM**

**MEETING DATE:** 12/04/2017

**NAME & TITLE:** Brandon Hill, Shoreline Director

**DEPARTMENT:** Shoreline department

**ITEM**

Discussion and possible action regarding a Resolution from the City South Padre Island in support of The University of Texas Rio Grande Valley Lower Laguna Madre Estuary Program.

**ITEM BACKGROUND**

The Lower Laguna Madre Estuary Program was created with the ultimate goal to establish a National Estuary Program for the Lower Laguna Madre. The objectives of the Lower Laguna Madre Estuary Program are to identify existing pertinent information, locate data gaps, seek other stakeholders (landowners, agricultural organizations, non-profit groups, NGOs, and other local governments), and expand the collaborative team of professionals to enhance the project's capability to successfully achieve the ultimate goal of establishing a NEP for the LLM.

**BUDGET/FINANCIAL SUMMARY**

None

**COMPREHENSIVE PLAN GOAL**

**LEGAL REVIEW**

Sent to Legal: YES: \_\_\_\_\_ NO:     X      
Approved by Legal: YES: \_\_\_\_\_ NO:     X    

Comments:

**RECOMMENDATIONS/COMMENTS**

Staff recommends that the city support this initiative.



# Lower Laguna Madre Estuary Program

Kim D. Jones, Director, ISEE

David Garza, Cameron County

Javier Guerrero, Engineering Research  
Associate III, TAMUK

Jungseok Ho, UTRGV

Hudson DeYoe, UTRGV



**May 18, 2016**



# Estuaries

An estuary is a partially enclosed body of water along the coast where freshwater from rivers and streams meets and mixes with salt water from the ocean. Estuaries and the lands surrounding them are places of transition from land to sea and freshwater to salt water.

Estuaries are among the most productive ecosystems in the world. Many species of animals rely on the sheltered waters of estuaries for food, secure places to breed and migration stopovers. Coastal communities also rely on estuaries for food, recreation, jobs and shoreline protection.







# Lower Laguna Madre Estuary Program Strategic Plan Development

## Funding Partners:

- Texas General Land Office
  - Coastal Management Program
- Cameron County
- Texas A&M University-Kingsville
- University of Texas- Rio Grande Valley
- Lower Rio Grande Valley TPDES Stormwater Task Force
- Cameron County Coastal Cities Task Force



# AN ENGINEERING AND SCIENCE-BASED STRATEGY

BUILDING A PARTNERSHIP LADDER  
FOR THE ESTUARY PLAN

**NATIONAL PROGRAM**  
**LOCAL PROGRAM**  
**STRATEGIC PLAN**  
**SCIENCE PARTNERS**  
**STATE AND LOCAL FUNDING**

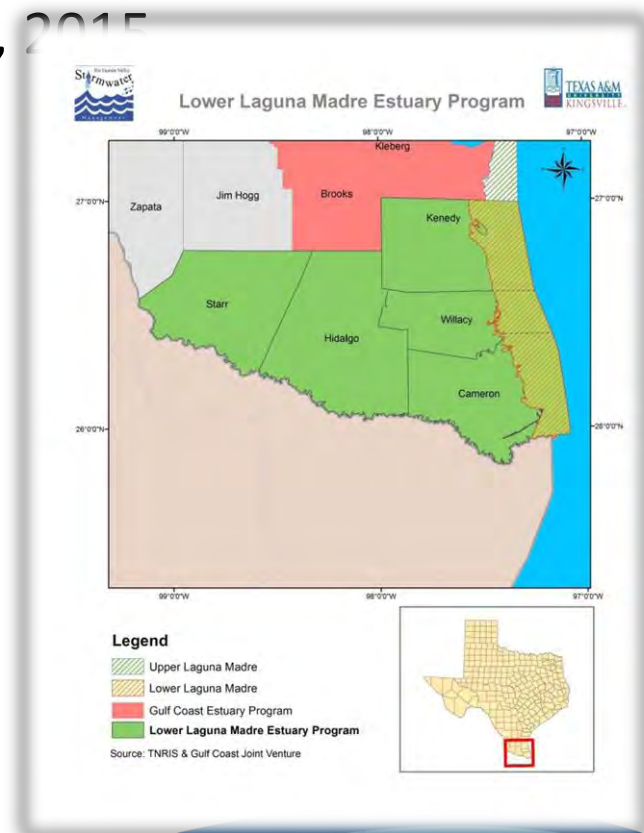


THE FOUNDATION: LOCAL INITIATIVE



# Examples of Recent Progress

- Local legislation: Cameron County, April 10, 2015
- Federal/State Grant: GLO/NOAA
- Partners and support:  
Over 40 local governments  
and stakeholder support,  
executing Interlocal agreements
- Strategic Planning –  
a Plan to make a Plan





# Nexus with the Existing Environmental Initiatives





## Some 2016-17 objectives:

- Obtain additional \$100,000 in local funding
- Execute 40 interlocal agreements with local governments
- Implement team to develop Strategic Plan





# Lower Laguna Madre Estuary Program Features

- **Work with U.S. EPA to establish a Comprehensive Conservation and Management Plan**
- **Non-regulatory program**
- **The goals, objectives and actions comprising the CCMP would primarily focus on restoring water quality, while also addressing restoration and conservation of habitat, replenish and protect living coastal and marine resources, enhancing community resilience and revitalizing the coastal economy**



# SHORT TERM GOALS

- **Develop website and communications**
- **Interactive map integration**
- **Workshop series and symposia**
- **Engage Advisory Group and Regulatory Partners**
- **Identify and engage stakeholders**



# Advisory Group and Management Conference Partners

- U.S.EPA
- CBBEP
- TSSWCB
- TWDB
- Landowners
- U.S. Fish and Wildlife
- NOAA
- Texas Parks and Wildlife
- ANEP



# LONG TERM GOALS

- **Deliver Strategic Plan for Comprehensive Conservation and Management Plan for LMEP**
- **Obtain funding for sustainability**
  - **Local, State and Federal**
  - **RESTORE**
- **National Estuary Program consideration**
- **Sustainability of LMEP**
- **Staff and Structure and Management Conferences**



# TIMELINE HIGHLIGHTS

- **October 2016 – Grant Funding Start Date**
- **Thrust 1 Report Due – June 2017**
- **Thrust 2 Report Due – November 2017**
- **Thrust 3 Report Due – July 2018**
- **Final Report Due – September 2018**



# Thank you!



**May 18, 2016**

## Lower Laguna Madre Estuary Program



**CITY OF SOUTH PADRE ISLAND  
SHORELINE TASKFORCE  
MEETING  
AGENDA REQUEST FORM**

**MEETING DATE:** December 6, 2017

**NAME & TITLE:** Brandon Hill, Shoreline Management Director  
J. Victor Baldovinos, Environmental Health Director

**DEPARTMENT:** Shoreline and Environmental Health Services

**ITEM**

Discussion and action to approve first reading of ordinance to amend Chapter 13-24 (E) in reference to removal of equipment from the beach and to add Chapter 13-24 (P): Property owners and umbrella vendors are required to identify on the application form a removal location that is in compliance with the ordinance that identifies the placement of stored equipment out of the Critical Dune Area once necessary conditions (as defined by letter E in this section) have been determined by the City Manager or their proxy.

**ITEM BACKGROUND**

A major responsibility of the City of South Padre Island is to provide the highest level of preparedness for the public’s health and safety during severe weather events.

It was identified that the current ordinance language did not clearly define the location to which the equipment shall be moved to. Therefore, a public workshop was held to work jointly with the vendors to arrive at mutually agreeable language, which is represented by this ordinance change.

The proposed ordinance has been edited to remove any potential ambiguity.

Current Chapter 13 Section 13-24(E) ordinance reads:

E) Damage to dunes is prohibited. All equipment must be removed whenever a hurricane warning is issued for South Padre Island or in the event of extreme high tides. All equipment must be secured to prevent movement by high winds or water.

Modified Chapter 13 Section 13-24(E) ordinance as follows:

E) Damage to the dunes and dune vegetation is prohibited. In the case of a hurricane warning, coastal flood warning, tropical storm warning as issued by the National Weather Service for South Padre Island, as determined by the City Manager or their proxy, all equipment must be removed from the beach and placed west of the “critical dune area” as defined by Chapter 22. Equipment shall be stored away from such area that is deemed a



threat to the dunes or public safety, as determined by the City Manager or proxy. During times of ordinary weather conditions, all stored equipment must be secured to prevent movement by wind and/or water. Public health and safety equipment may be exempt from this ordinance.

P) Property owners and umbrella vendors are required to identify on the application form a removal location that is in compliance with the ordinance that identifies the placement of stored equipment out of the Critical Dune Area once necessary conditions (as defined by letter E in this section) have been determined by the City Manager or their proxy.

**BUDGET/FINANCIAL SUMMARY**

No budgetary impact is expected.

**COMPREHENSIVE PLAN GOAL**

Chapter 5, Goal #1: The City should emphasize the importance of emergency preparedness, response, recovery and mitigation.

7.A Develop a diversified economy in order to increase spending on the Island throughout the year.

7.10 Continue the Island's unique character and assets aggressively

7.18 Support ordinances, events and policies that enhance the Island's economic development potential

**LEGAL REVIEW**

Sent to Legal: YES: \_\_\_\_\_ NO:   X    
Approved by Legal: YES: \_\_\_\_\_ NO:   X  

Comments:

**RECOMMENDATIONS/COMMENTS**

Staff recommends approval.



**ORDINANCE 2017-17**

**AN ORDINANCE AMENDING CHAPTER 13 OF THE CODE OF ORDINANCES OF THE CITY OF SOUTH PADRE ISLAND, TEXAS, BY AMENDING SECTION 13-24(E) THAT DAMAGE TO DUNES AND DUNE VEGETATION IS PROHIBITED; ESTABLISH WHEN IT IS NECESSARY TO REMOVE EQUIPMENT AND WHERE EQUIPMENT MUST BE PLACED WHEN REMOVED FROM THE BEACH; AND DURING TIMES OF ORDINARY WEATHER ALL STORED EQUIPMENT MUST BE SECURED TO PREVENT MOVEMENT BY WIND AND/OR WATER; AND ADDING SECTION 13-24(P) THAT REQUIRES PROPERTY OWNERS AND UMBRELLA VENDORS TO IDENTIFY ON THE APPLICATION FORM A REMOVAL LOCATION THAT COMPLIES WITH THE ORDINANCE THAT IDENTIFIES THE PLACEMENT OF STORED EQUIPMENT OUT OF THE CRITICAL DUNE AREA ONCE NECESSARY CONDITIONS HAVE BEEN DETERMINED BY THE CITY MANAGER OR THEIR PROXY**

**BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF SOUTH PADRE ISLAND, TEXAS:**

Section 1. Chapter 13 of the Code of Ordinances of the City of South Padre Island is hereby amended to read as follows:

**Chapter 13 Section 13-24 Regulation of Shade Devices and Chairs on the Public Beach**

No person or entity may place shade devices, chairs or other physical devices for rent or use by third parties on any portion of the beach within the City of South Padre Island located seaward of the Historical Building Line without obtaining a permit from the City as provided for by this Section 13-24, and comply with all provisions of this section, to-wit:

E) Damage to the dunes and dune vegetation is prohibited. In the case of a hurricane warning, coastal flood warning, tropical storm warning as issued by the National Weather Service for South Padre Island, as determined by the City Manager or their proxy, all equipment must be removed from the beach and placed west of the “critical dune area” as defined by Chapter 22. Equipment shall be stored away from such area that is deemed a threat to the dunes or public safety, as determined by the City Manager or proxy. During times of ordinary weather conditions, all stored equipment must be secured to prevent movement by wind and/or water. Public health and safety equipment may be exempt from this ordinance.

P) Property owners and umbrella vendors are required to identify on the application form a removal location that is in compliance with the ordinance that identifies the placement of stored equipment out of the Critical Dune Area



once necessary conditions (as defined by letter E in this section) have been determined by the City Manager or their proxy.

Section 2. Any violation of this Ordinance may be punished by a fine not to exceed Five Hundred Dollars (\$500.00) for each offense or for each day such offense shall continue and the penalty provisions of Section 21-1 of the Code of Ordinances is hereby adopted and incorporated for all purposes.

Section 3. If for any reason, any section, paragraph, subdivision, clause, phrase, word, or provision of this Ordinance shall be held invalid or unconstitutional by final judgment of a court of competent jurisdiction, it shall not affect any other section, paragraph, subdivision, clause, phrase, word, or provision of this Ordinance, for it is the definite intent of this City Council that every section, paragraph, subdivision, clause, phrase, word, or provision hereof be given full force and effect for its purpose.

Section 4. This Ordinance shall become effective upon publication of its caption.

PASSED, APPROVED AND ADOPTED on First Reading, this \_\_\_\_ day of \_\_\_\_\_ 2017.

PASSED, APPROVED AND ADOPTED on Second Reading, this \_\_\_\_ day of \_\_\_\_\_ 2017.

**ATTEST:**

**CITY OF SOUTH PADRE**

**ISLAND, TEXAS**

\_\_\_\_\_  
SUSAN HILL, CITY SECRETARY

\_\_\_\_\_  
DENNIS STAHL, MAYOR







