

**NOTICE OF MEETING
CITY OF SOUTH PADRE ISLAND
SHORELINE TASK FORCE**

NOTE: *One or more members of the City of South Padre Island City Council may attend this meeting; if so, this statement satisfies the requirements of the OPEN MEETINGS ACT.*


NOTICE IS HEREBY GIVEN THAT THE SHORELINE TASK FORCE OF THE CITY OF SOUTH PADRE ISLAND, TEXAS, WILL HOLD A REGULAR MEETING ON:

**MONDAY, FEBRUARY 13, 2017
3:00 P.M. AT THE MUNICIPAL BUILDING,
CITY COUNCIL CHAMBERS, 2ND FLOOR
4601 PADRE BOULEVARD, SOUTH PADRE ISLAND, TEXAS**

1. Call to Order.
2. Pledge of Allegiance.
3. Public Comments and Announcements: *This is an opportunity for citizens to speak to Task Force relating to agenda or non-agenda items. Speakers are required to address the Task Force at the podium and give their name before addressing their concerns. [Note: State law will not permit the Shoreline Task Force to discuss debate or consider items that are not on the agenda. Citizen Comments may be referred to City Staff or may be placed on the agenda of a future Shoreline Task Force meeting]*
4. Approval of the January 23, 2017 regular meeting minutes.
5. Discussion on Shoreline Department Updates and enforcement. (Hill)
6. Discussion and possible action on CMP funded Beach Access Walkovers. (Hill)
7. Discussion and possible action on Pearl Mitigation Plan with GLO comments. (Hill)
8. Discussion and possible action on 5308 Gulf Blvd beach and dune permit application. (Hill)
9. Discussion and possible action on 2100 Gulf Blvd beach and dune application. (Hill)
10. Discussion and possible action on 340 Padre Blvd beach and dune application. (Hill)
11. Discussion and possible action on The Shores beach and dune application. (Hill)
12. Discussion and possible action on UTRGV Student research concepts. (Hill)
13. Discussion and possible action on New Holland Powerstar T5.120 CAB/MFD Purchase. (Hill)
14. Discussion and possible action on selling 2007 Case 570 4WD Tractor for a fair market value of \$15,000.00

15. Discussion and possible action on forming subcommittee regarding addendums to Chapter 22. (Hill)
16. Discussion and possible action on SLTF meetings every other week, opposite City Council meetings. (Hill)
17. Adjournment.

DATED THIS THE 9TH DAY OF FEBRUARY 2017


Susan Hill, City Secretary

I, THE UNDERSIGNED AUTHORITY, DO HEREBY CERTIFY THAT THE ABOVE NOTICE OF MEETING OF THE SHORELINE TASK FORCE OF THE CITY OF SOUTH PADRE ISLAND, TEXAS IS A TRUE AND CORRECT COPY OF SAID NOTICE AND THAT I POSTED A TRUE AND CORRECT COPY OF SAID NOTICE ON THE BULLETIN BOARD AT CITY HALL/MUNICIPAL BUILDING ON **FEBRUARY 9, 2017** AT/OR BEFORE **5:00 P.M.** AND REMAINED SO POSTED CONTINUOUSLY FOR AT LEAST 72 HOURS PRECEDING THE SCHEDULED TIME OF AID MEETING.




Susan Hill, City Secretary

THIS FACILITY IS WHEELCHAIR ACCESSIBLE, AND ACCESSIBLE PARKING SPACES ARE AVAILABLE. REQUESTS FOR ACCOMMODATIONS OR INTERPRETIVE SERVICES MUST BE MADE 48 HOURS PRIOR TO THIS MEETING. PLEASE CONTACT BUILDING OFFICIAL, JAY MITCHIM; ADA DESIGNATED RESPONSIBLE PARTY AT (956) 761-1025.

<p style="text-align: center;">MINUTES CITY OF SOUTH PADRE ISLAND SHORELINE TASK FORCE</p>

MONDAY, JANUARY 23, 2017

I. Call to Order.

The Shoreline Task Force of the City of South Padre Island, Texas held a regular meeting on Monday, January 23, 2017, at the Municipal Complex Building, 2nd Floor, 4601 Padre Boulevard, South Padre Island Texas. Chairman Troy Giles called the meeting to order at 3:00 p.m. A quorum was present: Task Force Member Virginia Guillot, Norma Trevino, Stormy Wall, Neil Rasmussen, Thor Lassen, and Kerry Schwartz.

City staff members present were: City Manager Susan Guthrie, Assistant City Manager Darla Jones, Shoreline Management Director Brandon Hill, and Administrative Assistant Marta Martinez. Also present was Council Member Dennis Stahl and Paul Munarriz.

II. Pledge of Allegiance.

Chairman Giles led the Pledge of Allegiance.

III. Election of Chairman and Vice-Chairman. (Hill)

Task Force Member Thor Lassen nominated Mr. Giles for Chairman, seconded by Ms. Guillot. Motion passed unanimously.

Task Force Member Virginia Guillot nominated Mr. Rasmussen for Vice-Chairman, seconded by Mr. Lassen. Motion passed unanimously.

IV. Public Comments and Announcements.

Public comments were given at this time.

V. Approval of the December 12, 2016 regular meeting minutes.

Task Force Member Neil Rasmussen made a motion, seconded by Ms. Guillot to approve minutes as submitted. Motion passed unanimously.

VI. Discussion on 6004 Gulf Blvd sidewalk completion. (Hill)

Update given by Shoreline Management Director Brandon Hill regarding the sidewalk completion on 6004 Gulf Blvd. No action was taken.

VII. Discussion and Possible Action recommend to City Council the award of the Causeway Boardwalk Repair bid. (Hill)

Task Force Member Neil Rasmussen made a motion, second by Ms. Guillot to approve the Causeway Boardwalk Repair bid. Motion passed unanimously.

VIII. Discussion and Possible Action to send Pearl Walkover Mitigation Plan to the GLO for review and recommendation. (Hill)

Task Force Member Virginia Guillot made a motion, second by Mr. Rasmussen to have staff proceed with the Pearl Walkover Mitigation Plan. Motion passed unanimously.

IX. Discussion on CMP funded Walkovers: Ocean, Moonlight, and Seaside. (Hill)

Update given by Shoreline Management Director Brandon Hill regarding the CMP Funded Walkovers. No action was taken.

X. Discussion and possible action regarding the mitigation plan as proposed by Las Costas for the realignment of the Gulf Circle Beach Access Path. (Hill)

Shoreline Management Director Brandon Hill gave a presentation regarding the mitigation plan Task Force Members expressed their comments/concerns regarding this agenda item. After much dissuasion Task Force Member Kerry Schwartz made a motion to move forward with staffs comments, second by Mr. Lassen. Motion passed unanimously.

XI. Discussion and possible action on our partnership with the University of Texas Rio Grande Valley via the Student Internship program. (Hill)

Task Force Member Norma Trevino made a motion, second by Ms. Guillot to continue partnership with the UTRGV Student Internship program. Motion passed unanimously.

XII. Adjournment.

There being no further business, Mr. Giles adjourned the meeting at 3:10 p.m.

Marta Martinez, Secretary

Troy Giles, Chairman

SHORELINE TASK FORCE AGENDA REQUEST FORM

MEETING DATE: February 13, 2017

ITEM: 5

TO: Shoreline Task Force

FROM: Brandon Hill, Shoreline Management Director

ITEM DESCRIPTION:

Discussion on Shoreline Department Updates and enforcement.

DISCUSSION:

See attachment

4012 Gulf Blvd.

9:00 am 2/1/17. Joe Vela saw and reported to Brandon Hill illegal activity on the dunes in front of 4012 Gulf Blvd. There was extensive damage to the plants in front of the property, appearing to be the result of round-up or another broad leaf herbicide. There was evidence of construction on the property, there was debris under the porch and the dunes in front of the property were being overlaid with pavers to form a patio. At 9:30 am 2/1/17 after conferring with Janie Mota Brandon Hill went out to 4012 Gulf Blvd and posted a stop work order on the property. On 2/2/17 a representative from Furcron Reality identified himself as the manager of the project and came into city hall. He was cited and had the issues explained to him. He was given copies of Chapter 22 and the GLO's beach dune manual. At this time a mitigation strategy has not been established.





STOP WORK ORDER

ADDRESS

THE WORK AT THIS ADDRESS HAS BEEN INSPECTED
AND REJECTED AS IT DOES NOT COMPLY WITH CITY
ORDINANCES AND OR THE BUILDING CODES
ADOPTED BY THE CITY OF SOUTH PADRE ISLAND.

STOP ALL CONSTRUCTION IMMEDIATELY

NOTES: *unpermitted construction in Dune protected area
Damage to Dune Vegetation, increase of impervious surface
Construction without beach/dune permit*

STOP Immediately!

ISSUING OFFICIAL: *Brandon Hill*
CITY OF SOUTH PADRE ISLAND
BUILDING DEPARTMENT (956) 761-8104



4702 and 4704 Gulf Blvd Mrs. Trish Smith.

On 1/31/2017 Neighbors on either side of Mrs. Smith's property noticed large amounts of concrete and paint being placed in the dunes past the HBL and property retaining wall. Multiple neighbors called the city, Janie Mota, Joe Vela and Brandon Hill were all separately notified. Gaspar Galvan was sent out to take photographs of the damage. After seeing the photos after conferring with Jay Mitchim, Brandon went and placed stop work orders on both sides of the duplex and specified the violations. He also took photographs of the damage. On the morning of 2/1/2017 it was noted by Brandon Hill that work had not stopped on the property and he stopped to speak with whoever was in charge on the site. He was directed to Patricia Smith the property owner who expressed her frustration. Brandon explained that the stop work order meant all work must stop until they had come into compliance and that the property owner takes responsibility for the subcontractors on her property when she signs a permit with the city. Mrs. Smith indicated that they would not be stopping because she has renters coming soon and that she has the guys cleaning up the dirt. Brandon Hill left after explaining that she must comply with the stop work order and Mrs. Smith said she would call her contractor. The Contractor Chris Hamby called the city around 10:30 am and told Brandon that they would be complying but this has yet to be confirmed at this time. At 11:00 am Chris Hamby called Brandon's cell phone saying that the debris had been removed from the dunes. Brandon Hill, David Travis and Edgar Cruz visited the property the morning of 1/31 to speak to the property owner about the multiple violations and explained the lack of compliance with building and shoreline codes with the potential for fines up to \$1,000 a day in noncompliance continued. Upon arrival Brandon, David, and Edgar spoke with the site manager and explained the situation. IT was agreed that they would stop work immediately and Chris Hamby the General Contractor would come to the office around 3 to speak about the necessary mitigation. Around 3 Mr. Hamby arrived and spoke with Brandon Hill and Edgar. He was cited and given chapter 22 and the GLO Beach dune manual for future reference. On 5:00 pm 2/2/17 the stop work orders were removed after Brandon Hill confirmed that the property had been brought down to original grade. Mr. Hamby and Mr. Hill will be meeting in the future to begin the mitigation process on the property.







STOP WORK ORDER

ADDRESS 4704 Gulf Blvd.

THE WORK AT THIS ADDRESS HAS BEEN INSPECTED
AND REJECTED AS IT DOES NOT COMPLY WITH CITY
ORDINANCES AND OR THE BUILDING CODES
ADOPTED BY THE CITY OF SOUTH PADRE ISLAND.

STOP ALL CONSTRUCTION IMMEDIATELY

NOTES: Illegal dumping, Dune & vegetation
disturbance, Violations of Beach & Dune Permit
Conditions

ISSUING OFFICIAL: Brandon Hill
CITY OF SOUTH PADRE ISLAND
BUILDING DEPARTMENT (956) 761-8104







**STOP
WORK ORDER**

ALL WORK MUST BE STOPPED IMMEDIATELY UPON RECEIVING THIS SIGN. NO FURTHER WORK IS TO BE DONE UNTIL THE SIGN IS REMOVED. IF YOU ARE THE PERSON RESPONSIBLE FOR THE WORK, STOP THE WORK IMMEDIATELY. IF YOU ARE NOT THE PERSON RESPONSIBLE FOR THE WORK, NOTIFY THE PERSON RESPONSIBLE FOR THE WORK IMMEDIATELY. IF YOU ARE NOT SURE WHO IS RESPONSIBLE FOR THE WORK, NOTIFY THE PERSON RESPONSIBLE FOR THE WORK IMMEDIATELY. IF YOU ARE NOT SURE WHO IS RESPONSIBLE FOR THE WORK, NOTIFY THE PERSON RESPONSIBLE FOR THE WORK IMMEDIATELY.



STOP WORK ORDER

ADDRESS 4702 Gulf Blvd.

THE WORK AT THIS ADDRESS HAS BEEN INSPECTED
AND REJECTED AS IT DOES NOT COMPLY WITH CITY
ORDINANCES AND OR THE BUILDING CODES
ADOPTED BY THE CITY OF SOUTH PADRE ISLAND.

STOP ALL CONSTRUCTION IMMEDIATELY

NOTES: illegal Dumping, Dune & vegetation
disturbance, Violations of Beach & Dune
permit Conditions

ISSUING OFFICIAL: _____
CITY OF SOUTH PADRE ISLAND
BUILDING DEPARTMENT (956) 761-8104







SHORELINE TASK FORCE AGENDA REQUEST FORM

MEETING DATE: February 13, 2017

ITEM: 6

TO: Shoreline Task Force

FROM: Brandon Hill, Shoreline Management Director

ITEM DESCRIPTION:

Discussion and possible action on CMP funded Beach Access Walkover.

DISCUSSION:

See attachment



TEXAS GENERAL LAND OFFICE
GEORGE P. BUSH, COMMISSIONER

January 31, 2017

Via Electronic Mail

Brandon Hill
Shoreline Management Department
City of South Padre Island
P.O Box 3410
South Padre Island, Texas 78597-3410

Re: Moonlight Circle Beach Access Improvements- 16-071-000-9115

Dear Mr. Hill:

The General Land Office has reviewed materials submitted to our office as part of a CMP funded project: Moonlight Circle Beach Access Improvements. The City of South Padre Island (City) proposes to construct a 6-ft wide by 250-ft long ADA accessible dune walkover in an existing beach access pathway. An existing mobile access mat and wooden deck will also be removed. It is our understanding that the project will be constructed to the exact specifications as proposed. This letter serves as the "GLO Letter of Permission" required under CMP Contract 16-071-000-9115.

Based on the materials forwarded to our office for review, we have the following comments:

- The City must first avoid and then mitigate for any temporary adverse effects to dunes or dune vegetation.¹ The dune walkover should be built in the footprint of the existing mobile access mat to best avoid adverse effects to dunes and dune vegetation. Should significant adverse effects occur during construction, the City must obtain a beachfront construction certificate and dune protection permit to mitigate or compensate for the impacts.
- The seaward terminus of the walkway should be restricted to the most landward point of the public beach² and should ensure that the walkover will not interfere with or otherwise restrict public use of the beach at normal high tides.³
- The City must ensure that the construction and maintenance of the proposed wash station will minimize impacts on natural hydrology and will not cause erosion of critical dune areas.⁴
- The deck of the walkway must be of sufficient elevation to allow for the growth of dune vegetation and the migration of dunes to the greatest extent practicable.⁵

¹ 31 Tex. Admin. Code § 15.4(f)(3).

² 31 Tex. Admin. Code § 15.7(g)(1).

³ 31 Tex. Admin. Code § 15.7(g)(2).

⁴ 31 Tex. Admin. Code § 15.6(g).

⁵ 31 Tex. Admin. Code § 15.7(g)(3).

- The proposed dune walkover should be constructed to allow rain and sand to pass through the decking. The GLO recommends placing the slats that form the deck of the walkover at least ½-inch apart.
- The walkway height should be at least one to one and a half times its width (three feet minimum) to allow sunlight to reach vegetation underneath.
- Concrete may not be used to stabilize the base of the pilings.⁶
- Construction activities must not impact the public's ability to access or use the beach.
- Construction of the proposed dune walkover should conform to the GLO's guidelines provided in the Dune Protection and Improvement Manual for the Texas Gulf Coast, and can be found on the GLO website at: <http://www.glo.texas.gov/coast/coastal-management/forms/files/dune-protection-manual-gpb.pdf>

If you have any questions, please contact me by phone at (512) 463-0413 or by email at natalie.bell@glo.texas.gov.

Sincerely,

A handwritten signature in black ink that reads "Natalie Bell". The signature is fluid and cursive, with the first name and last name clearly distinguishable.

Natalie Bell
Beach Access & Dune Protection Program
Coastal Resources Division
Texas General Land Office

⁶ 31 Tex. Admin. Code § 15.6(f)(3).

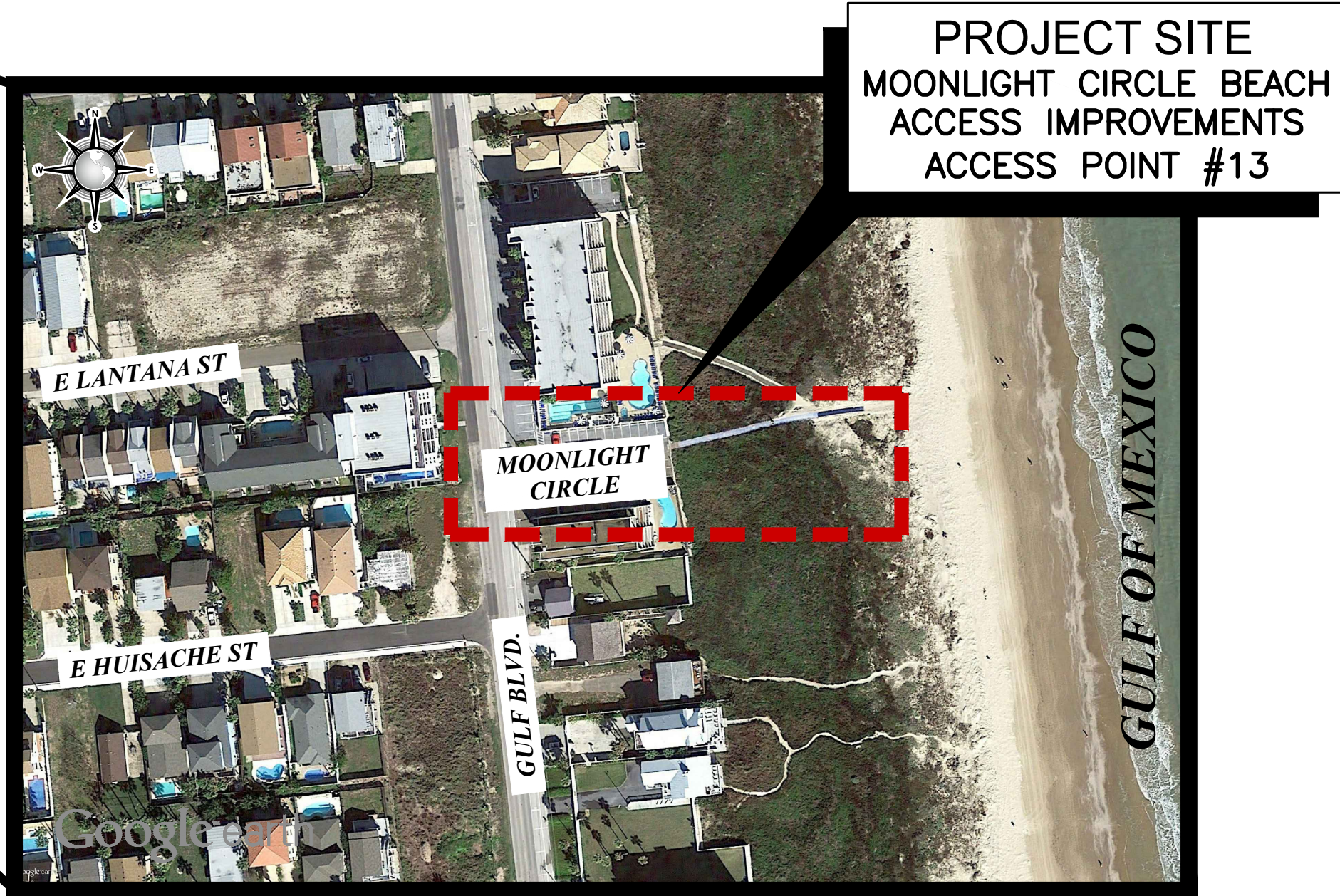
CITY OF SOUTH PADRE ISLAND
MOONLIGHT CIRCLE BEACH ACCESS IMPROVEMENTS
BEACH ACCESS POINT #13

SHEET INDEX

SHEET	DRAWING NO.	TITLE
1	T1	TITLE SHEET/LOCATION MAP
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11	C10	PAVEMENT DETAILS
12	C11	LAGUNA MADRE WATER DISTRICT UTILITY DETAILS
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16	S4	MISCELLANEOUS STRUCTURAL DETAILS



LOCATION MAP
NOT TO SCALE



VICINITY MAP
NOT TO SCALE

TEXAS DEPARTMENT OF LICENSING AND REGULATION	
ARCHITECTURAL BARRIERS PROJECT REGISTRATION NUMBER: EAB#: B6806872	
TEXAS ACCESSIBILITY SOLUTIONS	JUSTIN K. WALTON RAS#00001329 (940) 368-1989



THIS PROJECT IS FUNDED, IN PART, BY A TEXAS COASTAL MANAGEMENT PROGRAM GRANT APPROVED BY THE TEXAS LAND COMMISSIONER PURSUANT TO NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION AWARD NO. NA14NOS4190139.



CONSULTANT'S SHEET
PROJECT NO. 15450-03

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CITY OF SOUTH PADRE ISLAND
MOONLIGHT CIRCLE BEACH ACCESS IMPROVEMENTS
BEACH ACCESS #13
TITLE SHEET/LOCATION MAP

DRAWING NO.
T1

SHEET 1 of 16

FILE NAME: F:\2015\City of South Padre Island\Moonlight Circle Access Improvements\Drawings\Civil\02-C1-GENERAL NOTES.dwg LAYOUT NAME: Model PLOTTED: Thursday, January 05, 2017 - 4:38pm USER: Montolivo

1. GENERAL NOTES

1. CONTRACTOR SHALL NOT NOR HAVE EQUIPMENT OR MATERIALS ON WETLANDS
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TRAINING HIS EMPLOYEES AND SUBCONTRACTORS IN THE RECOGNITION AND AVOIDANCE OF UNSAFE CONDITIONS, AND IN THE REGULATIONS AND HAZARDS WHICH APPLY TO THE AREA IN WHICH THE WORK WILL TAKE PLACE.
3. ALL SAFETY EXPOSURES OR VIOLATIONS SHALL BE RECTIFIED IMMEDIATELY BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING PROTECTION OF PERSONS AND PROPERTY, AND FOR PROVIDING SAFE WORKING CONDITIONS THROUGHOUT THE WORK PROGRESS. ALL AREAS ADJACENT TO THE CONSTRUCTION AREA OR AFFECTED BY THE CONSTRUCTION MUST BE PROTECTED FROM DAMAGE, CLEANED, AND RESTORED TO THE ORIGINAL CONDITION AT NO ADDITIONAL EXPENSE TO THE OWNER.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL CLEARANCES AND PERMITS AS NECESSARY, PRIOR TO THE COMMENCEMENT OF THE WORK.
5. WORK AREAS SHALL BE KEPT, AT ALL TIMES, FREE OF DEBRIS AND NON – HAZARDOUS MATERIAL TO THE SATISFACTION OF THE CITY OF SOUTH PADRE ISLAND. THE CONTRACTOR SHALL COORDINATE STORAGE OF MATERIALS, PARKING OF VEHICLES, AND RESTRICTIONS OF WORK WITH THE CITY OF SOUTH PADRE ISLAND. AFTER PROJECT COMPLETION, THE SITE SHALL BE CLEANED UP TO ITS CONDITION PRIOR TO THE START OF THE PROJECT TO THE SATISFACTION OF THE CITY OF SOUTH PADRE ISLAND.
6. THE SEQUENCE OF CONSTRUCTION SHALL BE SCHEDULED AND COORDINATED WITH THE CITY OF SOUTH PADRE ISLAND
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF EXISTING CONDITIONS, AND SHALL PERFORM FIELD MEASUREMENTS PRIOR TO FABRICATION AND / OR PURCHASE OF ANY MATERIAL AND SHALL CONTACT THE ENGINEER SHOULD EXISTING CONDITIONS BE DIFFERENT FROM THE DESIGN DRAWINGS FOR THIS PROJECT. CONFLICTS ARISING DUE TO LACK OF COORDINATION SHALL BE THE RESPONSIBILITY AND AT THE EXPENSE OF THE CONTRACTOR.
8. THE CONTRACTOR SHALL NOT FABRICATE OR INSTALL MEMBERS AS SHOWN ON THE DRAWINGS IF THERE ARE DISCREPANCIES OR CONFLICTS BETWEEN THE EXISTING CONDITIONS AND THE INFORMATION SHOWN ON THE DRAWINGS, UNTIL SUCH DISCREPANCIES HAVE BEEN RESOLVED. PRIOR TO FABRICATION OR INSTALLATION, THE CONTRACTOR SHALL IMMEDIATELY CALL SUCH DISCREPANCIES OR CONFLICTS TO THE ATTENTION OF THE ENGINEER.
9. ANY REQUIRED CHANGES TO THE DRAWINGS RESULTING FROM THE CONSTRUCTION OF ALTERNATES AND / OR SUBSTITUTIONS ARE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE SUBMITTED TO THE OWNER AND THE ENGINEER FOR APPROVAL.
10. ALL CONTRACT WORK IN THESE DRAWINGS SHALL BE CARRIED OUT IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FOLLOWING NATIONAL CODES AND STANDARDS:

- A. INTERNATIONAL BUILDING CODES, 2012 (IBC2012)
- B. AMERICAN SOCIETY OF CIVIL ENGINEERS (ASCE) 7–05
- C. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA)
- D. NATIONAL FIRE PROTECTION ASSOCIATION (NFPA)
- E. INTERNATIONAL FIRE CODE (IFC)

11. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS REMOVED WHICH ARE NOT TO BE REINSTALLED OR SALVAGED ON THE PROJECT. DISPOSAL OF MATERIALS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
12. EXCAVATIONS SHALL NOT BE MADE DURING INCLEMENT WEATHER. WATER ACCUMULATION IN EXCAVATIONS EXCEEDING 1 INCH SHALL BE PUMPED OUT BEFORE ANY CONCRETE IS PLACED.
13. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF TRENCH SAFETY PROGRAM. THE CONTRACTOR SHALL APPOINT A TRENCH SAFETY FOREMAN WHO WILL BE ON SITE AT ALL TIMES WHILE TRENCHING OR EXCAVATION IS BEING PERFORMED. ALL EXCAVATIONS AND BACKFILL OPERATIONS SHALL BE IN ACCORDANCE WITH THE LATEST OSHA EXCAVATIONS SAFETY STANDARDS, OSHA 2226 AND 29 CFR PART 1926 SUBPART P. THE CONTRACTOR SHALL PROVIDE AN EXCAVATION PLAN PREPARED BY AN ENGINEER REGISTERED IN THE STATE OF TEXAS. THE EXCAVATION PLAN SHALL INDICATE THE PROCEDURES TO BE USED BY THE CONTRACTOR TO COMPLY WITH THE OSHA REQUIREMENTS. THE EXCAVATION PLAN SHALL IDENTIFY THE "COMPETENT PERSON" AS REQUIRED BY PARAGRAPH 1926.651 (K) (1) THAT WILL WORK WITH EACH CREW.
14. PERMITTING ASSOCIATED WITH THE PROJECT INCLUDES BUT ARE NOT LIMITED TO THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ) CONSTRUCTION SITE STORM WATER PERMIT (N01) FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES UNDER THE TIDES CONSTRUCTION GENERAL PERMIT (TXR 150000). THIS PERMIT IS REQUIRED FOR CONSTRUCTION ACTIVITIES INCLUDING CLEARING, GRADING, AND EXCAVATION ACTIVITIES THAT DISTURB GREATER THAN THE TOTAL LAND AREA WITHIN THE PROJECT LIMITS.
15. CONTRACTOR SHALL MARK ALL AS-BUILT CONDITIONS FOR UTILITIES AND STORM SEWER ON THE PLAN AND SUBMIT TO THE ENGINEER AT END OF PROJECT.
16. THE CONTRACTOR SHALL VISIT THE PROJECT SITE IN ORDER TO BECOME FAMILIAR WITH THE SITE CONDITIONS PRIOR TO COMMENCING ANY WORK. THE CONTRACTOR IS TO RESEARCH THE EXISTING CONDITIONS AND PROPOSED WORK TO BECOME FULLY AWARE OF THE INTENT OF THE WORK. THE CONTRACTOR WILL BE REQUIRED TO ACQUIRE ALL NECESSARY PERMITS AND PAY ASSOCIATED FEES.
17. THE DRAWING SHOWS AS MUCH INFORMATION AS CAN BE REASONABLY OBTAINED BY THE SURVEY CREWS AND FROM EXISTING RECORDS REGARDING THE LOCATION AND NATURE OF PIPELINES, STORM SEWER, WATERLINES, SANITARY SEWER, TELEPHONE CONDUITS, ETC. HOWEVER THE ACCURACY AND COMPLETENESS OF SUCH INFORMATION IS NOT GUARANTEED. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO LOCATE SUCH UNDERGROUND FEATURES SUFFICIENTLY IN ADVANCE OF OPERATIONS TO PRECLUDE DAMAGE TO SAME.
18. UNDERGROUND UTILITY LINES SHOWN ON THE PLANS CONSTITUTE AN ATTEMPT BY THE ENGINEER TO LOCATE THESE LINES FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR SHALL FIELD LOCATE ALL UNDERGROUND UTILITY LINES AND MAKE PROVISIONS FOR THEIR PROTECTION. IN THE EVENT OF DAMAGE TO UNDERGROUND UTILITIES, WHETHER SHOWN OR NOT ON THE DRAWINGS, THE CONTRACTOR SHALL MAKE THE NECESSARY REPAIRS TO PLACE THE FACILITIES BACK IN SERVICE. ALL SUCH REPAIRS SHALL CONFORM TO THE REQUIREMENTS OF THE COMPANY OR AGENCY OPERATING THE FACILITY. DAMAGE BY THE CONTRACTOR TO EXISTING UTILITIES SHALL BE REPORTED IMMEDIATELY TO THE OWNER OF THE UTILITY AND THE ENGINEER. THE COST OF DAMAGE AND / OR REPAIR TO SAID UTILITY SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. NO PAYMENT WILL BE MADE FOR DELAYS DUE TO UTILITY CONFLICTS.
19. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAKE CHANGES IN DRAINAGE, WATERLINE, AND SANITARY SEWER GRADES TO PERMIT THE LINES TO PASS ALL UNDERGROUND LINES, AS AUTHORIZED BY THE ENGINEER, AND IN ACCORDANCE WITH TCEQ'S "TEXAS ADMINISTRATIVE CODE" CHAPTER 217, 217.53 (d) SEPARATION DISTANCES BETWEEN PUBLIC WATER SUPPLY PIPES AND WASTEWATER COLLECTION SYSTEM PIPES OR MANHOLES.
20. DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR MAY ENCOUNTER EXISTING PIPES WHICH ARE NO LONGER IN SERVICE. THE CONTRACTOR MUST EXPLORE AND RESEARCH THE SITUATION AND PROVIDE EVIDENCE TO THE OWNERS REPRESENTATIVE THAT THE EXISTING PIPE IS ABANDONED. ONCE IT IS AGREED THAT THE LINE IS ABANDONED, THEN THE CONTRACTOR SHALL REMOVE AND DISPOSE OF SAID PIPE. THIS GENERALLY APPLIES TO ALL WHEN REMOVING DRAINAGE CULVERTS. ACTIVE DRAINAGE CULVERTS MUST BE REINSTALLED IF THEY ARE REMOVED FOR THE PURPOSE OF CONSTRUCTION. ANY ABANDONED LINES TO REMAIN IN PLACE SHALL BE FULLY GROUTED.
21. TRENCH EXCAVATION SHALL NOT PRECEDE BACKFILL BY MORE THAN 200 FEET. NO TRENCH SHALL BE LEFT OPEN AFTER NORMAL WORKING HOURS.
22. PRIOR TO THE COMMENCEMENT OF ANY WORK AT PROJECT SITE, CONTRACTOR SHALL COORDINATE WITH THE CITY OF SOUTH PADRE ISLAND SO THAT PROPOSED CONSTRUCTION METHODS WILL NOT INTERFERE OR IMPEDE THE CITY'S DAILY ACTIVITIES.
23. CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION OF EXISTING IMPROVEMENTS ON SITE, INCLUDING ABOVE GROUND AND UNDERGROUND. CONTRACTOR SHALL REMOVE BELOW – GRADE STRUCTURES TO THREE FEET BELOW NATURAL GRADE OR TO SUCH DEPTH AS MAY BE REQUIRED TO MAINTAIN SUBSURFACE STABILITY OF THE SOIL.
24. CONTRACTOR SHALL BACKFILL ALL VOIDS LEFT BY DEMOLITION AND COMPACT IN A MANNER SUITABLE TO FINAL IMPROVEMENTS.
25. ALL DEMOLISHED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE PROMPTLY REMOVED FROM THE SITE UNLESS NOTED OTHERWISE ON THE DRAWINGS.
26. ANY DAMAGE TO EXISTING DRAINAGE, PRIVATE UTILITY, OR OTHER STRUCTURES SHALL BE REPAIRED TO PRE–CONSTRUCTION CONDITION AT CONTRACTOR'S EXPENSE.
27. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THE SAFETY OF THE PEDESTRIANS AND ALL VEHICULAR TRAFFIC FROM CONSTRUCTION RELATED ACTIVITIES DURING THE COURSE OF THIS PROJECT.
28. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNMENTAL ONE–CALL REQUIREMENTS AND OTHER REGULATIONS WITH REGARD TO EXISTING UNDERGROUND UTILITIES, PIPELINES, AND OTHER FACILITIES A MINIMUM OF 48 HOURS IN ADVANCE OF CONSTRUCTION.
29. ALL OPEN EXCAVATIONS SHALL BE ENCLOSED WITH ORANGE SAFETY FENCE AT ALL TIMES.
30. EXCESS EXCAVATED MATERIAL, MUCK, VEGETATION, BROKEN CONCRETE, RC PIPE, AND OTHER UNWANTED MATERIAL BECOMES THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR. THE COST OF ALL HAULING IS CONSIDERED SUBSIDIARY; THERE WILL BE NO DIRECT PAYMENT TO THE CONTRACTOR.
31. THE QUANTITIES OF THE WORK AND MATERIALS SHOWN ON THE PLANS APPROXIMATELY REPRESENT THE WORK TO BE PERFORMED AND MATERIALS TO BE FURNISHED, AND ARE FOR THE PURPOSE OF AIDING THE CONTRACTOR WITH THE PROJECT. IT IS UNDERSTOOD THAT QUANTITIES MAY INCREASE OR DECREASE WITHOUT IN ANY WAY INVALIDATING THE LUMP SUM BID PRICE.
32. SEEDING FOR EROSION CONTROL SHALL BE APPLIED ON ALL NON – PAVED AREAS DISTURBED BY THE CONTRACTORS OPERATIONS, INCLUDING EMBANKMENTS, GRADED AREAS, LAYDOWN AREAS, ETC.,THE QUANTITY OF PURE LIVE SEED AND TYPE REQUIRED ARE INDICATED BELOW:

COMMON NAME	SCIENTIFIC NAME	LB/ACRE OF PURE LIVE SEED FOR MIXTURES		
		A	B	C
GREEN SPRANGLETOP	LEPTOCHLOA DUBIA	1.4	1.4	–
SIDEOTS GRAMA (PREMIER)	BOUTELOUA CURTIPENDULA	0.6	–	0.6
BERMUDA GRASS (HULLED)	CYNODON DACTYLON	7.0	7.4	–
BERMUDA GRASS (UNHULLED)	CYNODON DACTYLON	–	–	30.0
K–R BLUESTEM	ANDROPOGON ISCHAEUM	1.2	1.2	1.5
BUFFEL GRASS	PENNISETUM CILIARE	–	4.2	–
ANNUAL RYE GRASS	LOLIUM MULTIFLORUM	5.0	5.0	20.0

MIXTURE – A: RECOMMENDED FOR CLAY OR TIGHT SOILS PLANTED BETWEEN DECEMBER 1 THROUGH MAY 1.

MIXTURE – B: RECOMMENDED FOR SANDY SOILS PLANTED BETWEEN DECEMBER 1 THROUGH MAY 1.

MIXTURE – C: RECOMMENDED FOR ALL SOILS PLANTED BETWEEN MAY 2 THROUGH NOVEMBER 30.

THE FERTILIZING, SEEDING, AND WATERING OPERATIONS SHALL BE ACCOMPLISHED WITH EQUIPMENT SUITABLE FOR THE REQUIRED FUNCTION. CONTRACTOR SHALL FERTILIZE AND WATER TO ASSURE 95% OF THE SEEDED AREA HAS ESTABLISHED GROWTH WITHIN 45 CALENDAR DAYS. ESTABLISHED GROWTH IS DEFINED AS AT LEAST ONE PLANT PER SQUARE FOOT WITH NO BARE SPOTS LARGER THAN TEN (10) SQUARE FEET.

33. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING SUFFICIENT TRAFFIC CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD TO ASSURE A SAFE CONDITION AND TO PROVIDE A MINIMUM OF INCONVENIENCE TO MOTORISTS. ALL TRAFFIC CONTROL DEVICES SHALL COMPLY WITH THE "TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (LATEST EDITION).

2. SITE EXCAVATION AND GRADING (DUNE PROTECTION)

1. THE CONTRACTOR SHALL STRIVE TO AVOID ANY DAMAGE AND DESTRUCTION TO DUNES AND VEGETATION TO THE MAXIMUM EXTENT PRACTICAL.
2. NO CLEARING/STRIPPING SHALL BE DONE.
3. IF SITE IS TO BE CLEARED, THE CONTRACTOR SHALL RECEIVE PRIOR APPROVAL FROM THE CITY OF SOUTH PADRE ISLAND AND PROVIDE A MITIGATION ACTION PLAN AS OUTLINED IN THE CITY OF SOUTH PADRE ISLAND PLAN AND THE TAC.
4. ANY TEMPORARY IMPACTS TO VEGETATION WILL BE MITIGATED ON SITE.
5. NO FILL SHALL BE USED OR BROUGHT ONTO THE SITE. ONLY EXCAVATED MATERIAL MAY BE USED AS FILL FOR THE SIDEWALK TO REACH ELEVATION.
6. DAMAGE AND DESTRUCTION TO BACKDUNES THAT ACTIVELY EXCHANGE SAND WITH AND EXTEND VEGETATION TO FOREDUNES AND THE FOREDUNE RIDGE SHALL BE AVOIDED TO THE MAXIMUM EXTENT PRACTICABLE.
7. UNAVOIDABLE DAMAGE TO DUNES AND DUNE VEGETATION SHALL BE COMPENSATED FOR BY THE CREATION OF NEW DUNES, THE ENHANCEMENT OF EXISTING DUNES, AND/OR THE REPAIR OF THE DAMAGED DUNES AS WELL AS THE PLANTING OF INDIGENOUS VEGETATION.
8. THE NEW, ENHANCED, AND/OR REPAIRED DUNES SHALL STRIVE TO BE SUPERIOR OR EQUAL TO THE DAMAGED DUNES IN THEIR ABILITY TO PROTECT ADJACENT BEACH FROM EROSION.
9. COMPENSATION EFFORTS SHALL BE CONTINUOUS AND CONCURRENT WITH THE CONSTRUCTION UNTIL THE NEW, ENHANCED AND/OR REPAIRED DUNES AND DUNE VEGETATION IS EQUAL OR SUPERIOR TO THE DAMAGED DUNE AND DUNE VEGETATION.
10. ON COMPLETION OF COMPACTION, THE SURFACE SHALL BE SMOOTH AND CONFORM TO LINES, GRADES, AND SECTIONS SHOWN ON THE PLANS.
11. COMPLETE ALL GRADING NECESSARY TO BRING THE ENTIRE AREA SHOWN ON THE DRAWINGS TO THE SUBGRADE LEVELS INDICATED ON THE PLANS AND DETAILS. GRADES NOT OTHERWISE INDICATED SHALL BE UNIFORM LEVELS OR SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE GIVEN, OR BETWEEN SUCH POINTS AND EXISTING FINISH GRADES. ROUND OFF ABRUPT CHANGES IN SLOPES.

3. ARCHEOLOGICAL DISCOVERIES AND CULTURAL RESOURCES

1. NO ACTIVITY WHICH MAY AFFECT PROPERTIES LISTED OR PROPERTIES ELIGIBLE FOR LISTING IN THE NATIONAL REGISTER OF HISTORIC PLACES OR ELIGIBLE FOR DESIGNATION AS A STATE ARCHEOLOGICAL LANDMARK IS AUTHORIZED UNTIL THE OWNER HAS COMPLIED WITH THE PROVISIONS OF THE NATIONAL HISTORIC PRESERVATION ACT AND THE ANTIQUITIES CODE OF TEXAS. THE OWNER HAS PREVIOUSLY COORDINATED WITH THE APPROPRIATE AGENCIES AND IMPACTS TO KNOWN CULTURAL OR ARCHEOLOGICAL DEPOSITS HAVE BEEN AVOIDED OR MITIGATED. HOWEVER, THE CONTRACTOR MAY ENCOUNTER UNANTICIPATED CULTURAL OR ARCHEOLOGICAL DEPOSITS DURING CONSTRUCTION.
2. IF ARCHEOLOGICAL SITES OR HISTORIC STRUCTURES WHICH MAY QUALIFY FOR DESIGNATION AS A STATE ARCHEOLOGICAL LANDMARK ACCORDING TO THE CRITERIA IN 13 TAC 41.6–41.10, OR THAT MAY BE ELIGIBLE FOR LISTING ON THE NATIONAL REGISTER OF HISTORIC PLACES IN ACCORDANCE WITH 36 CFR PART 800, ARE DISCOVERED AFTER CONSTRUCTION OPERATIONS ARE BEGUN, THE CONTRACTOR SHALL IMMEDIATELY CEASE OPERATIONS IN THAT PARTICULAR AREA AND NOTIFY THE OWNER AND THE TEXAS HISTORICAL COMMISSION, 1511 N. COLORADO ST., P.O. BOX 12276, CAPITOL STATION, AUSTIN, TEXAS 78711–2276. THE CONTRACTOR SHALL TAKE REASONABLE STEPS TO PROTECT AND PRESERVE THE DISCOVERIES UNTIL THEY HAVE BEEN INSPECTED BY THE OWNER'S REPRESENTATIVE. THE OWNER WILL PROMPTLY COORDINATE WITH THE STATE HISTORIC PRESERVATION OFFER AND ANY OTHER APPROPRIATE AGENCIES TO OBTAIN ANY NECESSARY APPROVALS OR PERMITS TO ENABLE THE WORK TO CONTINUE. THE CONTRACTOR SHALL NOT RESUME WORK IN THE AREA OF THE DISCOVERY UNTIL AUTHORIZED TO DO SO BY THE OWNER.

4. ENDANGERED SPECIES

1. NO ACTIVITY IS AUTHORIZED THAT IS LIKELY TO JEOPARDIZE THE CONTINUED EXISTENCE OF A THREATENED OR ENDANGERED SPECIES AS LISTED OR PROPOSED FOR LISTING UNDER THE FEDERAL ENDANGERED SPECIES ACT (ESA), AND/OR THE STATE OF TEXAS PARKS AND WILDLIFE CODE ON ENDANGERED SPECIES, OR TO DESTROY OR ADVERSELY MODIFY THE HABITAT OF SUCH SPECIES.
2. IF A THREATENED OR ENDANGERED SPECIES IS ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY CEASE WORK IN THE AREA OF THE ENCOUNTER AND NOTIFY THE OWNER, WHO WILL IMMEDIATELY IMPLEMENT ACTIONS IN ACCORDANCE WITH THE ESA AND APPLICABLE STATE STATUTES. THESE ACTIONS SHALL INCLUDE REPORTING THE ENCOUNTER TO THE U.S. FISH AND WILDLIFE SERVICE, THE TEXAS PARKS AND WILDLIFE DEPARTMENT, AND THE CITY OF SOUTH PADRE ISLAND, OBTAINING ANY NECESSARY APPROVALS OR PERMITS TO ENABLE THE WORK TO CONTINUE, OR IMPLEMENT OTHER MITIGATION ACTIONS. THE CONTRACTOR SHALL NOT RESUME CONSTRUCTION IN THE AREA OF THE ENCOUNTER UNTIL AUTHORIZED TO DO SO BY THE OWNER.

5. AVOIDANCE OF SHOREBIRDS AND NESTING SEA TURTLES

1. CITY OF SOUTH PADRE ISLAND WILL WORK TO TRY AND DO ANY CONSTRUCTION ON THE BEACH OUTSIDE THE TURTLE NESTING SEASON. IF A PROJECT MUST MOVE FORWARD DURING TURTLE NESTING SEASON A TRAINED TURTLE PATROLLER WILL DO A CHECK FOR TURTLE TRACKS PRIOR TO CONSTRUCTION STARTING EACH MORNING. IF ANY CREWS COME INTO CONTACT WITH A BIRD DURING CONSTRUCTION THEY WILL BE INSTRUCTED TO STOP ALL ACTIVITIES AND NOTIFY THE PROJECT MANAGER WHO WILL THEN CONTACT THE APPROPRIATE AGENCY BEFORE CONTINUING ANY WORK.

6. COMPLIANCE WITH GENERAL LAND OFFICE

1. THE WALKWAY WILL BE CONSTRUCTED WITH THE BOUNDARY OF THE LINE OF VEGETATION DETERMINED BY THE TEXAS GENERAL LAND OFFICE AND THE APPROVED TERMINUS LOCATION DETERMINED BY THE TEXAS GENERAL LAND OFFICE. THE WALKOVER WILL BE CONSTRUCTED TO THE MOST LANDWARD POINT OF THE PUBLIC BEACH AND WILL NOT INTERFERE WITH OR OTHERWISE RESTRICT PUBLIC USE OF THE BEACH AT NORMAL HIGH TIDES.
2. CITY OF SOUTH PADRE ISLAND WILL SHORTEN ANY DUNE WALKOVERS ENCRDACHING ON THE PUBLIC BEACH TO THE APPROPRIATE LENGTH FOR REMOVAL OF THE ENCROACHMENT. CITY OF SOUTH PADRE ISLAND WILL CONTAIN THIS AS A CONDITION IN ANY PERMIT AND CERTIFICATE ISSUED AUTHORIZING CONSTRUCTION OF WALKOVERS. CITY OF SOUTH PADRE ISLAND WILL ASSESS THE STATUS OF THE BEACH BOUNDARY WITHIN 30 DAYS AFTER A MAJOR STORM OR OTHER EVENT CAUSING SIGNIFICANT LANDWARD MIGRATION OF THE PUBLIC BEACH. AFTER ASSESSMENT, CITY OF SOUTH PADRE ISLAND WILL INFORM THE GENERAL LAND OFFICE OF ANY ENCROACHMENTS ON THE PUBLIC BEACH WITHIN TEN DAYS OF COMPLETING THE ASSESSMENT.
3. CITY OF SOUTH PADRE ISLAND WILL ENSURE THAT THE CONTRACTOR MINIMIZES ADVERSE IMPACTS TO DUNES AND DUNE VEGETATION BY LIMITING THE DEGREE OR MAGNITUDE OF THE ACTION AND ITS IMPLEMENTATION. CITY OF SOUTH PADRE ISLAND WILL ENSURE THAT THE CONTRACTOR DOES NOT IMPEDE ON THE COPPICE MOUNDS.
4. THE DECK OF THE WALKWAY MUST BE OF SUFFICIENT ELEVATION TO ALLOW FOR THE GROWTH OF DUNE VEGETATION AND THE MIGRATION OF DUNES TO THE GREATEST EXTENT PRACTICABLE. REFER TO THE DRAWINGS.
5. THE BOARDWALK IS DESIGNED TO ACCOMMODATE ADA REQUIREMENTS.
6. THE CITY PERMIT SHALL CONTAIN A CONDITION REQUIRING THE PERMITTEE TO MINIMIZE ADVERSE EFFECTS ON DUNES OR DUNE VEGETATION TO THE GREATEST EXTENT PRACTICABLE.
7. THE CITY WILL ENSURE THAT THE CONTRACTOR WILL MINIMIZE IMPACTS ON NATURAL HYDROLOGY AND NOT CAUSE EROSION OF ADJACENT PROPERTIES, CRITICAL DUNE AREAS, OR THE PUBLIC BEACH.
8. CITY OF SOUTH PADRE ISLAND SHALL POST SIGNS IN AREAS WHERE PEDESTRIAN TRAFFIC IS HIGH EXPLAINING THE FUNCTIONS OF DUNES AND THE IMPORTANCE OF VEGETATION IN PRESERVING DUNES.
9. CONSTRUCTION ACTIVITIES MUST NOT IMPACT THE PUBLIC'S ABILITY TO ACCESS OR USE THE BEACH.
10. CONSTRUCTION OF THE PROPOSED DUNE WALKOVER SHOULD CONFORM TO THE GLO'S GUIDELINES PROVIDED IN THE DUNE PROTECTION AND IMPROVEMENT MANUAL FOR THE TEXAS GULF COAST, AND CAN BE FOUND ON THE GLO WEBSITE AT [HTTP://WWW.GLO.TEXAS.GOV/COAST/COASTAL-MANAGEMENT/FORMS/FILES/DUNE-PROTECTION-MANUAL-GPB.PDF](http://www.glo.texas.gov/coast/coastal-management/forms/files/dune-protection-manual-gpb.pdf).

TESTING SCHEDULE

DESCRIPTION	RATE	QUANTITY
SOILS:		
STANDARD PROCTOR – SUBGRADE	PER STREET	1
DENSITIES – SUBGRADE (PARKING LOT)	PER 3,000 SF	2
DENSITIES – SUBGRADE (PAVEMENT)	PER 3,000 SF	1
CRUSHED LESTONE BASE (WHEN USED):		
SEIVE ANALYSIS	PER 3000 CY	1
ATTERBURG LIMITS	PER 3000 CY	1
MODIFIED PROCTOR	PER 3000 CY	1
L.A. ABRASION	PER 3000 CY	1
CBR (STANDARD)	PER MATERIAL SOURCE	1
DENSITIES OF COMPACTED BASE (PARKING LOT)	PER 3,000 SF	2
DENSITIES OF COMPACTED BASE (PAVEMENT)	PER 3,000 SF	1
WET BALL MILL TEST	PER MATERIAL SOURCE	1
TRIAXIAL TEST	PER MATERIAL SOURCE	1
PAVEMENT HOT–MIX ASPHALT CONCRETE (HMAC) (WHEN USED):		
EXTRACTION, SIEVE ANALYSIS	PER 500 TONS OR DAY	1
LAB DENSITY & STABILITY	PER 500 TONS OR DAY	1
THEORETICAL DENSITY (RICE METHOD)	PER 500 TONS OR DAY	1
TEMPERATURE – DURING LAY–DOWN	CONTINUOUS AS NEEDED	–
THICKNESS – IN PLACE (CORE)	PER 1000 LF	1
% AIR VOIDS – IN PLACE (CORE)	PER 1000 LF	1
% THEORETICAL DENSITY – IN PLACE (CORE)	PER 1000 LF	1
CONCRETE:		
(UNCONFINED COMPRESSION, 7, 14, & 28 DAY)		
SIDEWALK/CURB/RAMP	PER 2000 SF	1

NOTE: CONTRACTOR TO COORDINATE WITH ENGINEER FOR MATERIAL TESTING AND LOCATION.

CONSULTANT'S SHEET
PROJECT NO. 15450-03

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INTERNATIONAL CONSULTING ENGINEERS
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18.P.E. FRM REGISTRATION #F- 10837



CITY OF SOUTH PADRE ISLAND
MOONLIGHT CIRCLE BEACH ACCESS IMPROVEMENTS
BEACH ACCESS #13

GENERAL NOTES

DRAWING NO.













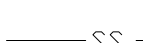






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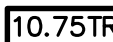
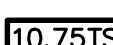

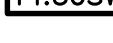
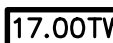


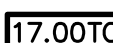

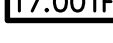




SHEET 2 of 16

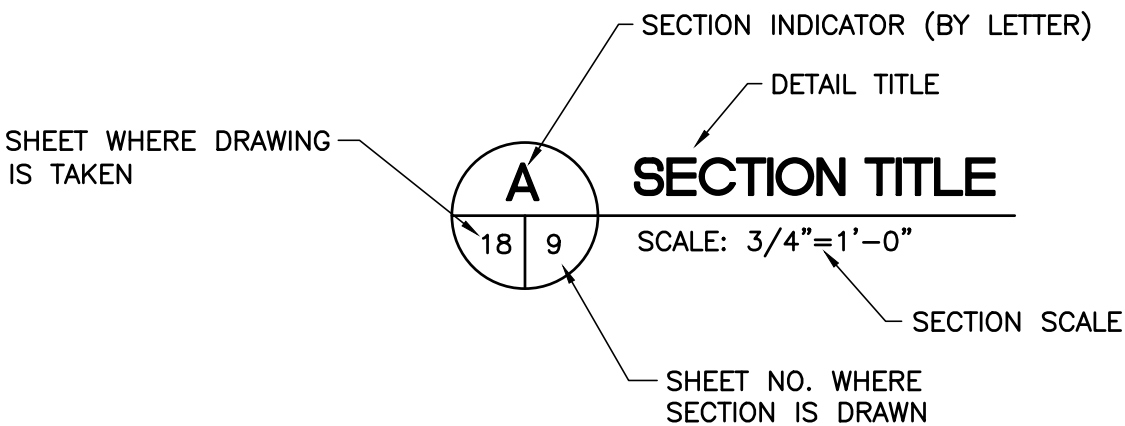
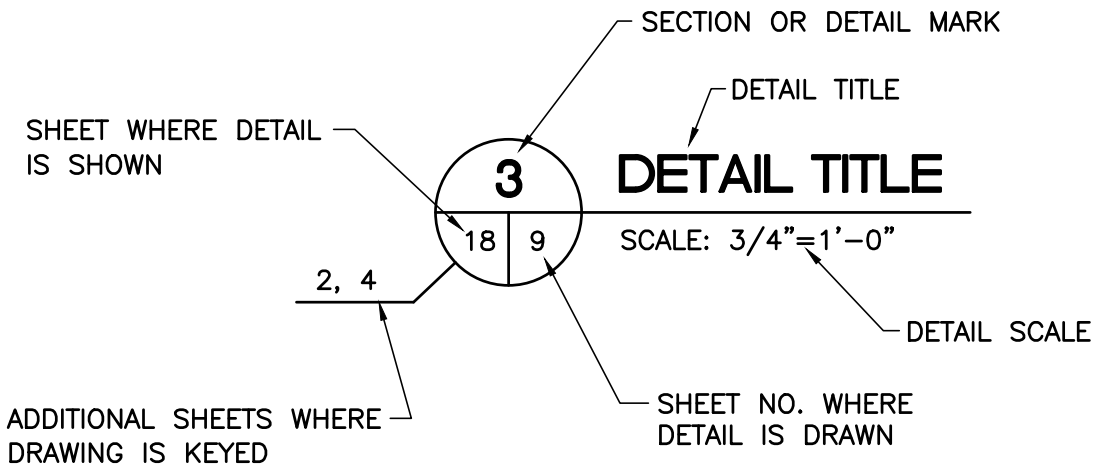
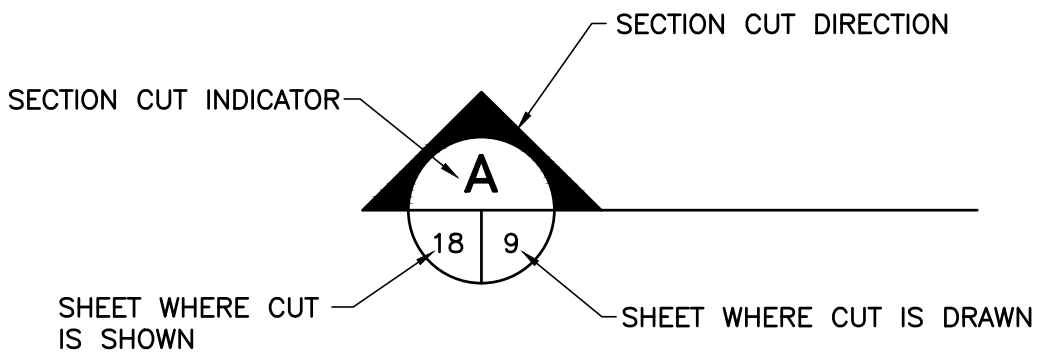
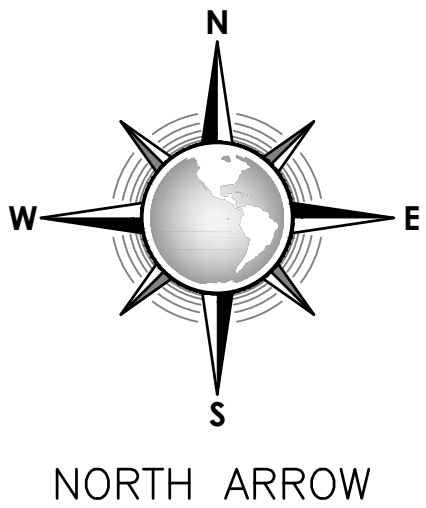
ESTIMATED QUANTITIES SUMMARY – TOTALS			
ITEM	DESCRIPTION	UNIT	QUANTITY
CITY OF SOUTH PADRE ISLAND–MOONLIGHT CIRCLE BEACH ACCESS #13 IMPROVEMENTS			
	BASE BID		
A1	TIMBER WALKOVER STRUCTURE (COMPLETE IN PLACE)	LF	246
A2	PAINTED HANDICAP PARKING SYMBOLS	EA	1
A3	WHITE PAINT STRIPING (4” SLD)	LF	54
A4	WHITE PAINT GORE (4” SLD)	LF	326
A5	HANDICAPPED ACCESSIBLE SIGN	EA	1
A6	CONCRETE WHEEL STOPS	EA	3
A7	4” THICK CONCRETE SIDEWALK	SF	214
A8	HANDICAP RAMP	EA	1
A9	ADA OUTDOOR WATER FOUNTAIN	EA	1
A10	ASPHALT DEMO/REPAIR	SF	343
A11	EXISTING DECK/WHEELSTOP DEMOLITION	LS	1
A12	TRASH RECEPTACLE	EA	1
A13	SEDIMENT CONTROL FENCE	LF	568
A14	3/4”ø PVC WATERLINE	LF	282
A15	5/8”ø TYPE ‘K’ COPPER WATERLINE	LF	5
A16	5/8”ø WATER METER	LS	1
A17	2”ø X 5/8”ø BRONZE SADDLE TAP ASSEMBLY	EA	1
A18	3/4”ø X 90° PVC BEND	EA	5
A19	3/4”ø X 45° PVC BEND	EA	2
A20	3/4”ø TEE	EA	2
A21	STAINLESS STEEL SHOWER HEAD	EA	2
A22	STAINLESS STEEL HAND HELD SHOWER ASSEMBLY	EA	2
A23	STAINLESS STEEL SHOWER VALVES	EA	4
A24	WATERLINE TRENCHING (ASPHALT DEMOLITION)	LF	163


*NOTE:

- QUANTITIES ARE SHOWN FOR INFORMATIONAL PURPOSES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES. THIS PROJECT IS A LUMP SUM BID PROJECT.
- DEMOLITION OF EXISTING MOBI–MAT WILL BE DONE BY THE CITY OF SOUTH PADRE ISLAND AND SHALL NOT BE PART OF THE CONTRACTOR’S BID.

EXISTING LEGEND	
	EXISTING LIGHT POLE
	EXISTING SIGN
	BENCHMARK
	IRON ROD
	PK NAIL
	EXISTING TREE
	EXISTING WATER METER
	EXISTING SANITARY SEWER MANHOLE
	EXISTING WHEEL STOP
	EXISTING FIRE HYDRANT
	EXISTING CONCRETE/WOOD FENCE
	EXISTING CHAINLINK FENCE
	EXISTING SANITARY SEWER LINE
	EXISTING WATERLINE
	EXISTING GULF OF MEXICO
	EXISTING ASPHALT
	EXISTING CONCRETE
	EXISTING PAVERS
	EXISTING TIMBER WALKOVER
16.11EP	EXISTING EDGE OF PAVEMENT
15.81CONC	EXISTING CONCRETE
17.79NG	EXISTING NATURAL GROUND
10.83BRIDGE	EXISTING TIMBER WALKOVER
15.81BLD	EXISTING BUILDING
17.79FNC	EXISTING FENCE
17.79ER	EXISTING EDGE OF ROAD
17.79SE	EXISTING SPOT ELEVATION
17.79PAVER	EXISTING PAVERS

PROPOSED LEGEND	
	TOP OF RETAINING WALL ELEVATION
	TOP OF SAND FILL ELEVATION
	TOP OF CONCRETE SIDEWALK ELEVATION
	TOP OF TIMBER WALKWAY ELEVATION
	TOP OF PAVER ELEVATION
	TOP OF CURB ELEVATION
	TOP OF FENCE ELEVATION
	FINISHED GRADE ELEVATION
	PROPOSED CONCRETE SIDEWALK
	PROPOSED TIMBER WALKOVER
	PROPOSED PAVERS
	SLOPE DIRECTION
	PROPOSED SIGN
	PROPOSED WHEEL STOP



CONSULTANT'S SHEET	
PROJECT NO. 15450-03	
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18.P.E. FRM REGISTRATION #F- 10837	
DESCRIPTION	
CITY OF SOUTH PADRE ISLAND MOONLIGHT CIRCLE BEACH ACCESS IMPROVEMENTS BEACH ACCESS #13	
ESTIMATED QUANTITIES AND LEGEND	
DRAWING NO.	
C2	
SHEET 3 of 16	
REVISION NO.	DATE
A	11-21-16
ADDED GENERAL NOTES AS PER G.L.O. COMMENTS	DESCRIPTION
JJ, CM	BY

FILE NAME: F:\2015\City of South Padre Island\Moonlight Circle Access Improvements\Drawings\Civil\04-C3-EXISTING TOPOGRAPHY AND CONTROL.dwg LAYOUT NAME: Layout1 PLOTTED: Thursday, January 05, 2017 - 4:38pm USER: Chontalva

CONTROL POINT NO. 1

CONTROL POINT NO. 2

SURVEY DATUM

HORIZONTAL:
NAD 83 TEXAS SOUTH ZONE

VERTICAL:
NAVD 88

CONTROL POINT DATA

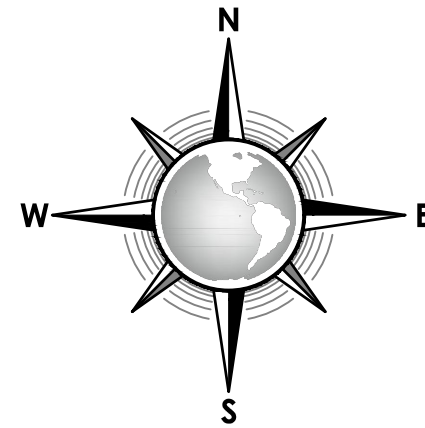
CONTROL POINT #	DESCRIPTION	NORTHING	EASTING	ELEVATION
1	SET 5/8" IRON ROD WITH CAP	16568779.26	1422036.26	10.95
2	SET 5/8" IRON ROD WITH CAP	16568786.91	1422176.17	10.86

NOTE: ELEVATIONS ARE ASSUMED BASED ON THE CONTROL POINTS PROVIDED.



EXISTING LEGEND

- EXISTING LIGHT POLE
- EXISTING SIGN
- BENCHMARK
- IRON ROD
- PK NAIL
- EXISTING TREE
- EXISTING WATER METER
- EXISTING SANITARY SEWER MANHOLE
- EXISTING WHEEL STOP
- EXISTING FIRE HYDRANT
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- EXISTING EDGE OF PAVEMENT
- EXISTING CONCRETE
- EXISTING NATURAL GROUND
- EXISTING TIMBER WALKOVER
- EXISTING BUILDING
- EXISTING FENCE
- EXISTING EDGE OF ROAD
- EXISTING SPOT ELEVATION
- EXISTING PAVERS



CONSULTANT'S SHEET
PROJECT NO. 15450-03

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1.B.P.E. FIRM REGISTRATION #F- 10837



CITY OF SOUTH PADRE ISLAND
MOONLIGHT CIRCLE BEACH ACCESS IMPROVEMENTS
BEACH ACCESS #13

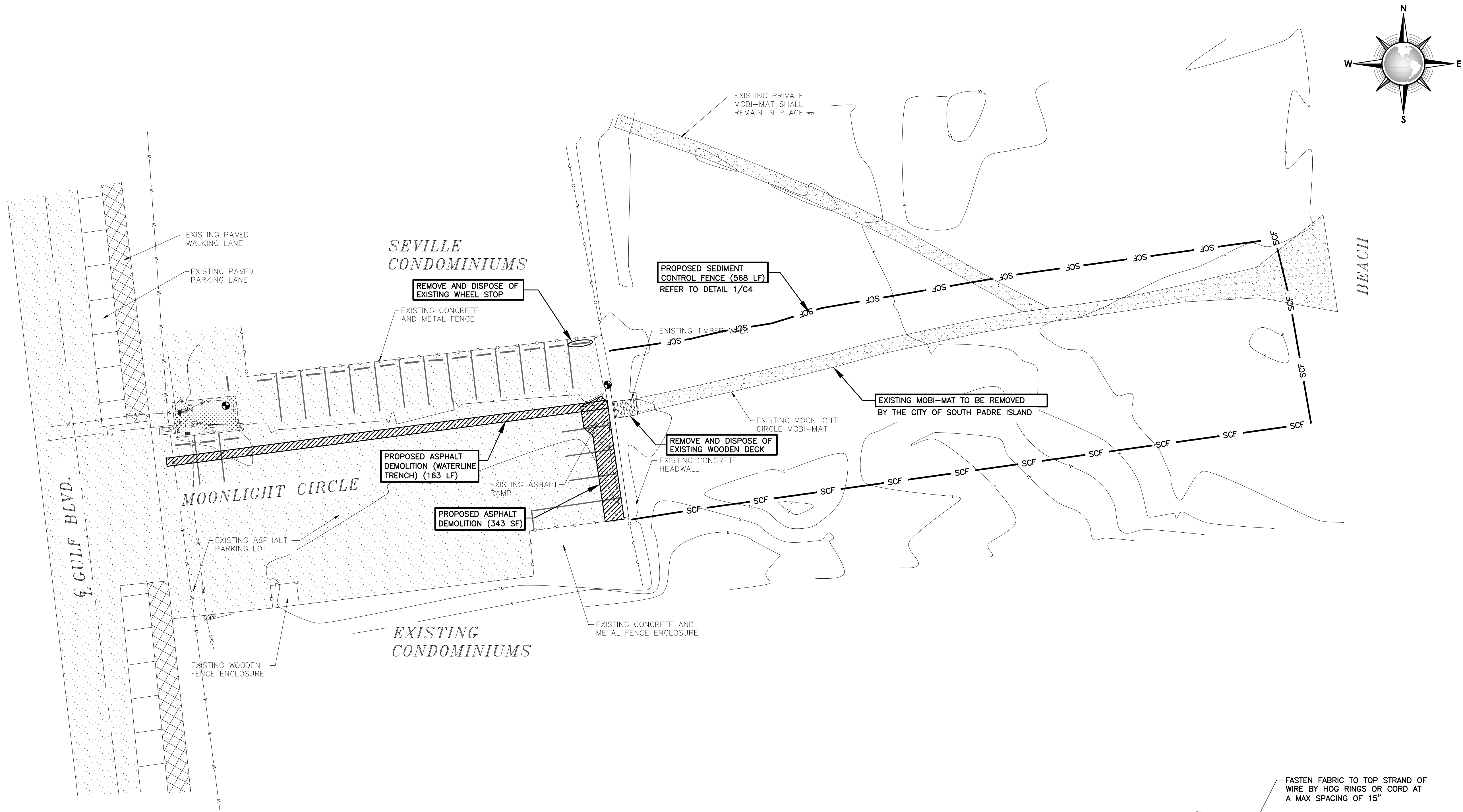
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DRAWING NO.

C3

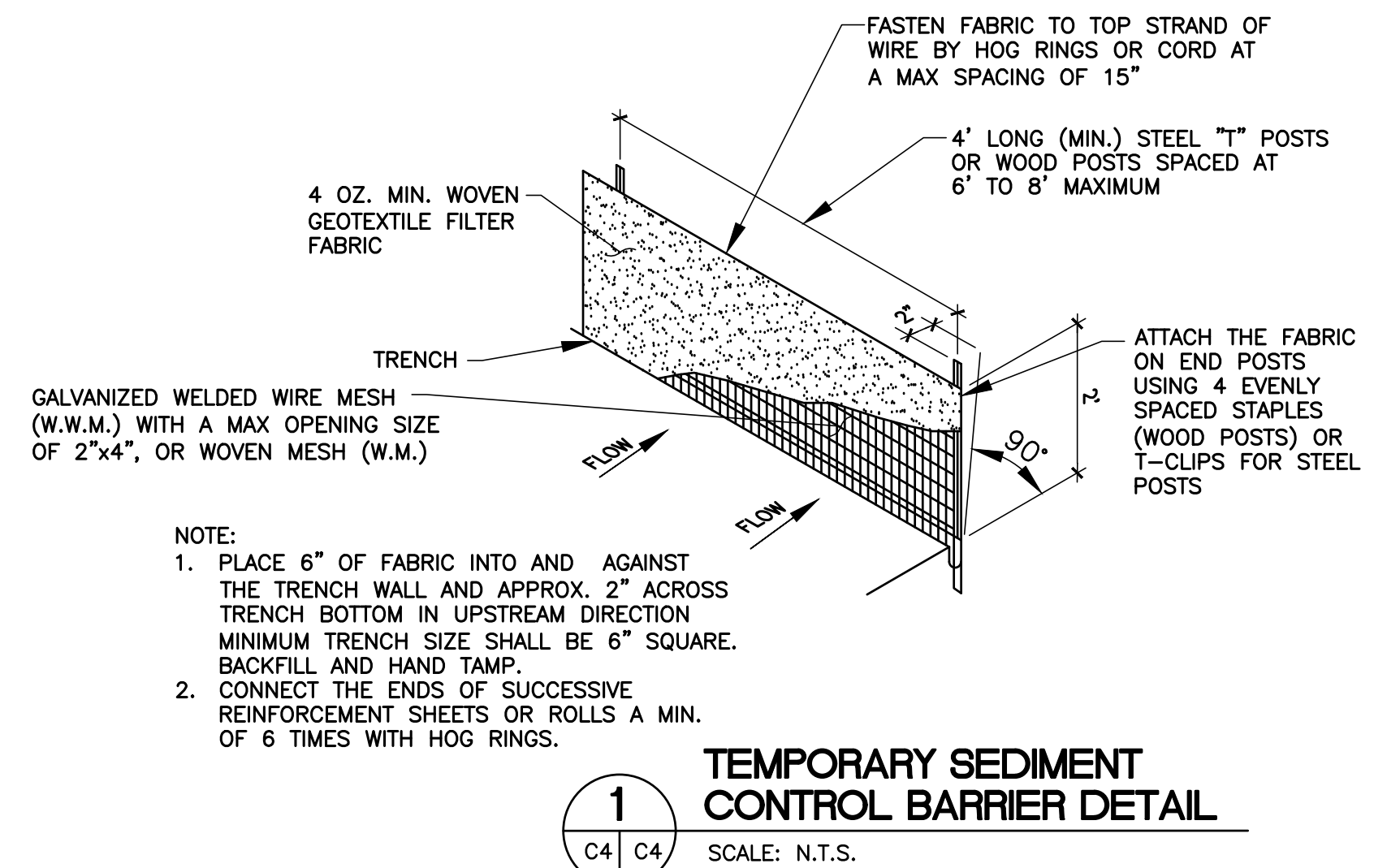
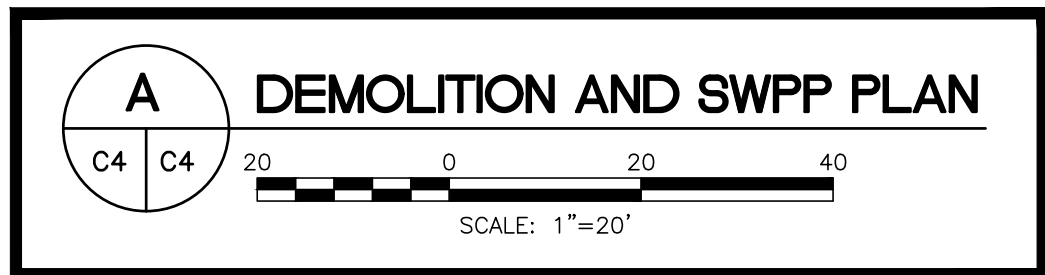
SHEET 4 of 16

FILE NAME: F:\2015\City of South Padre Island\Moonlight Circle Access Improvements\Drawings\Civil\09-C4-DEMOLITION AND SWPP PLAN.dwg LAYOUT NAME: Layout1 PLOTTED: Thursday, January 05, 2017 - 4:38pm USER: Chantelva



GENERAL NOTES:

1. CONTRACTOR SHALL COORDINATE ALL EXCAVATION WITH OTHER RELATED WORK SUCH AS NEW CONCRETE SIDEWALK, TIMBER RAMPS AND WALKWAYS, THAT SHOW EXTENT OF NEW CONSTRUCTION.
2. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE LOCATION OF EXISTING UNDERGROUND UTILITIES NOT SHOWN MUST BE FIELD VERIFIED.
3. CONTRACTOR SHALL BACKFILL ALL VOIDS LEFT BY DEMOLITION AND COMPACT IN A MANNER SUITABLE TO FINAL IMPROVEMENTS.
4. ALL DEMOLISHED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE PROMPTLY REMOVED FROM THE SITE UNLESS NOTED OTHERWISE ON THE DRAWINGS.
5. ANY DAMAGE TO EXISTING PAVEMENT, DRAINAGE, PRIVATE UTILITY, OR OTHER STRUCTURES SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITION AT CONTRACTOR'S EXPENSE.
6. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THE SAFETY OF THE PEDESTRIANS AND ALL VEHICULAR TRAFFIC FROM CONSTRUCTION RELATED ACTIVITIES DURING THE COURSE OF THIS PROJECT. A FENCE SHALL BE PROVIDED WHICH COMPLETELY ENCLOSES THE WORK SITE 24 HOURS A DAY.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION AND SAFETY OF THE WORK, WORKERS, SUBCONTRACTORS, MATERIALS, AND EQUIPMENT.





- NOTE:
1. PLACE 6" OF FABRIC INTO AND AGAINST THE TRENCH WALL AND APPROX. 2" ACROSS TRENCH BOTTOM IN UPSTREAM DIRECTION. MINIMUM TRENCH SIZE SHALL BE 6" SQUARE. BACKFILL AND HAND TAMP.
 2. CONNECT THE ENDS OF SUCCESSIVE REINFORCEMENT SHEETS OR ROLLS A MIN. OF 6 TIMES WITH HOG RINGS.

TEMPORARY SEDIMENT CONTROL BARRIER DETAIL

SCALE: N.T.S.

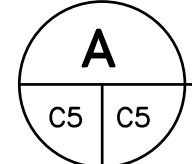
REVISION NO.		DATE	BY	DESCRIPTION
A		11-21-16	JL, CM	ADDED GENERAL NOTES AS PER G.L.O. COMMENTS

CONSULTANT'S SHEET PROJECT NO. 15450-03	C:\Users\JCE\Desktop\00000001.dwg
 INTERNATIONAL CONSULTING ENGINEERS PHONE: 361.926.5805 FAX: 361.926.5806 555 N. CARANCAHUA ST. STE. 980 CORPUS CHRISTI, TX 78401 I.C.E. FIRM REGISTRATION #F-10837	
	
CITY OF SOUTH PADRE ISLAND MOONLIGHT CIRCLE BEACH ACCESS IMPROVEMENTS BEACH ACCESS #13	DEMOLITION AND SWPP PLAN
DRAWING NO. C4	
SHEET 5 of 16	

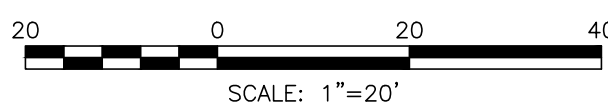
FILE NAME: F:\2015\City of South Padre Island\Moonlight Circle Access Improvements\Drawings\Civil\06-C5-OVERALL SITE IMPROVEMENTS PLAN.dwg LAYOUT NAME: Layout1 PLOTTED: Thursday, January 05, 2017 - 4:38pm USER: CMontalvo

GENERAL NOTES:

1. CONTRACTOR SHALL COORDINATE ALL EXCAVATION WITH OTHER RELATED WORK SUCH AS NEW CONCRETE SIDEWALK, TIMBER RAMPS AND WALKWAYS, THAT SHOW EXTENT OF NEW CONSTRUCTION.
2. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE LOCATION OF EXISTING UNDERGROUND UTILITIES NOT SHOWN MUST BE FIELD VERIFIED.
3. CONTRACTOR SHALL BACKFILL ALL VOIDS LEFT BY DEMOLITION AND COMPACT IN A MANNER SUITABLE TO FINAL IMPROVEMENTS.
4. ALL DEMOLISHED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE PROMPTLY REMOVED FROM THE SITE UNLESS NOTED OTHERWISE ON THE DRAWINGS.
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6. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THE SAFETY OF THE PEDESTRIANS AND ALL VEHICULAR TRAFFIC FROM CONSTRUCTION RELATED ACTIVITIES DURING THE COURSE OF THIS PROJECT. A FENCE SHALL BE PROVIDED WHICH COMPLETELY ENCLOSES THE WORK SITE 24 HOURS A DAY.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION AND SAFETY OF THE WORK, WORKERS, SUBCONTRACTORS, MATERIALS, AND EQUIPMENT.

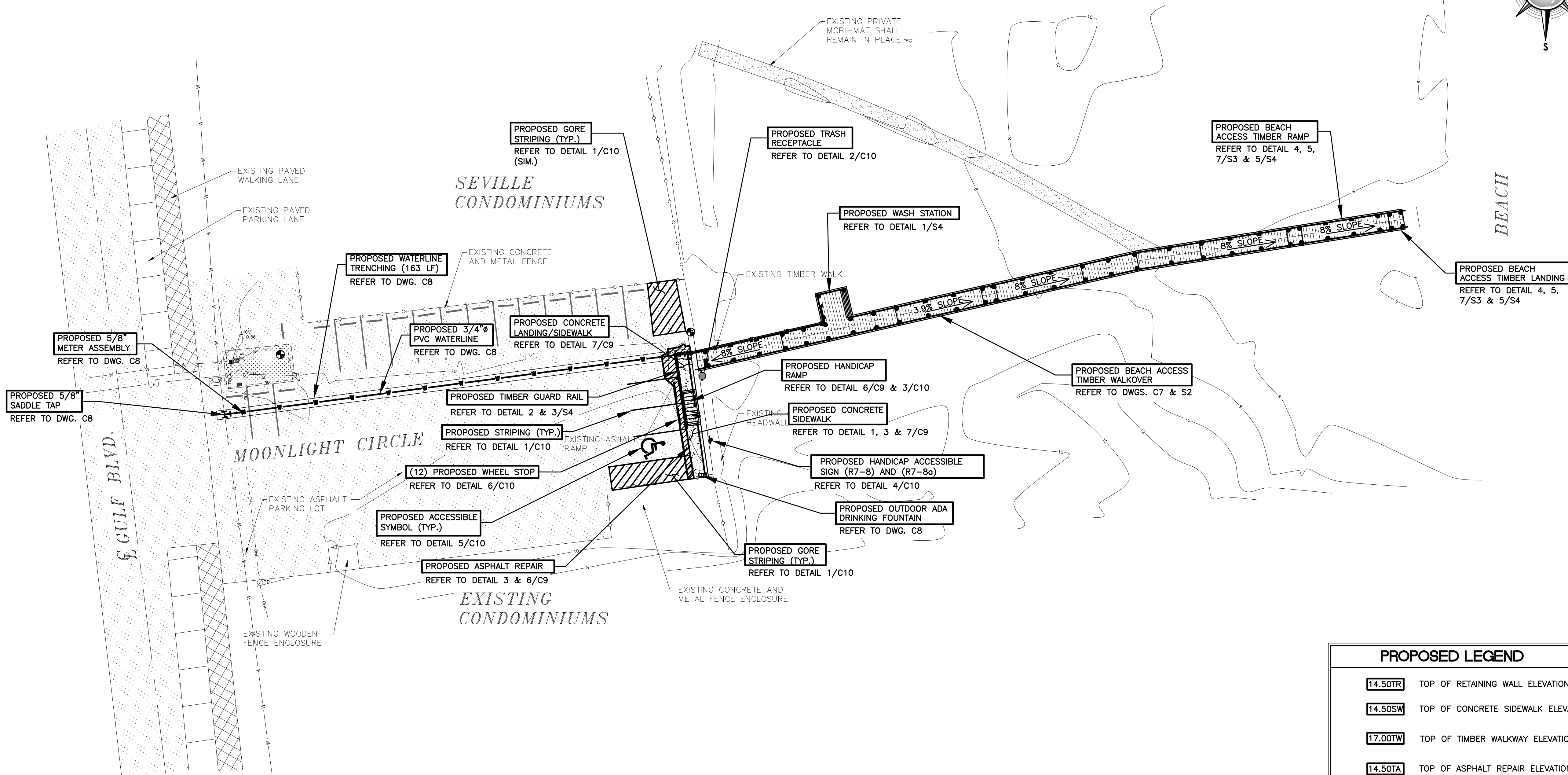


OVERALL SITE IMPROVEMENTS PLAN



PROPOSED LEGEND

14.50TR	TOP OF RETAINING WALL ELEVATION
14.50SW	TOP OF CONCRETE SIDEWALK ELEVATION
17.00TW	TOP OF TIMBER WALKWAY ELEVATION
14.50TA	TOP OF ASPHALT REPAIR ELEVATION
17.00TC	TOP OF CURB ELEVATION
17.00TF	TOP OF FENCE ELEVATION
00.0	FINISHED GRADE ELEVATION
	PROPOSED CONCRETE SIDEWALK
	PROPOSED TIMBER WALKOVER
	PROPOSED ASPHALT REPAIR
	SLOPE DIRECTION
	PROPOSED SIGN
	PROPOSED WHEEL STOP



CONSULTANT'S SHEET
PROJECT NO. 15450-03

C:\Users\JCE\Desktop\00000001.dwg



INTERNATIONAL CONSULTING ENGINEERS
555 N. CARANCAHUA ST. STE. 980
CORPUS CHRISTI, TX 78401
PHONE: 361.926.5805
FAX: 361.926.5806

I.C.E. FIRM REGISTRATION #F-10837



CITY OF SOUTH PADRE ISLAND
MOONLIGHT CIRCLE BEACH ACCESS IMPROVEMENTS
BEACH ACCESS #13

OVERALL SITE IMPROVEMENTS PLAN

DRAWING NO.

C5

SHEET 6 of 16

FILE NAME: F:\2015\City of South Padre Island\Moonlight Circle Access Improvements\Drawings\Civil\07-C6-STAKING PLAN.dwg LAYOUT NAME: Layout1 PLOTTED: Thursday, January 05, 2017 - 4:38pm USER: Clemente

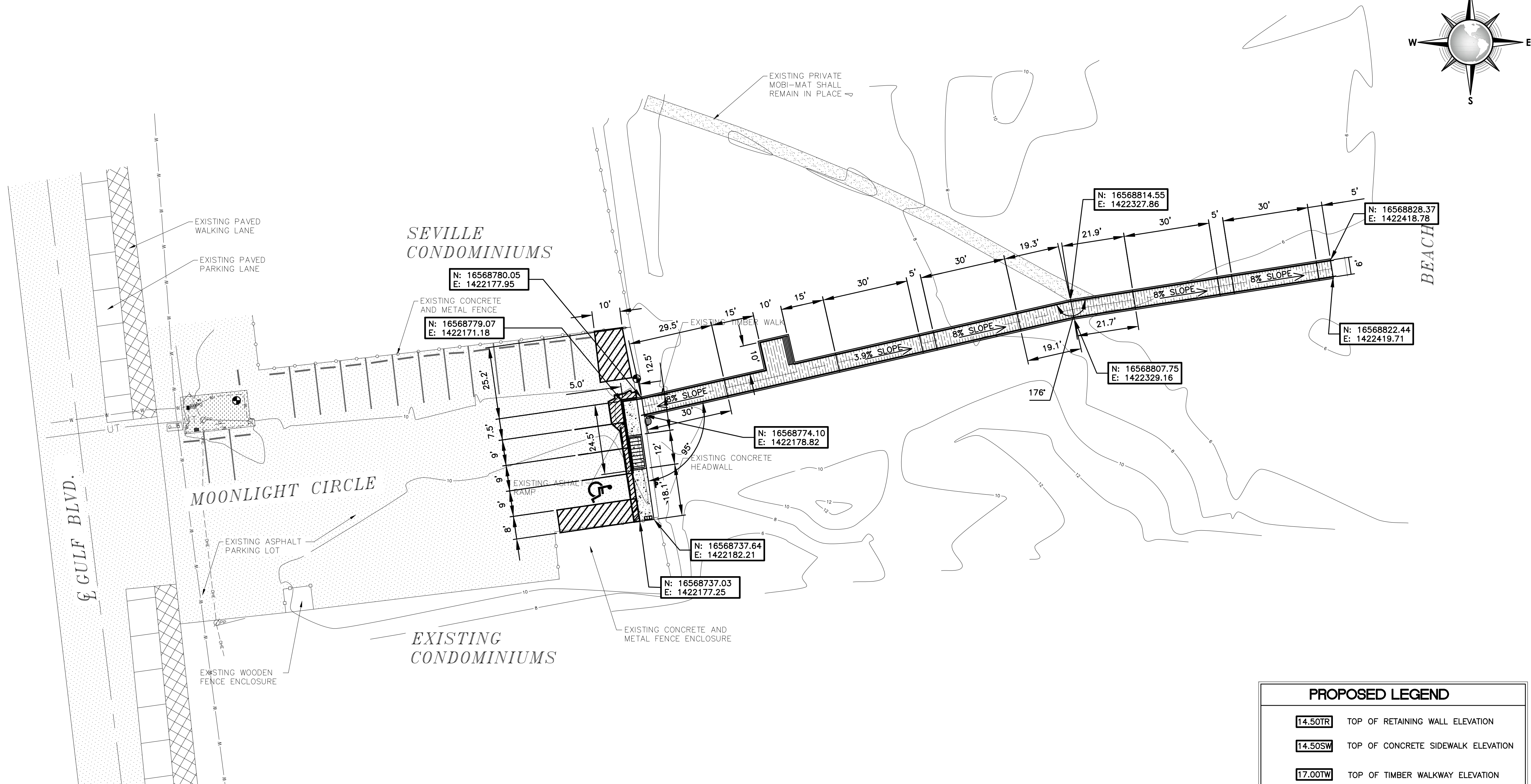
GENERAL NOTES:

1. CONTRACTOR SHALL COORDINATE ALL EXCAVATION WITH OTHER RELATED WORK SUCH AS NEW CONCRETE SIDEWALK, TIMBER RAMPS AND WALKWAYS, THAT SHOW EXTENT OF NEW CONSTRUCTION.
2. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE LOCATION OF EXISTING UNDERGROUND UTILITIES NOT SHOWN MUST BE FIELD VERIFIED.
3. CONTRACTOR SHALL BACKFILL ALL VOIDS LEFT BY DEMOLITION AND COMPACT IN A MANNER SUITABLE TO FINAL IMPROVEMENTS.
4. ALL DEMOLISHED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE PROMPTLY REMOVED FROM THE SITE UNLESS NOTED OTHERWISE ON THE DRAWINGS.
5. ANY DAMAGE TO EXISTING PAVEMENT, DRAINAGE, PRIVATE UTILITY, OR OTHER STRUCTURES SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITION AT CONTRACTOR'S EXPENSE.
6. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THE SAFETY OF THE PEDESTRIANS AND ALL VEHICULAR TRAFFIC FROM CONSTRUCTION RELATED ACTIVITIES DURING THE COURSE OF THIS PROJECT. A FENCE SHALL BE PROVIDED WHICH COMPLETELY ENCLOSES THE WORK SITE 24 HOURS A DAY.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION AND SAFETY OF THE WORK, WORKERS, SUBCONTRACTORS, MATERIALS, AND EQUIPMENT.
8. ALL DIMENSIONS PERTAINING TO THE TIMBER WALKOVER STRUCTURE ARE TO THE EDGES OF THE WALKING SURFACE. REFER TO STRUCTURAL DETAILS FOR MORE SPECIFIC DIMENSIONS.



PROPOSED LEGEND

- | | |
|----------------|------------------------------------|
| 14.50TR | TOP OF RETAINING WALL ELEVATION |
| 14.50SW | TOP OF CONCRETE SIDEWALK ELEVATION |
| 17.00TW | TOP OF TIMBER WALKWAY ELEVATION |
| 14.50TA | TOP OF ASPHALT REPAIR ELEVATION |
| 17.00TC | TOP OF CURB ELEVATION |
| 17.00TF | TOP OF FENCE ELEVATION |
| 00.0 | FINISHED GRADE ELEVATION |
| | PROPOSED CONCRETE SIDEWALK |
| | PROPOSED TIMBER WALKOVER |
| | PROPOSED ASPHALT REPAIR |
| | SLOPE DIRECTION |
| | PROPOSED SIGN |
| | PROPOSED WHEEL STOP |



REVISION NO.		DATE	BY	DESCRIPTION
11-21-16		JJ, CM		ADDED GENERAL NOTES AS PER G.L.O. COMMENTS
CITY OF SOUTH PADRE ISLAND MOONLIGHT CIRCLE BEACH ACCESS IMPROVEMENTS BEACH ACCESS #13				
DRAWING NO. C6				
SHEET 7 of 16				

CONSULTANT'S SHEET PROJECT NO. 15450-03	
C:\Users\JC\Desktop\00000001.dwg	
INTERNATIONAL CONSULTING ENGINEERS 555 N. CARANCAHUA ST. STE. 980 CORPUS CHRISTI, TX 78401 PHONE: 361.926.5805 FAX: 361.926.5806 I.C.E. REGISTRATION #1-10837	

FILE NAME: F:\2015\City of South Padre Island\Moonlight Circle Access Improvements\Drawings\Civil\08-C7-GRADING PLAN.dwg LAYOUT NAME: Layout1 PLOTTED: Thursday, January 05, 2017 - 4:38pm USER: Chontelvo

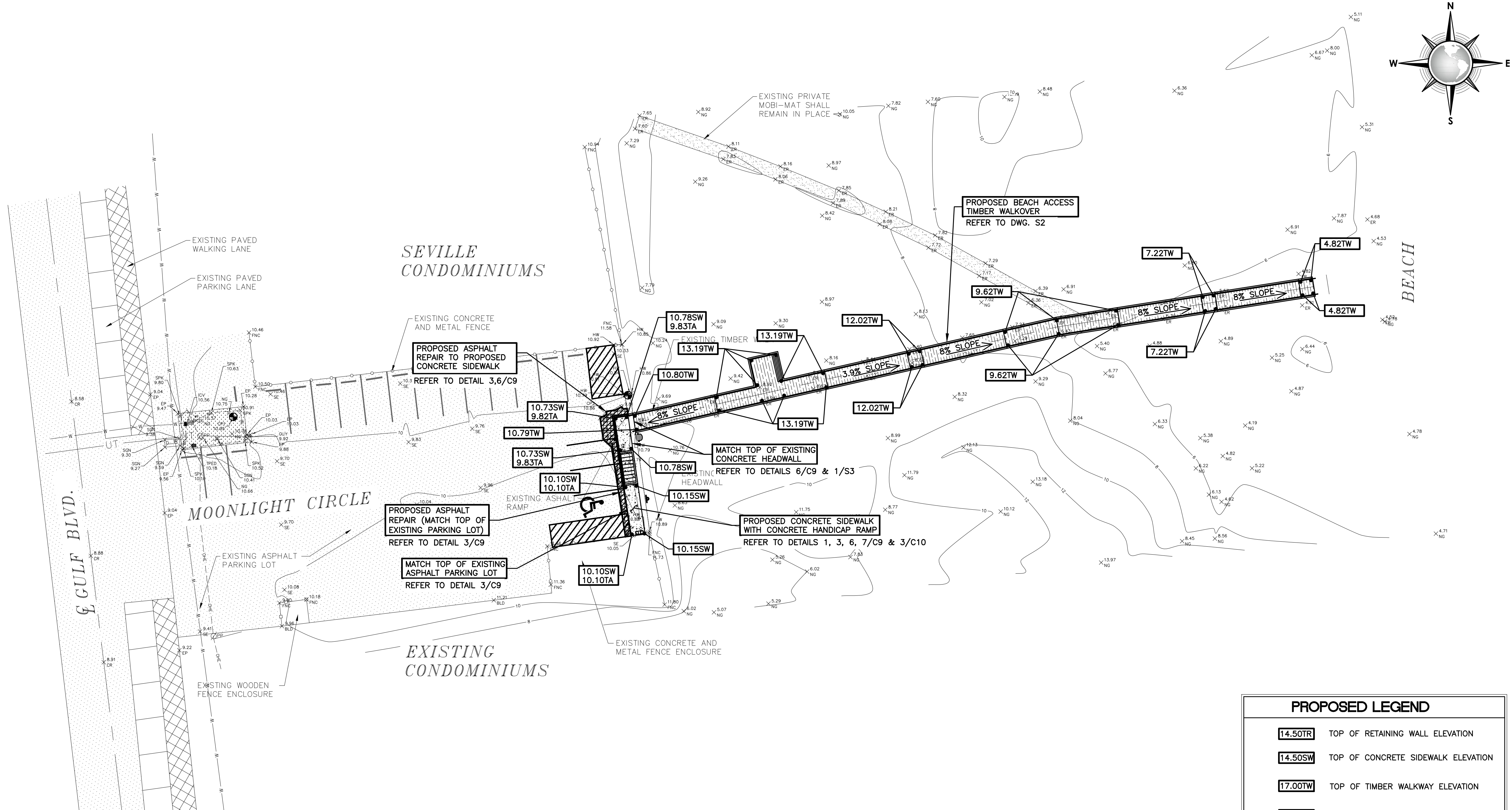
GENERAL NOTES:

1. CONTRACTOR SHALL COORDINATE ALL EXCAVATION WITH OTHER RELATED WORK SUCH AS NEW CONCRETE SIDEWALK, TIMBER RAMPS AND WALKWAYS, THAT SHOW EXTENT OF NEW CONSTRUCTION.
2. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE LOCATION OF EXISTING UNDERGROUND UTILITIES NOT SHOWN MUST BE FIELD VERIFIED.
3. CONTRACTOR SHALL BACKFILL ALL VOIDS LEFT BY DEMOLITION AND COMPACT IN A MANNER SUITABLE TO FINAL IMPROVEMENTS.
4. ALL DEMOLISHED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE PROMPTLY REMOVED FROM THE SITE UNLESS NOTED OTHERWISE ON THE DRAWINGS.
5. ANY DAMAGE TO EXISTING PAVEMENT, DRAINAGE, PRIVATE UTILITY, OR OTHER STRUCTURES SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITION AT CONTRACTOR'S EXPENSE.
6. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THE SAFETY OF THE PEDESTRIANS AND ALL VEHICULAR TRAFFIC FROM CONSTRUCTION RELATED ACTIVITIES DURING THE COURSE OF THIS PROJECT. A FENCE SHALL BE PROVIDED WHICH COMPLETELY ENCLOSES THE WORK SITE 24 HOURS A DAY.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION AND SAFETY OF THE WORK, WORKERS, SUBCONTRACTORS, MATERIALS, AND EQUIPMENT.
8. FOR DUNE PROFILE AND GRADES, REFER TO DRAWING S2.



PROPOSED LEGEND

- | | |
|---------|------------------------------------|
| 14.50TR | TOP OF RETAINING WALL ELEVATION |
| 14.50SW | TOP OF CONCRETE SIDEWALK ELEVATION |
| 17.00TW | TOP OF TIMBER WALKWAY ELEVATION |
| 14.50PV | TOP OF PAVER ELEVATION |
| 17.00TA | TOP OF ASPHALT ELEVATION |
| 17.00TF | TOP OF FENCE ELEVATION |
| 00.0 | FINISHED GRADE ELEVATION |
| | PROPOSED CONCRETE SIDEWALK |
| | PROPOSED TIMBER WALKOVER |
| | PROPOSED ASPHALT REPAIR |
| | SLOPE DIRECTION |
| | PROPOSED SIGN |
| | PROPOSED WHEEL STOP |



CONSULTANT'S SHEET
PROJECT NO. 15450-03

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INTERNATIONAL CONSULTING ENGINEERS
555 N. CARANCAHUA ST. STE. 980
CORPUS CHRISTI, TX 78401
PHONE: 361.926.5805
FAX: 361.926.5806

I.C.E. FIRM REGISTRATION #F-10837



CITY OF SOUTH PADRE ISLAND
MOONLIGHT CIRCLE BEACH ACCESS IMPROVEMENTS
BEACH ACCESS #13

GRADING PLAN

DRAWING NO.

C7

SHEET 8 of 16

FILE NAME: F:\2015\City of South Padre Island\Moonlight Circle Access Improvements\Drawings\Civil\09-C8-UTILITY IMPROVEMENT PLAN.dwg LAYOUT NAME: Layout1 PLOTTED: Thursday, January 05, 2017 - 4:38pm USER: CMaltaiva

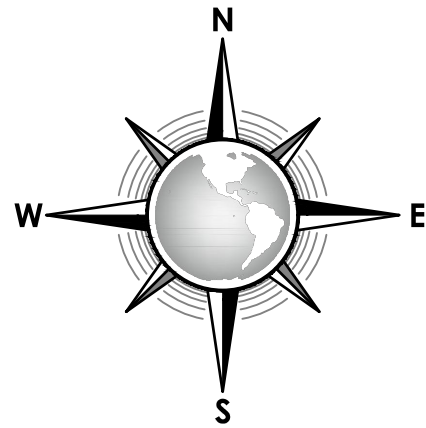
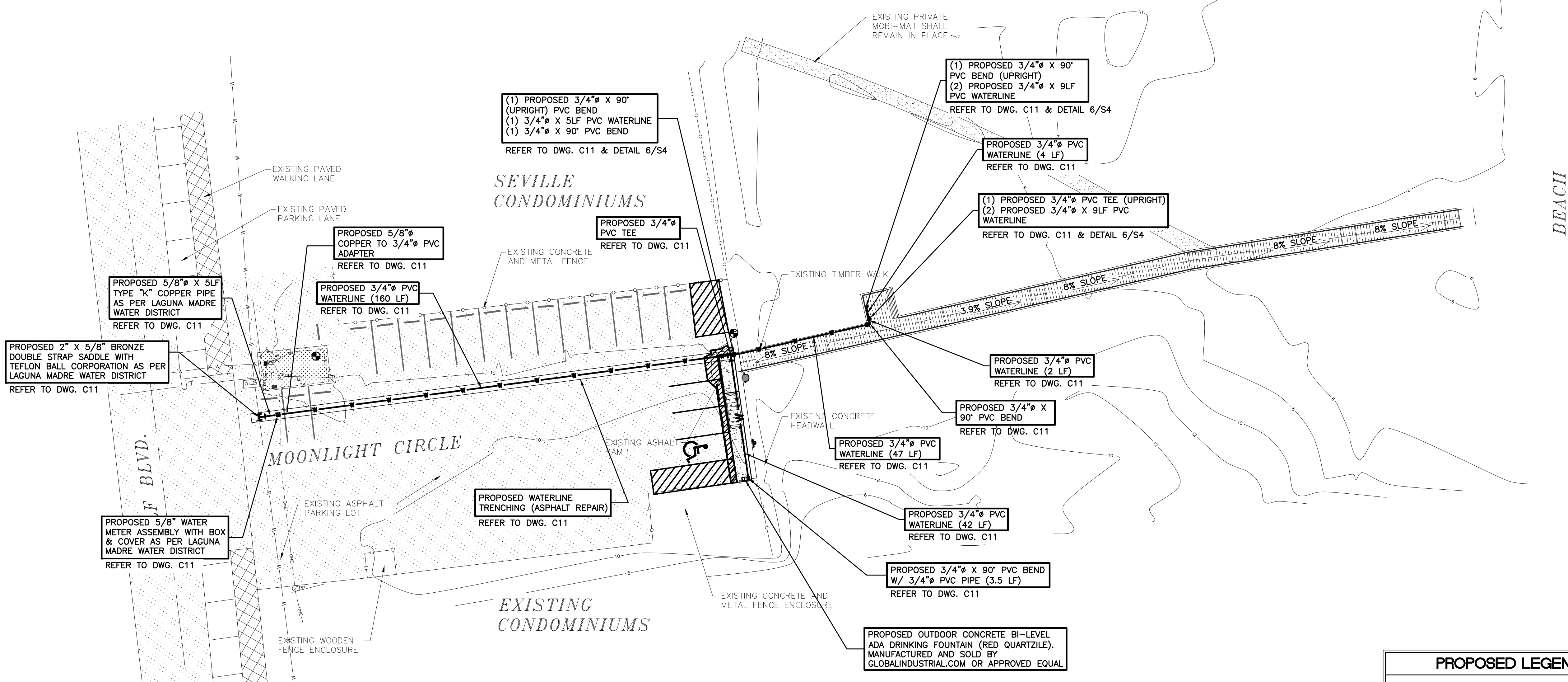
GENERAL NOTES:

1. CONTRACTOR SHALL COMPLY WITH THE LATEST EDITION OF LAGUNA MADRE WATER DISTRICT STANDARDS AND GUIDELINES.
2. CONTRACTOR SHALL NOTIFY LAGUNA MADRE WATER DISTRICT AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF WORK IN ORDER TO HAVE LAGUNA MADRE WATER DISTRICT AGENT PRESENT DURING WORK.
3. CONTRACTOR TO VERIFY DEPTH OF EXISTING 2" WATERLINE. PROPOSED WATERLINE SHALL HAVE A MINIMUM 3'-0" COVER REQUIREMENT.
4. CONTRACTOR SHALL COORDINATE ALL EXCAVATION WITH OTHER RELATED WORK SUCH AS NEW CONCRETE SIDEWALK, TIMBER RAMPS AND WALKWAYS, THAT SHOW EXTENT OF NEW CONSTRUCTION.
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10. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION AND SAFETY OF THE WORK, WORKERS, SUBCONTRACTORS, MATERIALS, AND EQUIPMENT.
11. ALL THE CONSTRUCTION STAKING AND TESTING SHALL BE PROVIDED BY THE CONTRACTOR.

A UTILITY IMPROVEMENT PLAN
C8 C8
20 0 20 40
SCALE: 1"=20'

PROPOSED LEGEND

- | | |
|---------|------------------------------------|
| 14.50TR | TOP OF RETAINING WALL ELEVATION |
| 14.50SW | TOP OF CONCRETE SIDEWALK ELEVATION |
| 17.00TW | TOP OF TIMBER WALKWAY ELEVATION |
| 14.50TA | TOP OF ASPHALT REPAIR ELEVATION |
| 17.00TC | TOP OF CURB ELEVATION |
| 17.00TF | TOP OF FENCE ELEVATION |
| 00.0 | FINISHED GRADE ELEVATION |
| | PROPOSED CONCRETE SIDEWALK |
| | PROPOSED TIMBER WALKOVER |
| | PROPOSED ASPHALT REPAIR |
| | SLOPE DIRECTION |
| | PROPOSED SIGN |
| | PROPOSED WHEEL STOP |



CONSULTANT'S SHEET
PROJECT NO. 15450-03

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INTERNATIONAL CONSULTING ENGINEERS
555 N. CARANCAHUA ST. STE. 860
CORPUS CHRISTI, TX 78401
PHONE: 361.926.5805
FAX: 361.926.5806

I.B.P.E. FIRM REGISTRATION #F-10837



CITY OF SOUTH PADRE ISLAND
MOONLIGHT CIRCLE BEACH ACCESS IMPROVEMENTS
BEACH ACCESS #13

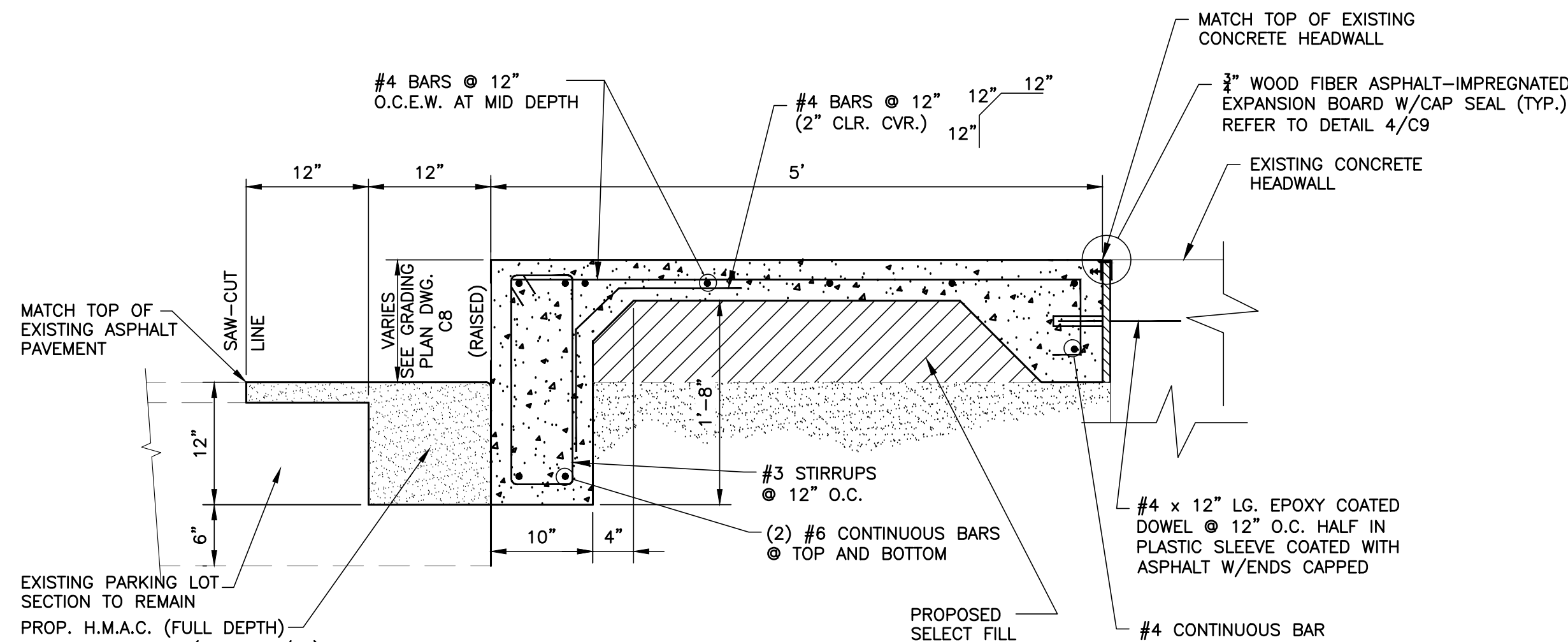
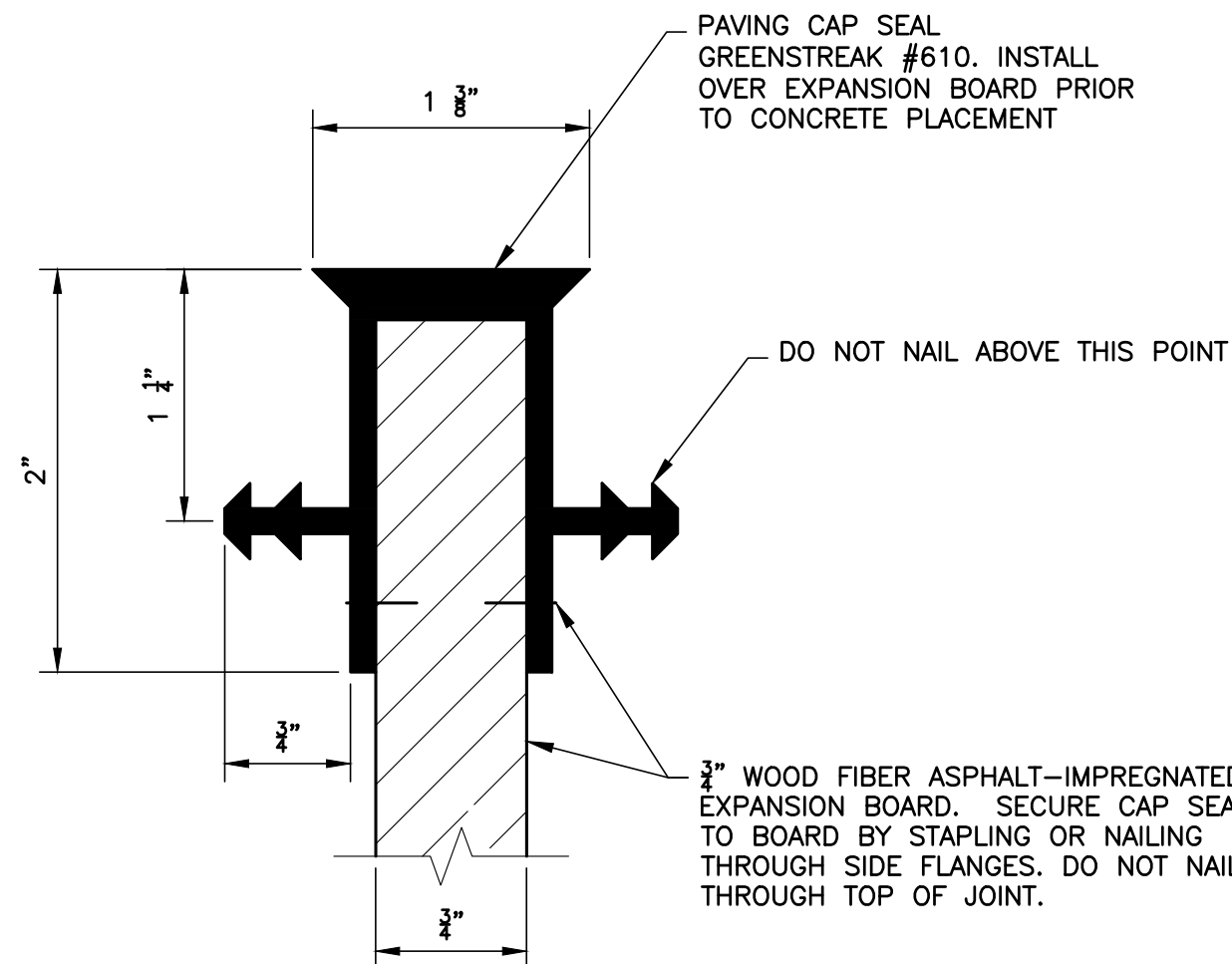
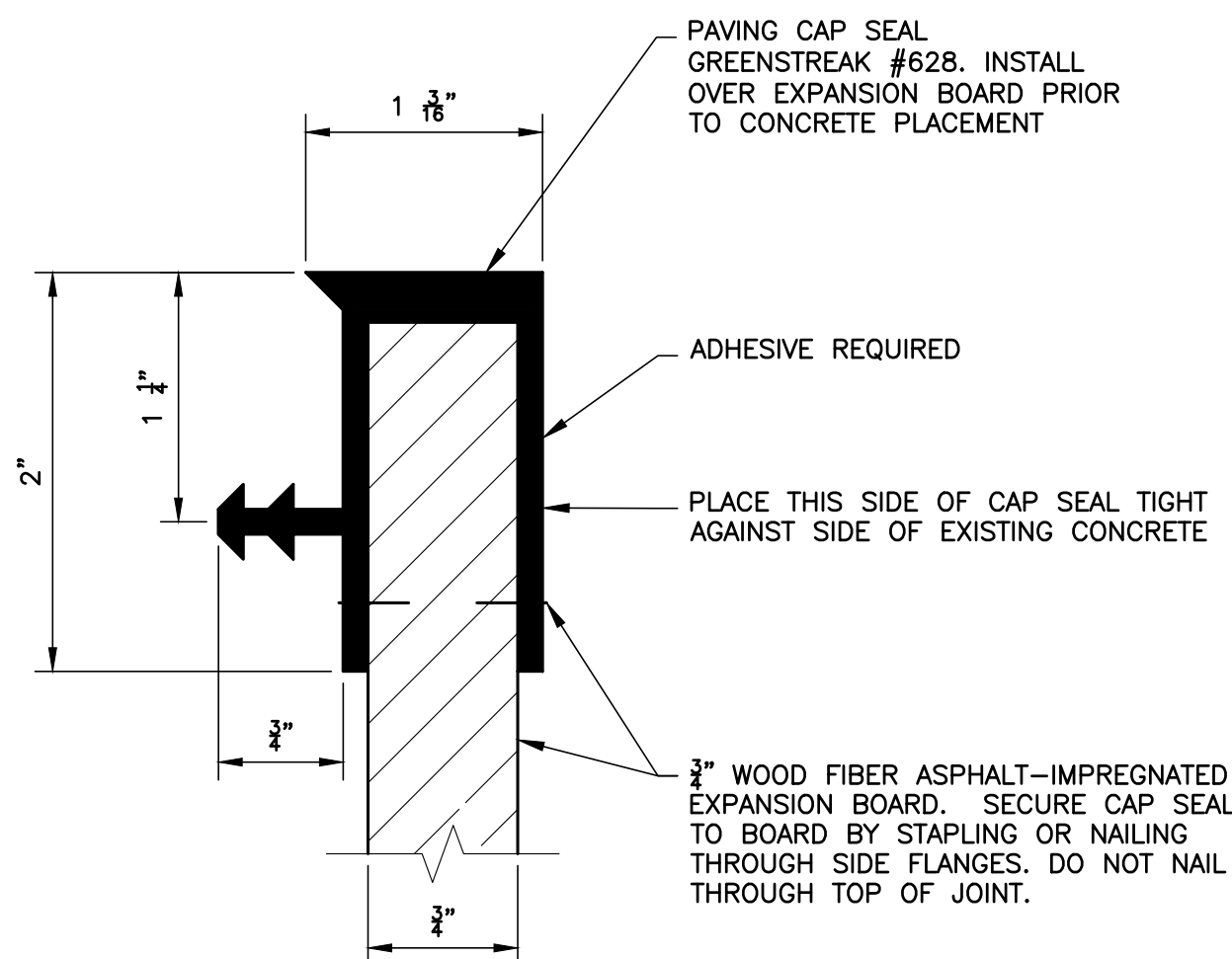
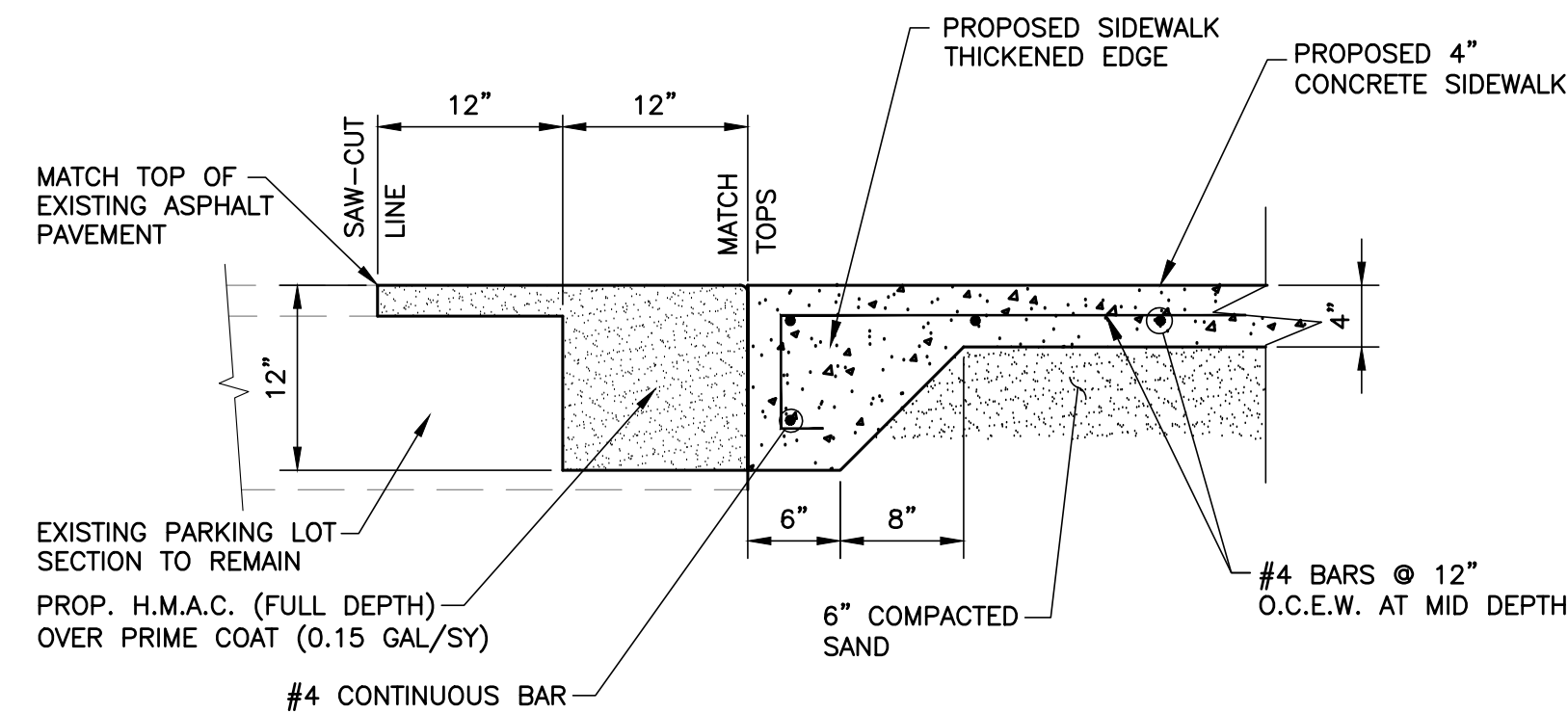
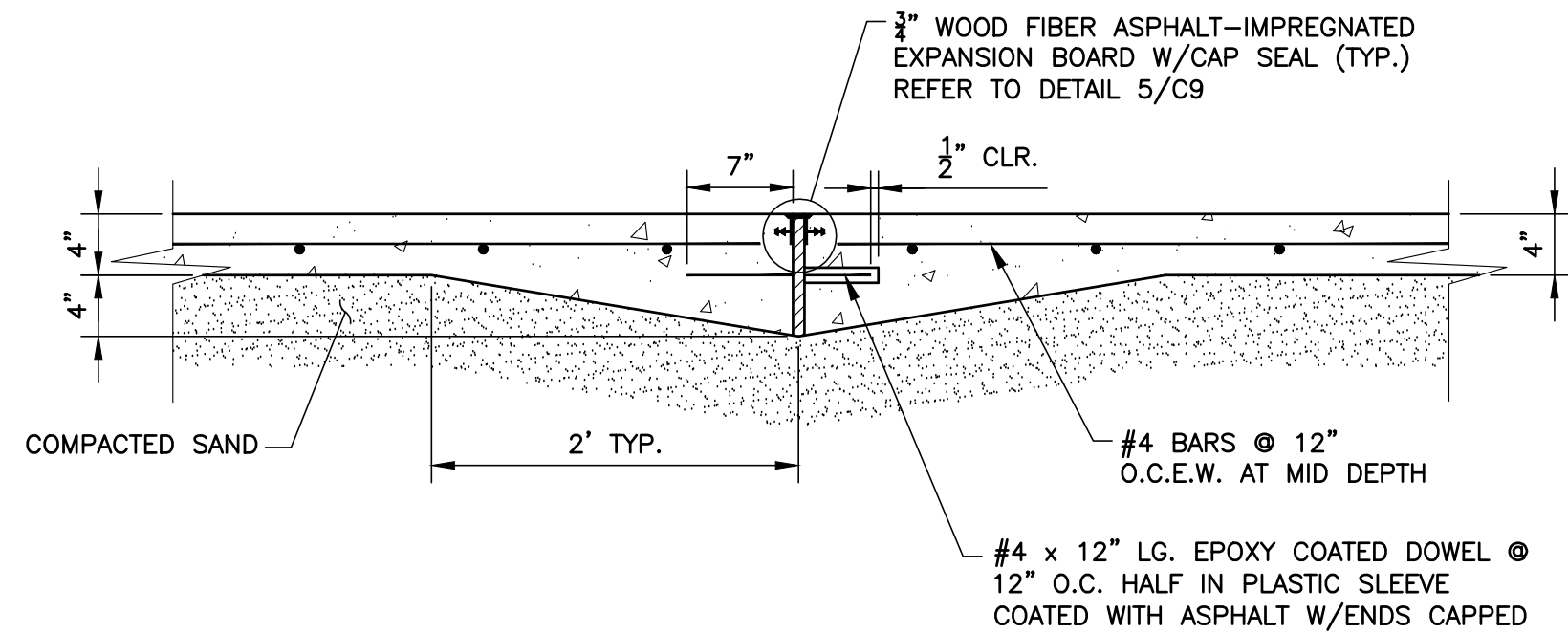
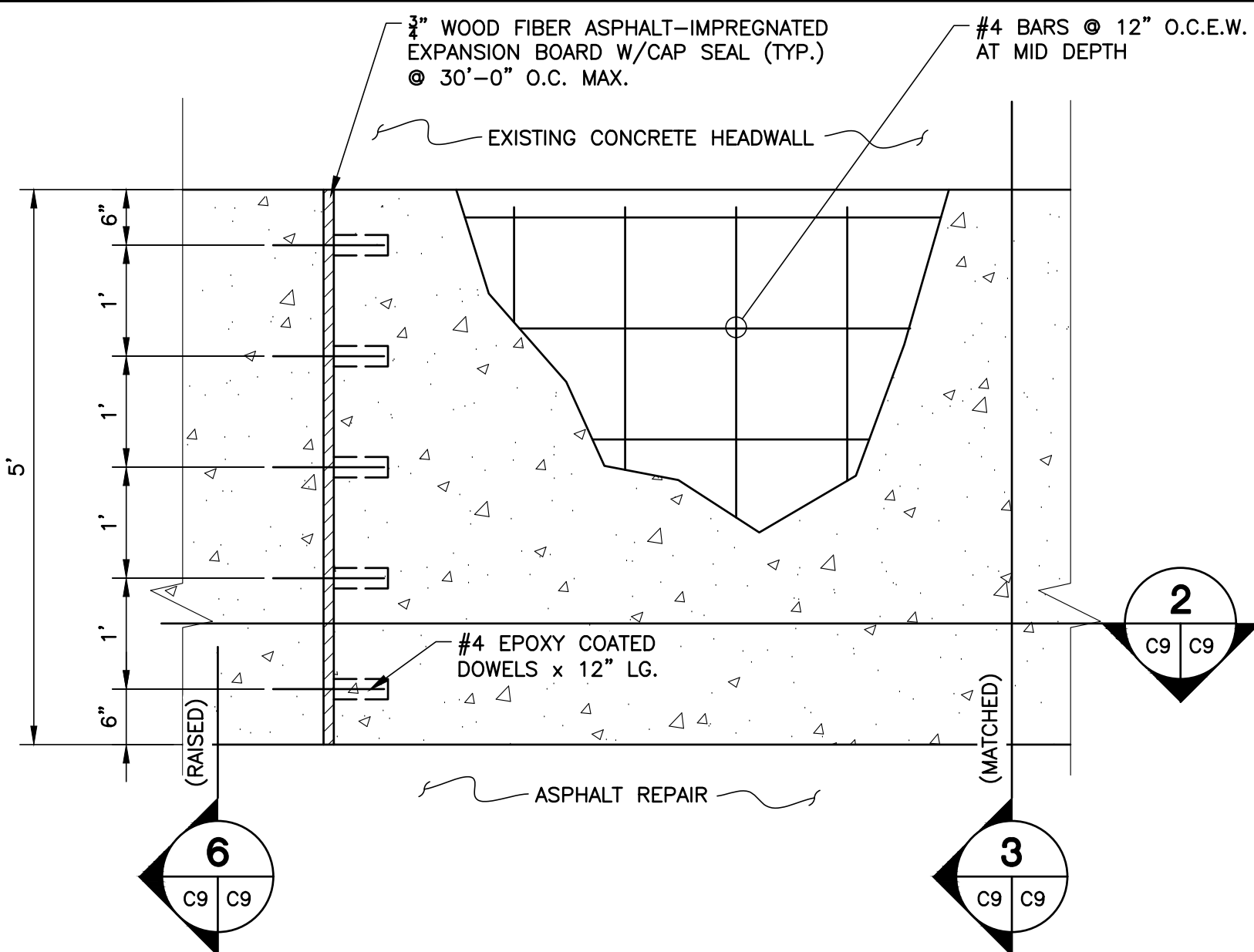
UTILITY IMPROVEMENT PLAN

DRAWING NO.

C8

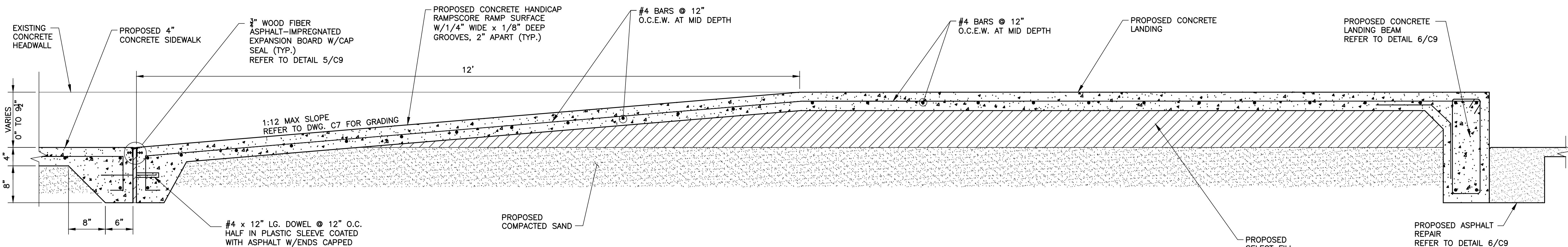
SHEET 9 of 16

FILE NAME: F:\2015\City of South Padre Island\Moonlight Circle Access Improvements\Drawings\Civil\10-C9-CONCRETE SW DETAILS.dwg LAYOUT NAME: Layout1 PLOTTED: Thursday, January 05, 2017 - 4:38pm USER: Okontelva



SIDEWALK NOTES:

1. ALL EXPANSION JOINTS TO BE 3/4" WOOD FIBER ASPHALT-IMPREGNATED EXPANSION BOARD, FOR FULL DEPTH OF SIDEWALK, UNLESS NOTED OTHERWISE.
2. ALL CONCRETE CLASS "A", 3,000 psi. @ 28 DAYS. ALL STEEL, GRADE 60, fy = 60,000 psi.
3. FINISHES FOR CONCRETE SIDEWALK TO BE BROOM FINISHED.
4. CONTROL JOINTS OR PLANES OF WEAKNESS (DUMMY JOINTS) 1/2" DEEP SHALL BE TOOLED INTO SIDEWALK AT THE MAXIMUM SPACING EQUAL TO THE WIDTH OF THE SIDEWALK.



CONSULTANT'S SHEET
PROJECT NO. 15450-03

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INTERNATIONAL CONSULTING ENGINEERS
555 N. CARANCAHUA ST. STE. 860
CORPUS CHRISTI, TX 78401
PHONE: 361.926.5805
FAX: 361.926.5806

18.P.E. FIRM REGISTRATION #F-10837



CITY OF SOUTH PADRE ISLAND
MOONLIGHT CIRCLE BEACH ACCESS IMPROVEMENTS
BEACH ACCESS #13

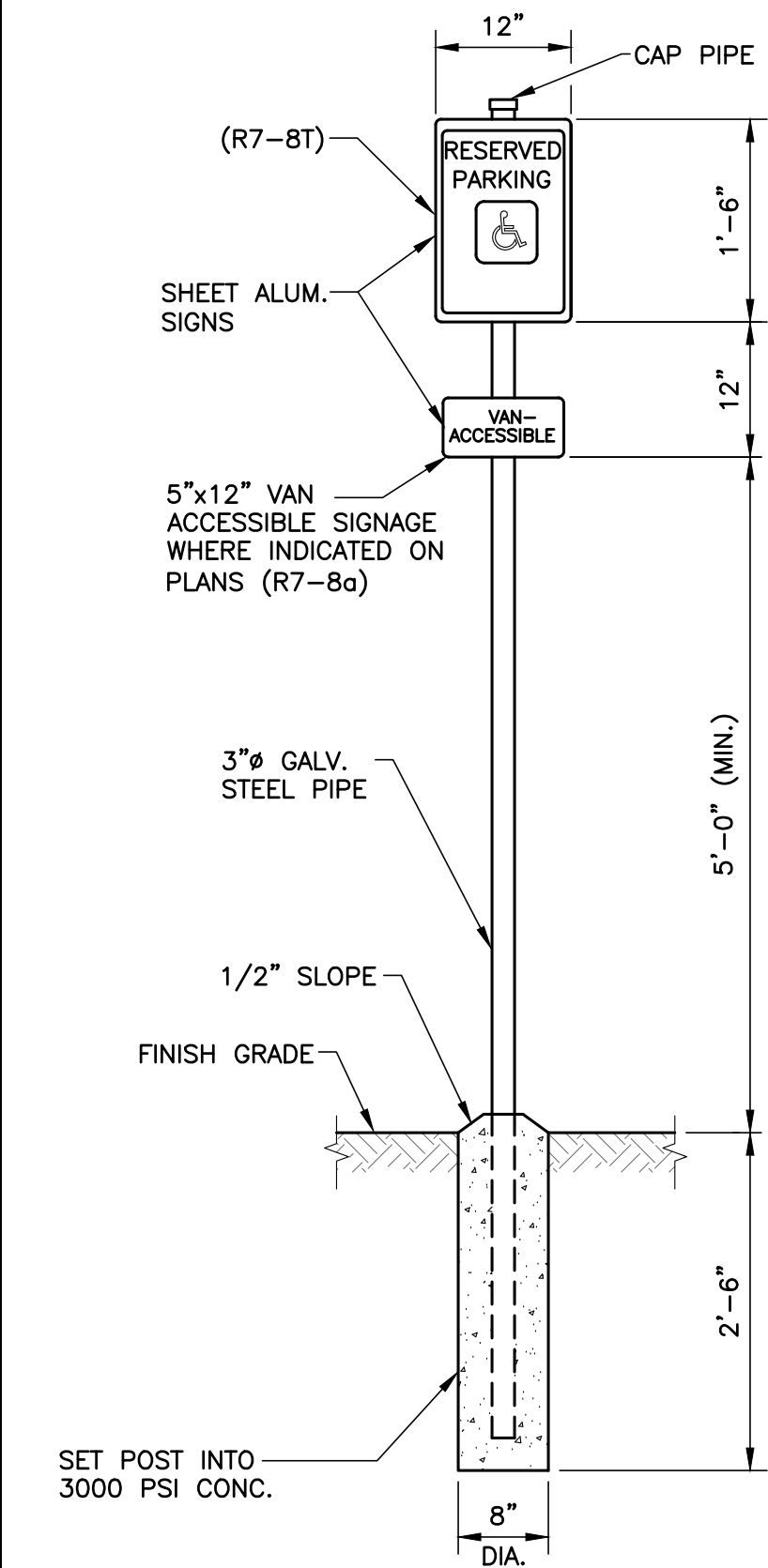
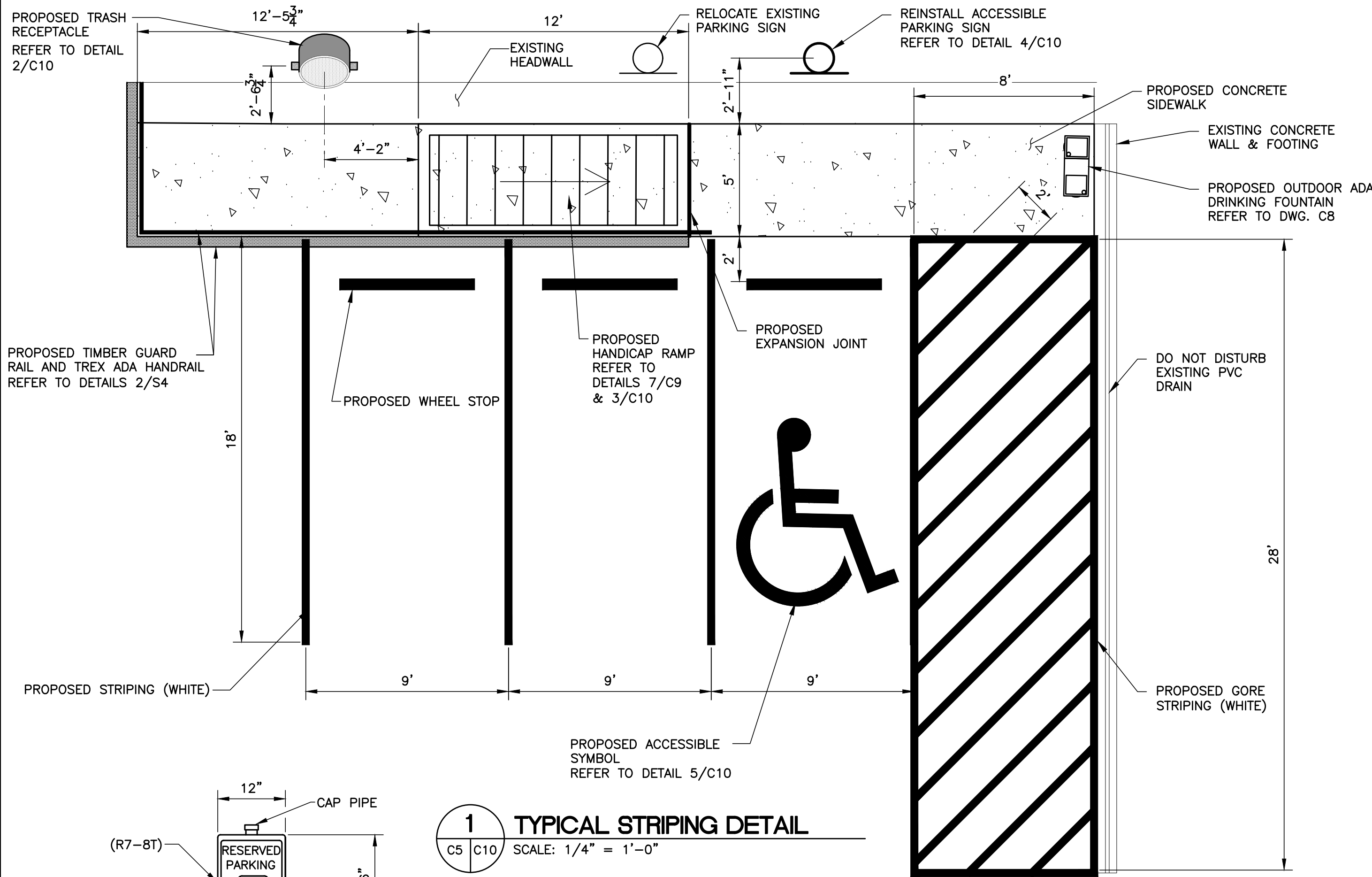
CONCRETE SIDEWALK DETAILS

DRAWING NO.

C9

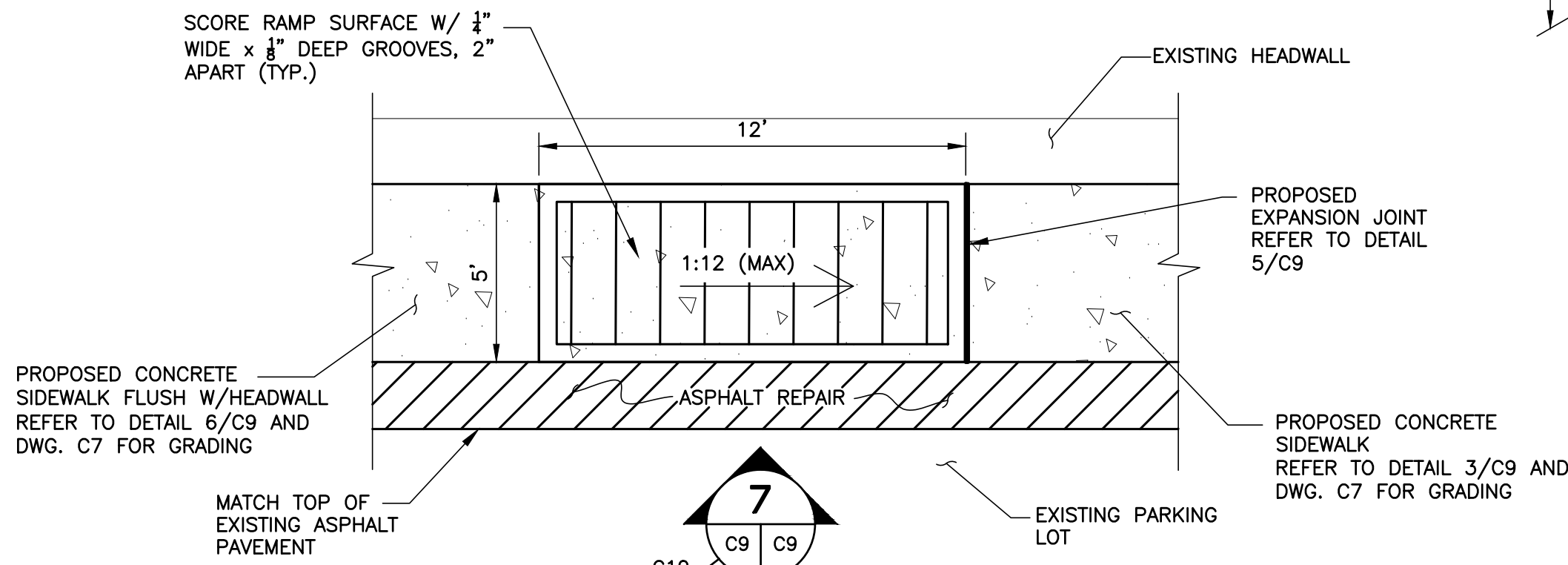
SHEET 10 of 16

FILE NAME: F:\2015\City of South Padre Island\Moonlight Circle Access Improvements\Drawings\Civil\11-C10-PAVEMENT DETAILS.dwg LAYOUT NAME: Layout1 PLOTTED: Thursday, January 05, 2017 - 4:38pm USER: CMonteliva



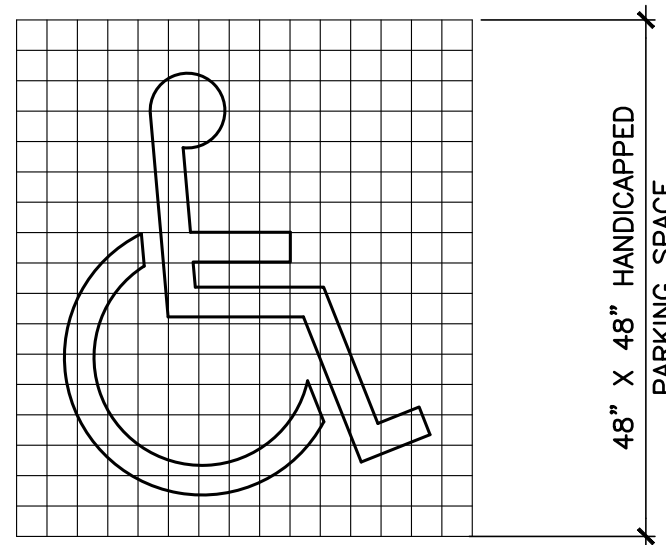
1 TYPICAL STRIPING DETAIL

C5 C10 SCALE: 1/4" = 1'-0"



3 PROPOSED HANDICAP CONCRETE RAMP DETAIL

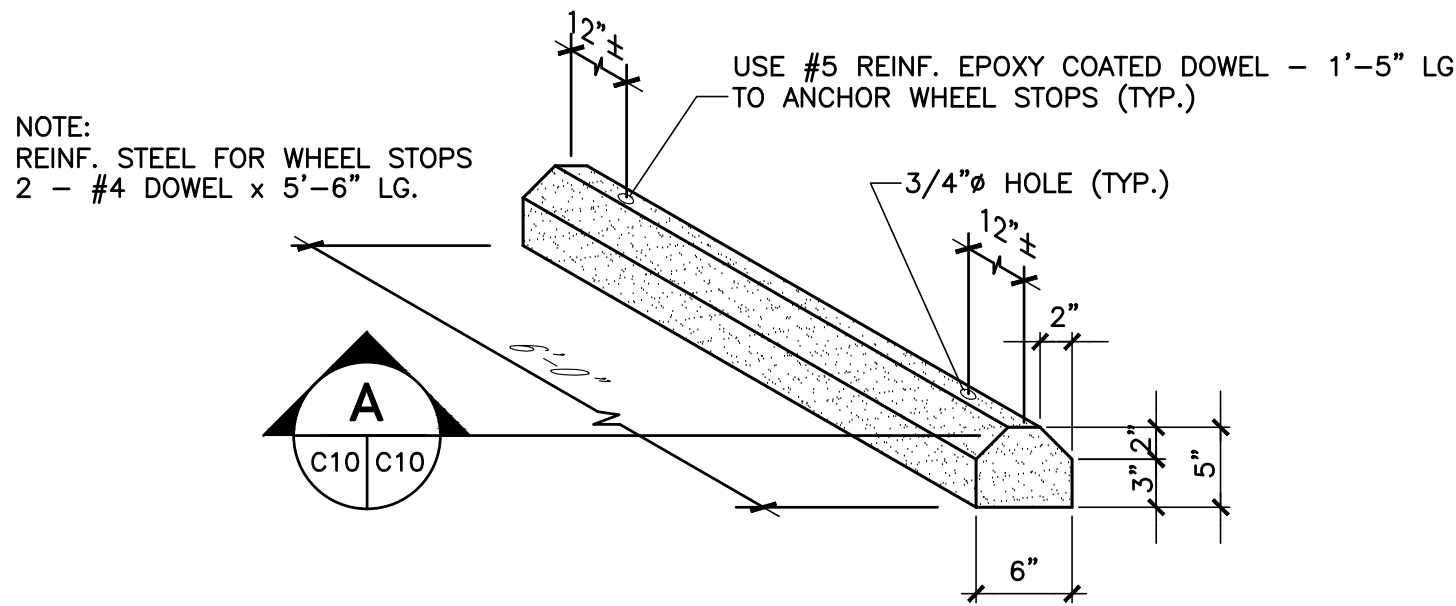
C5 C10 SCALE: 1/4" = 1'-0"



5 ACCESSIBLE SYMBOL DETAIL

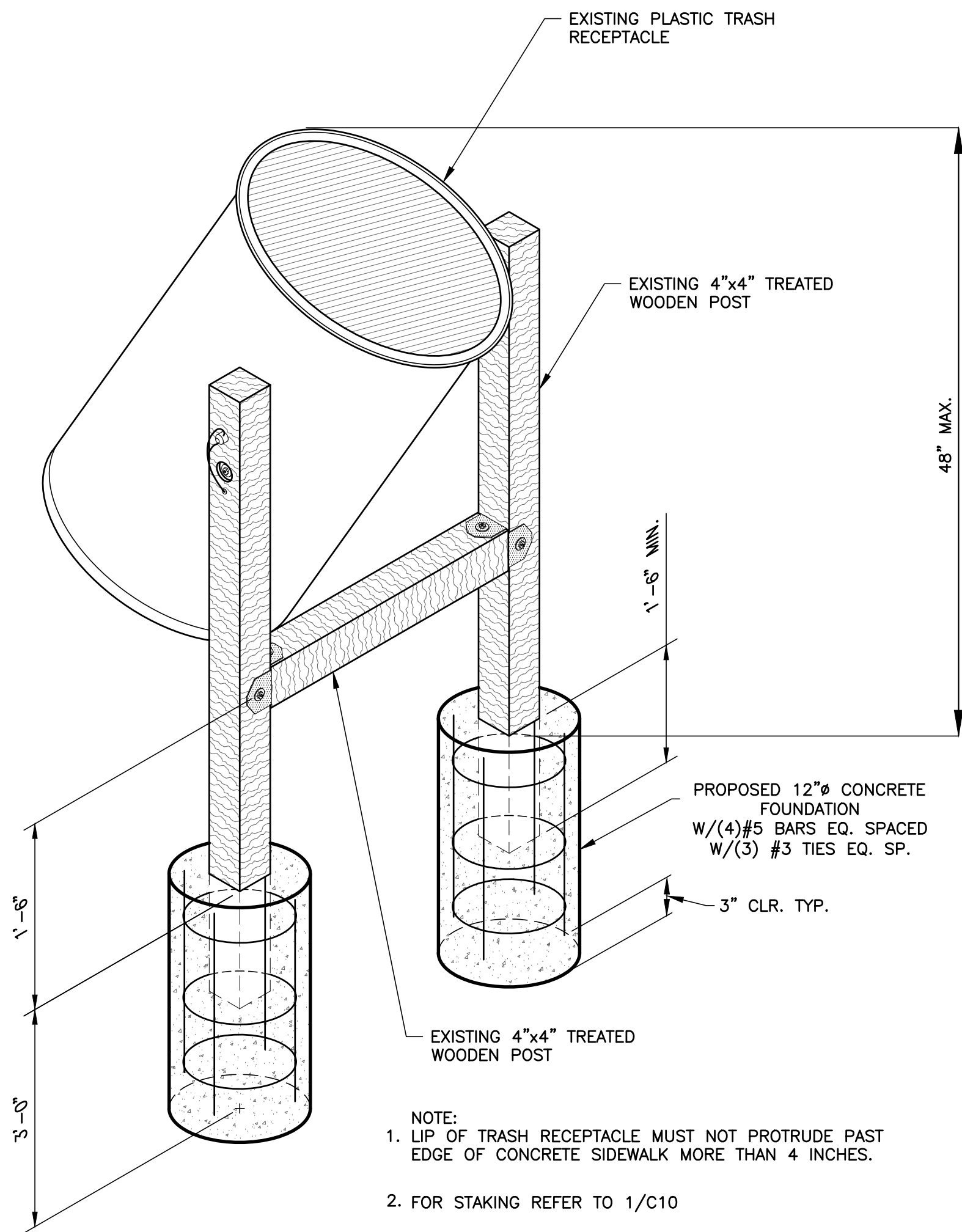
C5 C10 SCALE: N.T.S.

NOTE: WHEELCHAIR SYMBOL SHALL BE PAINTED WHITE ON A BLUE BACKGROUND.



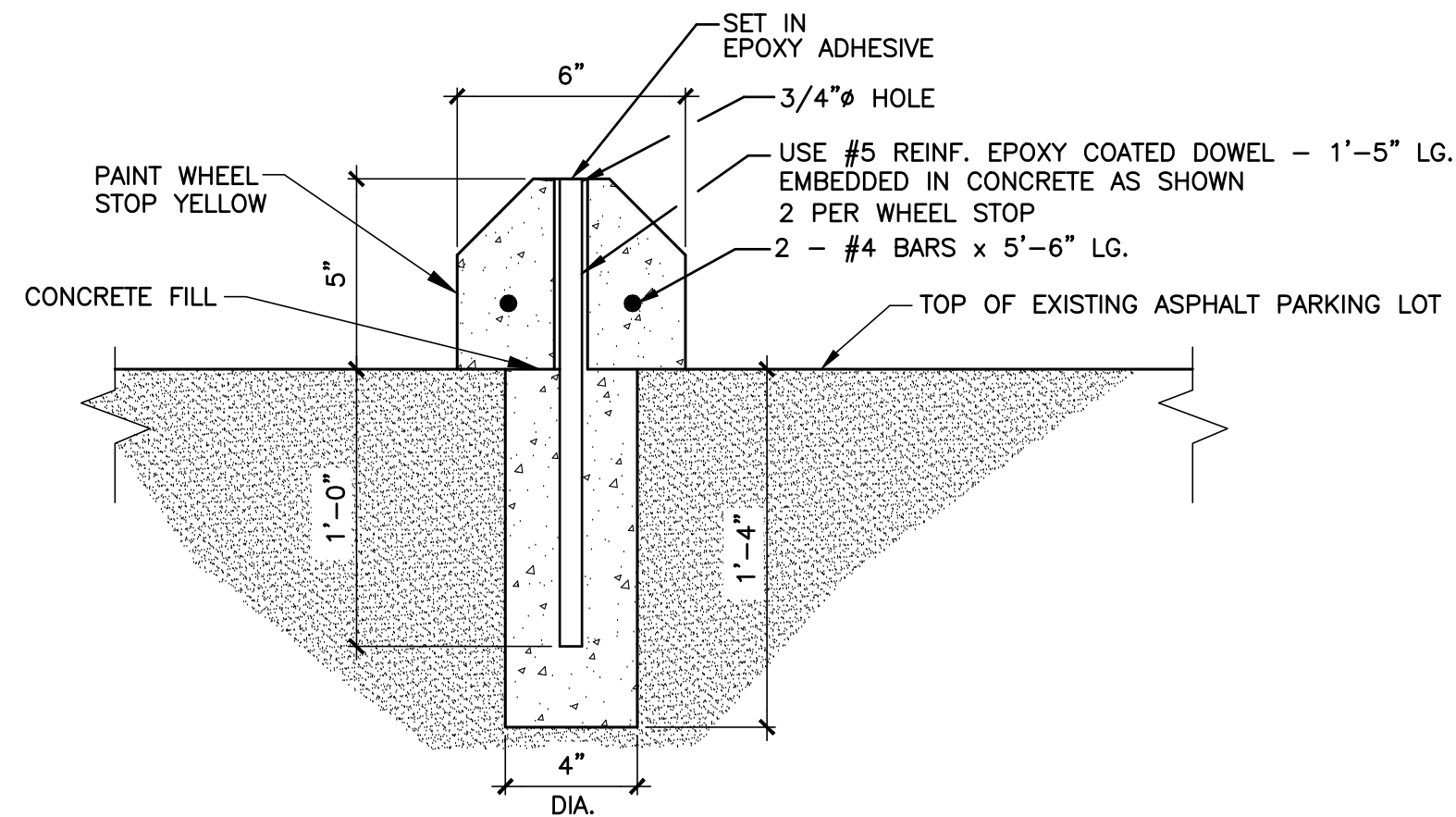
6 WHEEL STOP DETAIL

C5 C10 SCALE: N.T.S.



2 PROPOSED TRASH RECEPTACLE FOUNDATION

C12 C5 C10 SCALE: N.T.S.



A WHEEL STOP SECTION

C10 C10 SCALE: N.T.S.

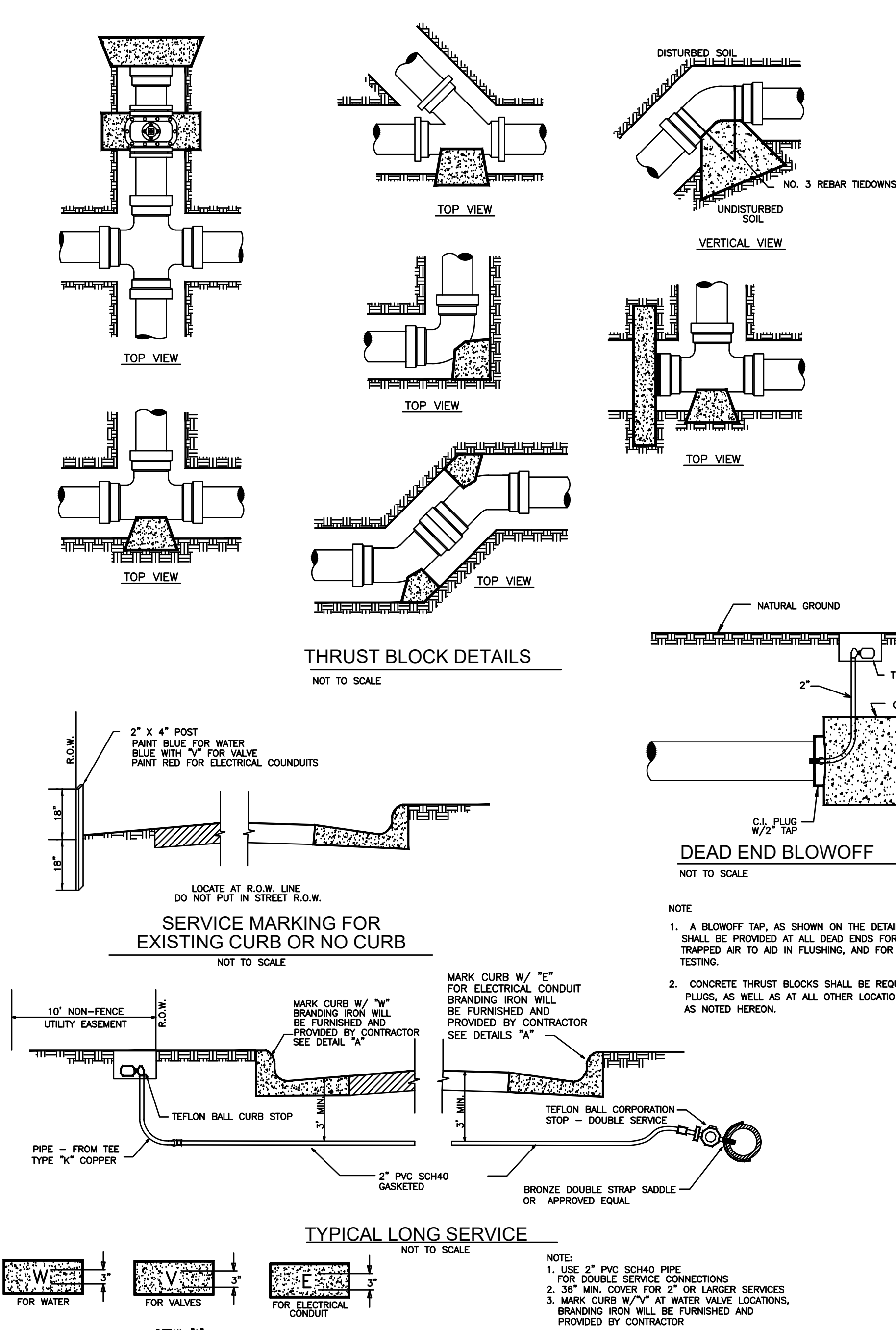
4 ACCESSIBLE PARKING SIGN DETAIL

C5 C10 NOT TO SCALE

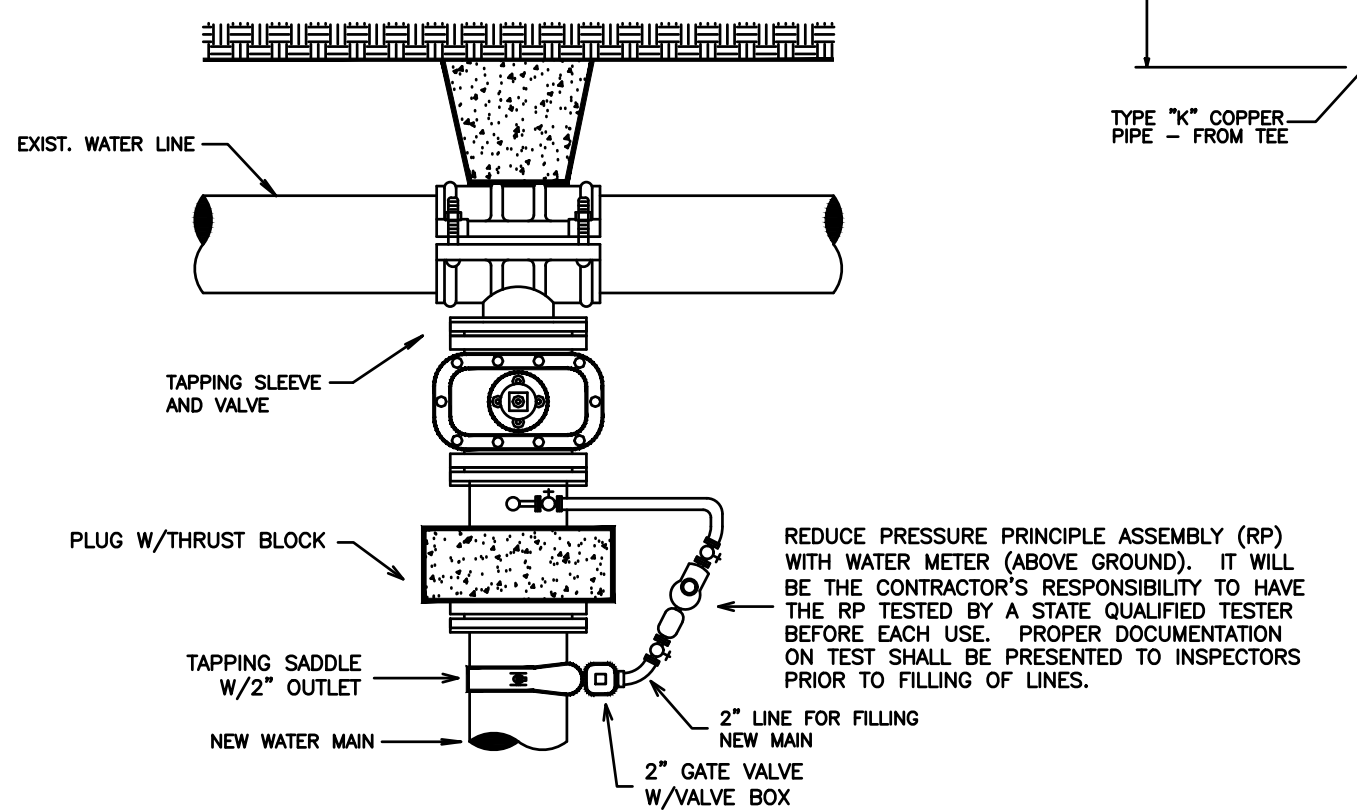
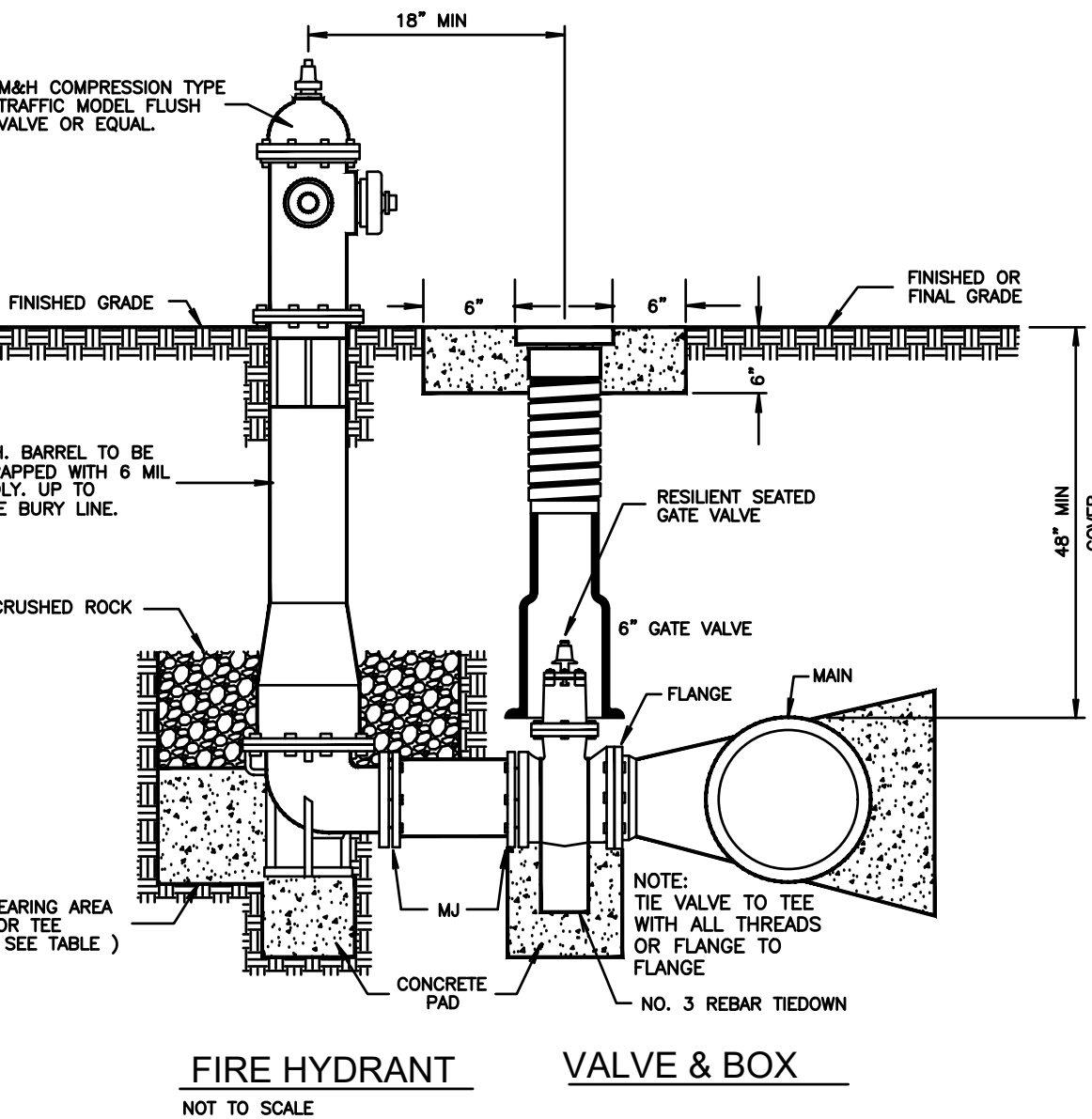
NOTE:
1. SIGN FACE SHALL BE REFLECTORIZED FLAT SURFACE SHEETING.
2. SIGN SHALL HAVE WHITE LETTERS AND SYMBOLS ON A BLUE BACKGROUND.
3. SIGNS SHALL BE PROVIDED DIRECTLY IN FRONT OF PARKING SPACE.

CONSULTANT'S SHEET		PROJECT NO. 15450-03	
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INTERNATIONAL CONSULTING ENGINEERS		555 N. CARANCAHUA ST. STE. 860	
PHONE: 361.926.5805		CORPUS CHRISTI, TX 78401	
FAX: 361.926.5806		18.P.E. FIRM REGISTRATION #F-10837	
DESCRIPTION		BY	
REVISION NO.		DATE	
CITY OF SOUTH PADRE ISLAND		MOONLIGHT CIRCLE BEACH ACCESS IMPROVEMENTS	
CITY OF SOUTH PADRE ISLAND		BEACH ACCESS #13	
DRAWING NO.		C10	
SHEET 11 of 16		PAVEMENT DETAILS	

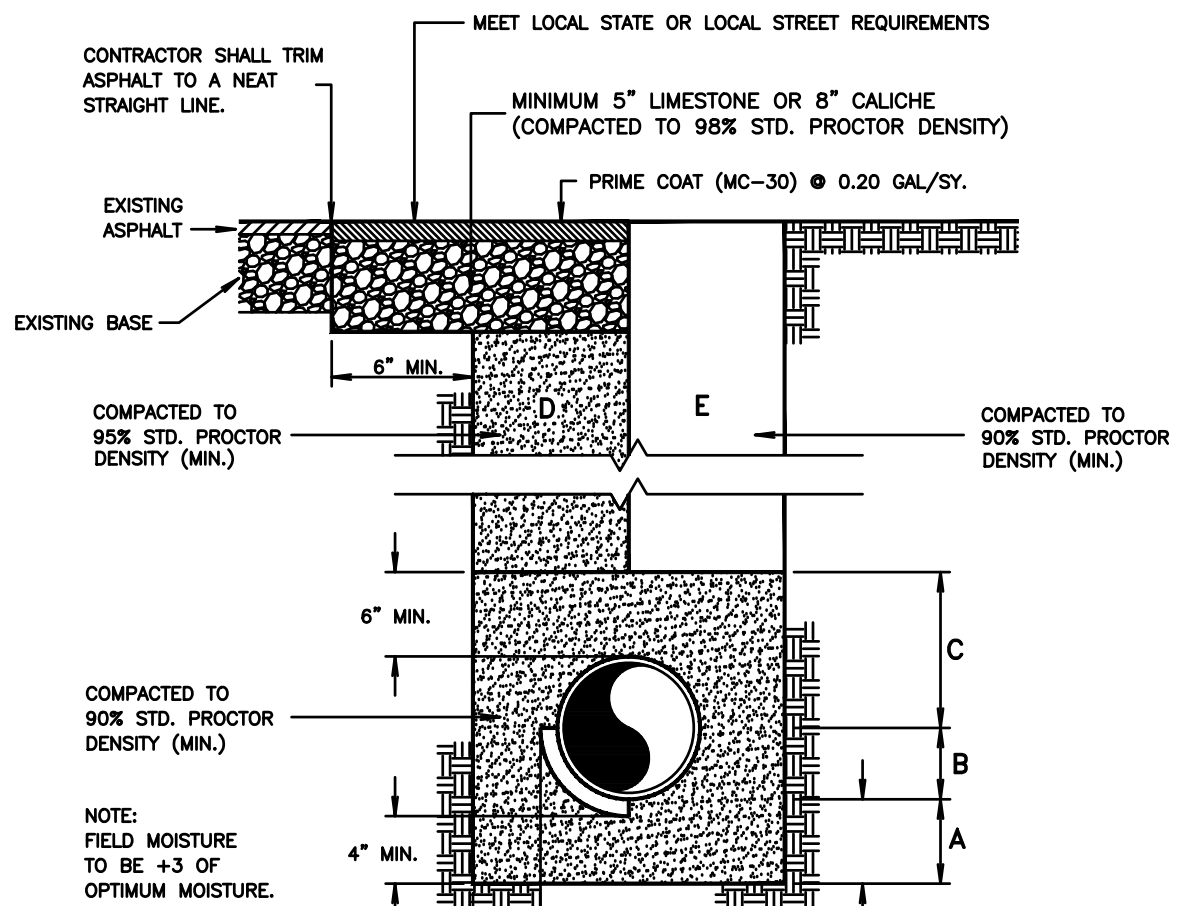
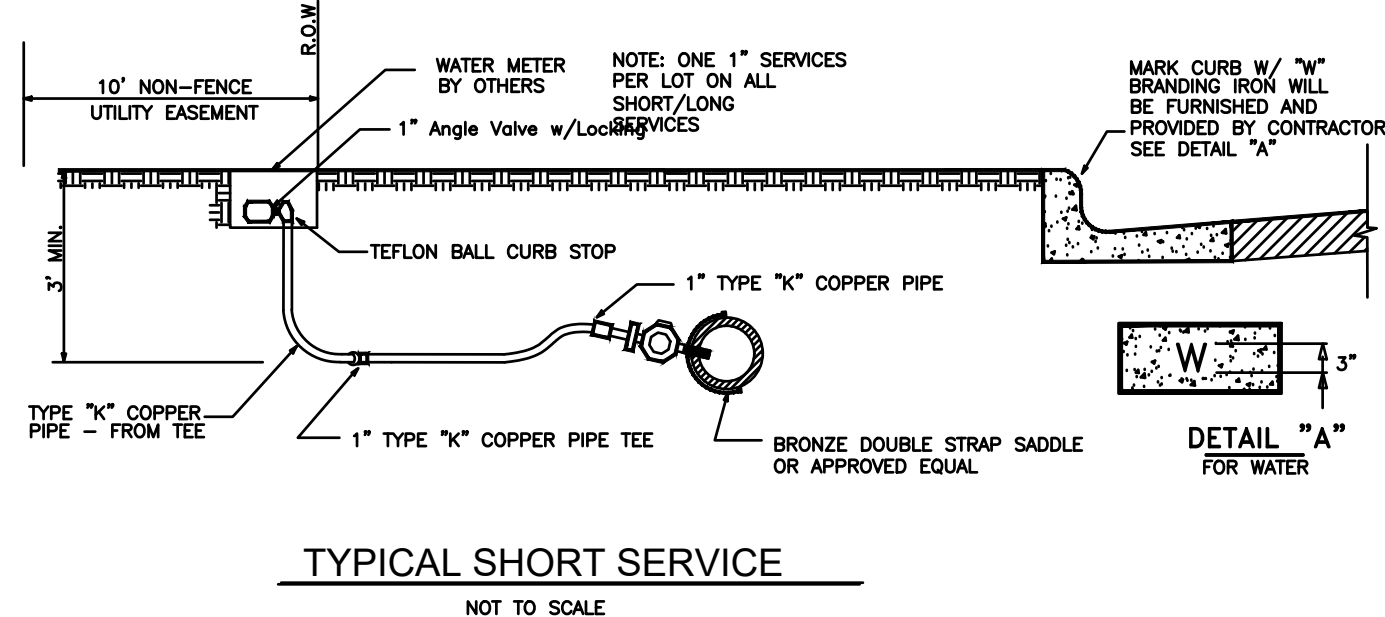
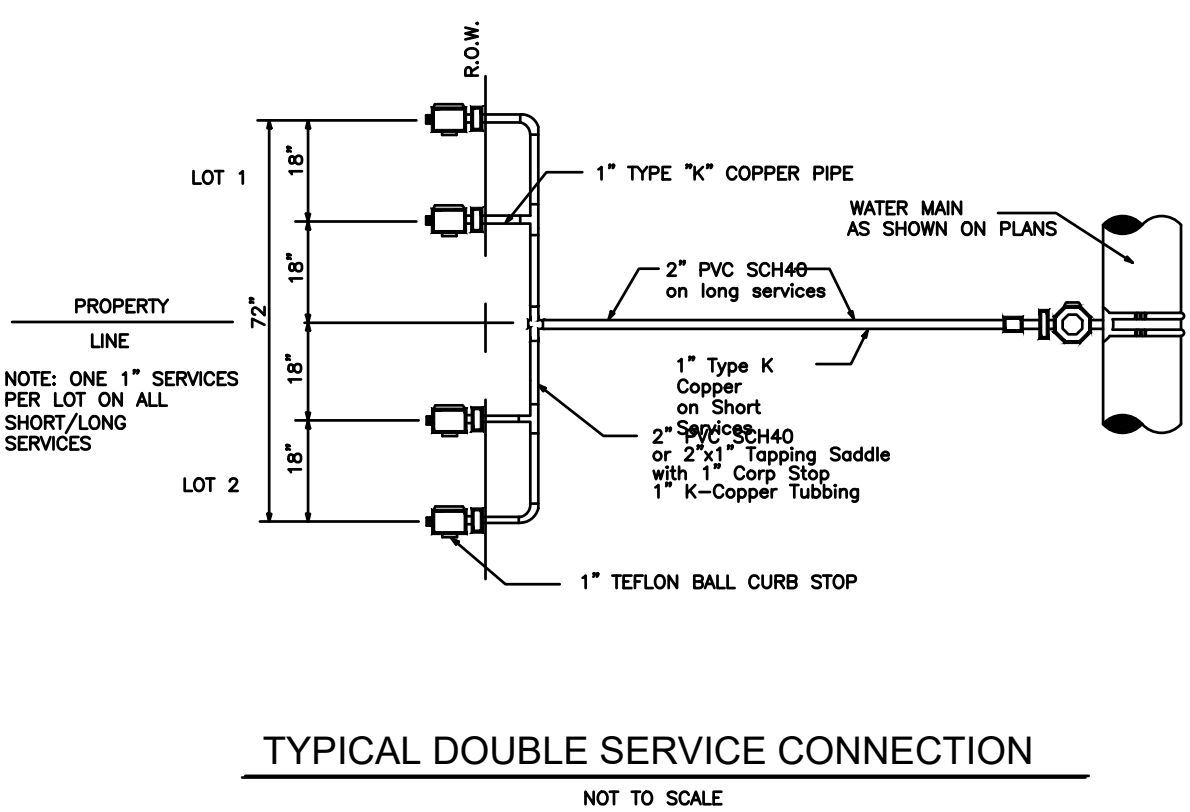
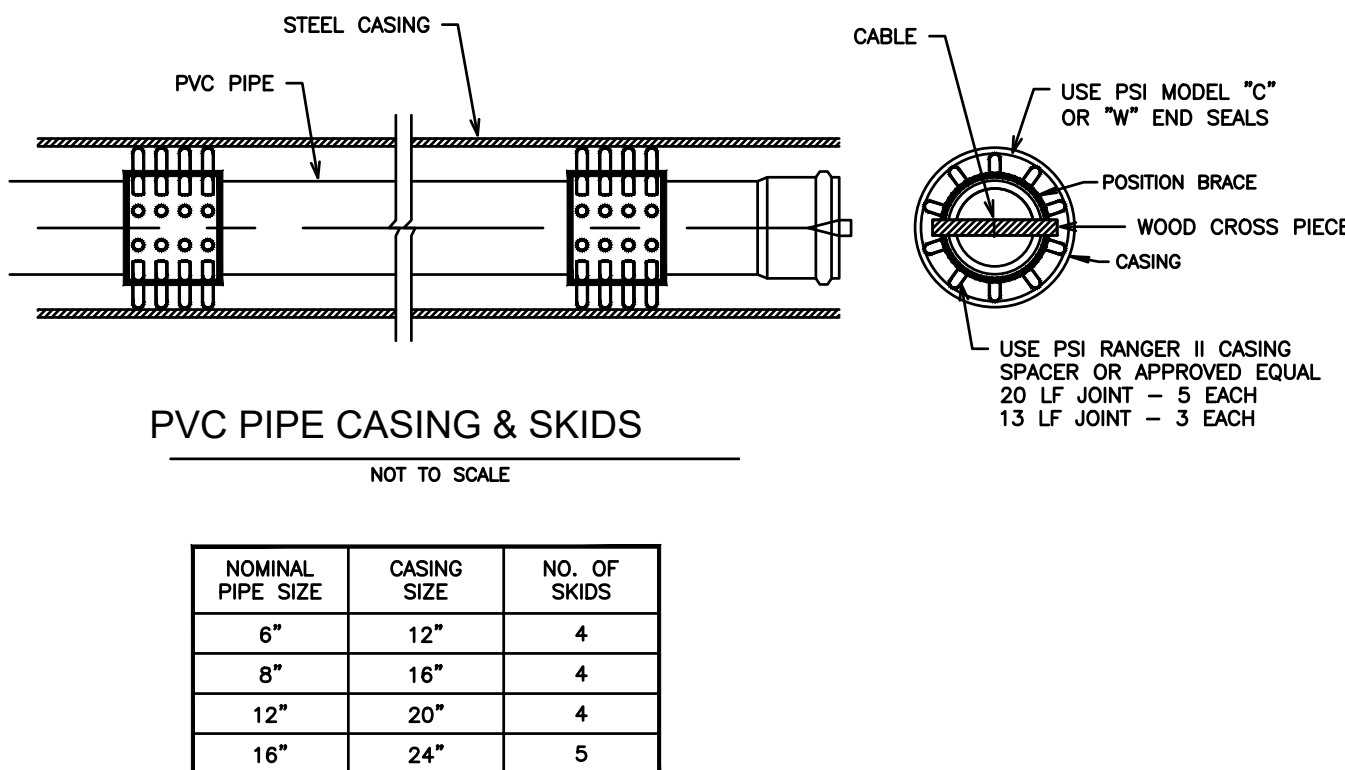
FILE NAME: F:\2015\City of South Padre Island\Moonlight Circle Access Improvements\Drawings\Civil\12-C11-UTILITY DETAILS.dwg LAYOUT NAME: Layout1 PLOTTED: Thursday, January 05, 2017 - 4:39pm USER: Clemente



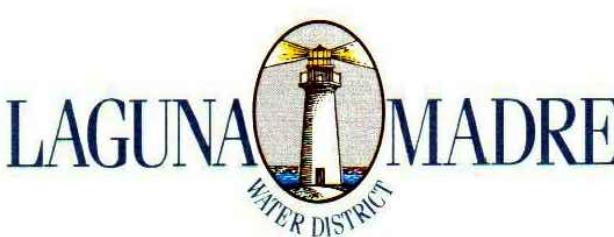
PIPE SIZE	6"		8"		10"		12"		16"	
	MIN. BEARING AREA FT.	RECOM'D DIMENSION FT. X FT.	MIN. BEARING AREA FT.	RECOM'D DIMENSION FT. X FT.	MIN. BEARING AREA FT.	RECOM'D DIMENSION FT. X FT.	MIN. BEARING AREA FT.	RECOM'D DIMENSION FT. X FT.	MIN. BEARING AREA FT.	RECOM'D DIMENSION FT. X FT.
TEE (OR TAPPING SLEEVE)	5.9	2.5'X2.5'	10.1	3.2'X3.2'	16.4	4.1'X4.1'	23.3	4.9'X4.9'	40.8	6.4'X6.4'
DEAD END	5.9	2.5'X2.5'	10.1	3.2'X3.2'	16.4	4.1'X4.1'	23.3	4.9'X4.9'	40.8	6.4'X6.4'
VALVE (OR TAPPING VALVE)	5.9	2.5'X2.5'	10.1	3.2'X3.2'	16.4	4.1'X4.1'	23.3	4.9'X4.9'	40.8	6.4'X6.4'
90° ELBOW	8.3	2.9'X2.9'	14.1	3.8'X3.8'	23.1	4.9'X4.9'	23.7	5.8'X5.8'	57.5	7.8'X7.8'
45° ELBOW	4.5	2.2'X2.2'	7.7	2.8'X2.8'	12.6	3.6'X3.6'	17.9	4.3'X4.3'	31.4	5.6'X5.6'
22-1/2° ELBOW	2.3	1.6'X1.6'	3.9	2.0'X2.0'	6.5	2.6'X2.6'	9.2	3.1'X3.1'	15.9	4.0'X4.0'



STEEL CASING WALL THICKNESS CHART	
MINIMUM THICKNESS	DIAMETER OF CASING PIPE
1/4"	12" OR LESS
5/16"	OVER 12"-18"
3/8"	OVER 18"-22"
7/16"	OVER 22"-28"
1/2"	OVER 28"-34"
9/16"	OVER 34"-42"
5/8"	OVER 42"-48"
OVER 48" MUST BE APPROVED BY B.P.U.B.	
NOTE: THIS CHART IS ONLY FOR SMOOTH STEEL CASING PIPES WITH MINIMUM YIELD STRENGTH OF 35,000 PSI	



- A SAND BEDDING PLACED BEFORE PIPE IS LAID UP TO FLOW LINE OF PIPE (MIN. THICKNESS = 6").
- B SAND BACKFILL PLACED AFTER PIPE IS LAID FROM BOTTOM OF PIPE TO SPRING LINE OF PIPE (4" LIFTS, HAND TAMPED).
- C SAND BACKFILL PLACED FROM SPRING LINE OF PIPE TO 6" ABOVE TOP OF PIPE (6" LIFTS, HAND TAMPED).
- D SAND BACKFILL, CLASS "A" (6" LIFTS, MECHANICAL COMPACTION).
- E EARTH BACKFILL, CLASS "B" (12" LIFTS, MECHANICAL COMPACTION).
- FOUNDATION PREPARATION (WELLPPOINTS, GRAVEL OR CEMENT STABILIZATION, OR APPROVED SUBSTITUTE) SHALL BE REQUIRED WHEN TRENCH BOTTOM IS UNSTABLE.
- BACKFILLING AT STRUCTURES SHALL BE PLACED IN UNIFORM LAYERS, MOISTENED AS REQUIRED TO APPROXIMATE OPTIMUM MOISTURE CONTENT, AND COMPACTED TO 95% STD. PROCTOR DENSITY. THE THICKNESS OF EACH LOOSE LAYER SHALL NOT EXCEED 6". STRUCTURE BACKFILL MATERIAL SHALL BE SAND, APPROVED SITE SOIL, OR OTHER APPROVED SUBSTITUTE.



CONSULTANT'S SHEET
PROJECT NO. 15450-03

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I.B.P.E. FIRM REGISTRATION #F-10837



CITY OF SOUTH PADRE ISLAND
MOONLIGHT CIRCLE BEACH ACCESS IMPROVEMENTS
BEACH ACCESS #13

LAGUNA MADRE WATER DISTRICT UTILITY DETAILS

DRAWING NO.
C11

SHEET 13 of 16

FILE NAME: F:\2015\City of South Padre Island\Moonlight Circle Access Improvements\Drawings\Structural\13-S1-GENERAL NOTES.dwg LAYOUT NAME: Model PLOTTED: Thursday, January 05, 2017 - 4:39pm USER: OMontelvo

SYMBOLS		MATERIALS				DESIGN			
<div><div><div><div><div></div><div>SECTION NUMBER</div></div><div><div></div><div>SHEET NUMBER SECTION APPEARS ON</div><div>SHEET NUMBER SECTION IS TAKEN FROM</div></div></div><div><div></div><div>DETAIL NUMBER</div><div><div>DETAIL NAME</div><div>SHEET NUMBER DETAIL APPEARS ON</div><div>SHEET NUMBER DETAIL IS TAKEN FROM</div></div></div><div><div></div><div>ELEVATION TARGET</div></div><div><div></div><div>REVISIONS</div></div><div><div></div><div>COLUMN GRID</div></div><div><div>U.N.O.</div><div>UNLESS NOTED OTHERWISE</div></div><div><div>N.T.S.</div><div>NOT TO SCALE</div></div><div><div>O.C.</div><div>ON CENTER</div></div><div><div>E,W,</div><div>EACH WAY</div></div><div><div>T & B</div><div>TOP & BOTTOM</div></div></div><div>SECTION CUT</div><div>DETAIL TITLE</div><div>ELEVATION TARGET</div><div>REVISIONS</div><div>COLUMN GRID</div></div>	CONCRETE				DESIGN LOADS				
	ITEM	28 DAY COMPRESSIVE CYLINDER STRENGTH			REMARKS	LOCATION	*DEAD LOAD	LIVE LOAD	TOTAL
		3000 PSI	3500 PSI	5000 PSI			PSF	PSF	PSF
	ALL CONCRETE U.N.O.	●				WALKOVER	10	60	70
						* SUPERIMPOSED DEAD LOAD IN ADDITION TO SELF WEIGHT ** REDUCIBLE PER ASCE 7-05			
	STEEL					WIND			
	ITEM	ASTM DESIGNATION MINIMUM YIELD STRESS			REMARKS	BASIC WIND SPEED - 140 MPH 3 SECOND GUST IN COMPLIANCE WITH ASCE 7-05			
	A36	A53	A992						
	36 KSI	35 KSI	50 KSI						
BASE PLATES					EARTHWORK GEOTECHNICAL REPORT: GEOTECHNICAL STUDY MOONLIGHT CIRCLE BEACH ACCESS IMPROVEMENTS GULF BOULEVARD SOUTH PADRE ISLAND, TEXAS PREPARED BY: RGV STRATA 717 WEST 2ND STREET MERCEDES, TEXAS 78470 APRIL 04, 2016 RGV STRATA PROJECT #: 161020				
COLUMNS									
BEAMS									
MISC. PL'S & SHAPES									
TUBE STEEL				A500, GRADE B					
PIPE				A53 TYPE E OR S GRADE B, 35 KSI					
METAL DECK				A446, GRADE A					
STRUCT. BOLTS U.N.O.				A325 N					
ANCHOR BOLTS				A307					
THREADED ROD				A307					
ANCHOR RODS				A36 SMOOTH					
REINFORCING STEEL					DESIGN STD'S. & CODE OF PRACTICE				
ASTM-A615, GRADE 60, U.N.O.					BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE, ACI 318-02 BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES, ACI 530-05 INTERNATIONAL BUILDING CODE, IBC 2009 CRSI HANDBOOK, 1990 MINIMUM DESIGN LOADS FOR BUILDINGS & OTHER STRUCTURES, ASCE 7-05 STANDARD SPECIFICATIONS FOR HIGHWAY BRIDGES SIXTEENTH EDITION-1996, AASHTO				

HARDWARE

- ADHESIVE ANCHORS SHALL BE "HILTI-RE 500-SD ADHESIVE ANCHORS" PROVIDED BY HILTI OR APPROVED EQUAL.
- FASTENERS DIAMETER AND LENGTH ARE NOTED ON THE PLANS.
- ALL FASTENERS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- ALL FASTENERS SHALL BE STAINLESS STEEL.

FOUNDATION AND EARTHWORK

- REMOVE TOP SOIL, ORGANIC MATERIAL AND DEBRIS FROM THE SIDEWALK AREA.
- FOUNDATION SYSTEM: TIMBER PILES
- TIMBER PILES SHALL HAVE A MINIMUM EMBEDMENT OF 15FT BELOW THE PROPOSED SAND DUNE FINISH GRADE.
- COMPACTION REQUIREMENTS FOR EXCAVATION AREAS FOR STRUCTURAL ITEM INSTALLATION: (ASTM D-698, METHOD D)
BELOW FOOTINGS - 95%
BELOW SLABS & PAVEMENT - 95%
UNPAVED AREAS - 90%
MAXIMUM LIFT - 8" LOOSE DEPTH

COMPOSITE DECKING MATERIAL

- NOMINAL SIZE OF COMPOSITE DECKING MATERIAL FOR PLANKS SHALL BE 2"x6" BOARD.
- COMPOSITE DECKING BOARD MANUFACTURED BY TREX COMPANY, INC., OR EQUIVALENT COMPOSITE DECKING BOARDS MAY BE USED SUBJECT TO REVIEW AND EVALUATION OF THE ENGINEER.
- COMPOSITE DECKING SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS, PROCEDURES AND REQUIREMENTS.
- ALL FASTENERS SHALL BE MADE OF STAINLESS STEEL.
- DECKING SHALL BE DESIGNED AND INSTALLED TO LIMIT BENDING DEFLECTION UNDER TOTAL LOAD TO LESS THAN OR EQUAL TO L/360 DESIGN LIVE LOAD IS 100 PSF.
- THE CONTRACTOR AND MANUFACTURER SHALL SUBMIT TO THE ENGINEER THE FOLLOWING FOR REVIEW AND EVALUATION:
A. PRODUCT DATA INCLUDING SPECIFICATIONS, PRODUCT HANDLING, AND INSTALLATION INSTRUCTION.
- DECKING PLANKS SHALL BE INSTALLED WITH A 1/8" SPACE BETWEEN PLANKS AS PER GENERAL LAND OFFICE GUIDELINES

DESIGN CRITERIA

- LIVE LOAD 60 PSF
- WIND LOAD: BASED ON ASCE 7-05 REQUIREMENTS FOR 140 MPH WIND
- IMPORTANCE FACTOR 1.00
- EXPOSURE FACTOR C
- FOUNDATION DESIGN IS IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE, AND IS BASED ON VALUES RECOMMENDED IN TABLE 1806.2 - PRESUMPTIVE LOAD BEARING VALUES, AS LISTED BELOW:

END BEARING CAPACITY (WOOD PILES) 500 PSF

SKIN FRICTION (WOOD PILES) 30 PSF
- A GEOTECHNICAL ENGINEER SHALL BE RETAINED TO PERFORM TESTING AND PRESUMPTIVE LOAD - BEARING VALUES NOTED ABOVE.

TIMBER

- PRIOR TO PILE PLACEMENT, THE CONTRACTOR SHALL PROVIDE THE ENGINEER DATA REGARDING THE PROPOSED HAMMER AND CUSHION SYSTEM.
- PILES SHALL BE ASTM D-25, CLASS "C" TREATED, PEELED SOUTHERN YELLOW PINE OR DOUGLAS FIR. PILES SHALL BE CREOSOTED ACCORDING TO AWPA MANUAL STANDARDS C-3 WITH A MINIMUM RETENTION OF 12 POUNDS PER CUBIC FOOT.
- PILES SHALL HAVE A MINIMUM BUTT DIAMETER OF 14 INCHES AND A MINIMUM TIP DIAMETER OF 12 INCHES.
- A 8" DIAMETER PILOT HOLE MAY BE DRILLED TO A DEPTH OF 5 FEET ABOVE THE FINAL TIP ELEVATION TO FACILITATE PILE DRIVING. JETTING ALONG SIDE OF PILES IS NOT PERMITTED.
- ADEQUATE CUSHING MATERIAL SHALL BE PROVIDED BETWEEN PILE DRIVER CAP AND THE PILE HEAD. A SOFTWOOD CUSHION WITH A THICKNESS OF 6 TO 12 INCHES IS PREFERRED.
- THE PILE DRIVING HELMET OR CAP SHALL BE SUFFICIENTLY LOOSE AROUND THE PILE BUTT SO AS NOT TO DEVELOP TORSIONAL STRESSES IN THE PILE DURING INSTALLATION, HOWEVER THE HELMET SHOULD BE CAPABLE OF CONTROLLING PILE ALIGNMENT.
- THE ENTIRE HAMMER-CUSHION-PILE SYSTEM SHOULD BE COMPATIBLE AND CAPABLE OF DRIVING PILES TO THE DESIGN PENETRATIONS WITHOUT DAMAGING PILES. BLOW COUNTS CONSISTENTLY IN EXCESS OF 50 BLOWS/FOOT ARE NOT IN LINE WITH GOOD PRACTICE.
- PILES SHALL BE PROPERLY ALIGNED PRIOR TO DRIVING AND HELD WITH FIXED LEADS. REALIGNMENT ONCE DRIVING HAS COMMENCED IS NOT PERMITTED.
- ROUGH CARPENTRY SHALL COMPLY WITH THE PROVISIONS OF THE 2009 EDITION OF THE INTERNATIONAL BUILDING CODE.
- ALL LUMBER USED FOR LOAD SUPPORTING PURPOSES SHALL BE IDENTIFIED BY THE GRADE MARK OF AN APPROVED LUMBER GRADING OR INSPECTION BUREAU OR AGENCY.
- ALL LUMBER SHALL BE PRESERVATIVELY TREATED AND SHALL BEAR AN APPROVED AWPB QUALITY MARK. THE QUALITY MARK SHALL BE ON A STAMP OR LABEL AFFIXED TO THE PRESERVATIVE-TREATED WOOD, AND SHALL INCLUDE THE FOLLOWING INFORMATION.
A. IDENTIFICATION OF TREATING MANUFACTURER.
B. TYPE OF PRESERVATIVE USED.
C. MINIMUM PRESERVATIVE RETENSION (pcf).
D. END USE FOR WHICH THE PRODUCT IS TREATED.
E. AWPA STANDARD TO WHICH THE PRODUCT WAS TREATED.
F. IDENTITY OF THE ACCREDITED INSPECTION AGENCY.
- FRAMING LUMBER MOISTURE CONTENT SHALL NOT EXCEED 19 PERCENT AT TIME OF INSTALLATION.
- MATERIALS
A. FRAMING LUMBER

USE-ITEM	LUMBER SPECIES	MINIMUM GRADE
JOISTS, BEAMS	SOUTHERN PINE	#1
PLANKS	2x6 COMPOSITE DECKING	SEE MFR. REQUIREMENTS

B. FASTENERS
 - NAILS, BOLTS, AND ALL OTHER FASTENERS SHALL BE STAINLESS STEEL.
- VERTICAL FRAMING MEMBERS SHALL BE CONTINUOUS LENGTH WITHOUT SPlicing. SPLICES IN HORIZONTAL MEMBERS SHALL OCCUR ONLY OVER BEARING POINTS. LAP MEMBERS WHICH BEAR ON PLATES TO PROVIDE FULL BEARING FOR EACH MEMBER.
- STRUCTURAL MEMBERS WHOSE STRENGTH IS IMPAIRED BY IMPROPER CUTTING, DRILLING, OR EXCESSIVE DEFECTS SHALL BE REPLACED OR REINFORCED IN A MANNER ACCEPTABLE TO THE ENGINEER.
- PROVIDE SOLID BLOCKING BETWEEN FLOOR JOIST AT BEARING LOCATIONS AND AT MID OPENING OF SPANS GREATER THAN 8'-0" OR AS NOTED. BLOCKING TO MATCH SIZE OF FRAMING MEMBER.
- ALL METAL HANGERS, ETC., SHALL BE STAINLESS STEEL.

CONSULTANT'S SHEET
PROJECT NO. 15450-03

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18.P.E. FRM REGISTRATION #F- 10837

South Padre Island

CITY OF SOUTH PADRE ISLAND
MOONLIGHT CIRCLE BEACH ACCESS IMPROVEMENTS
BEACH ACCESS #13

STRUCTURAL NOTES

DRAWING NO.
S1

SHEET 13 of 16

DESCRIPTION

BY

DATE

REVISION NO.

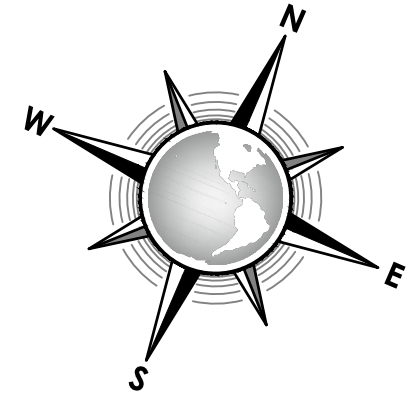
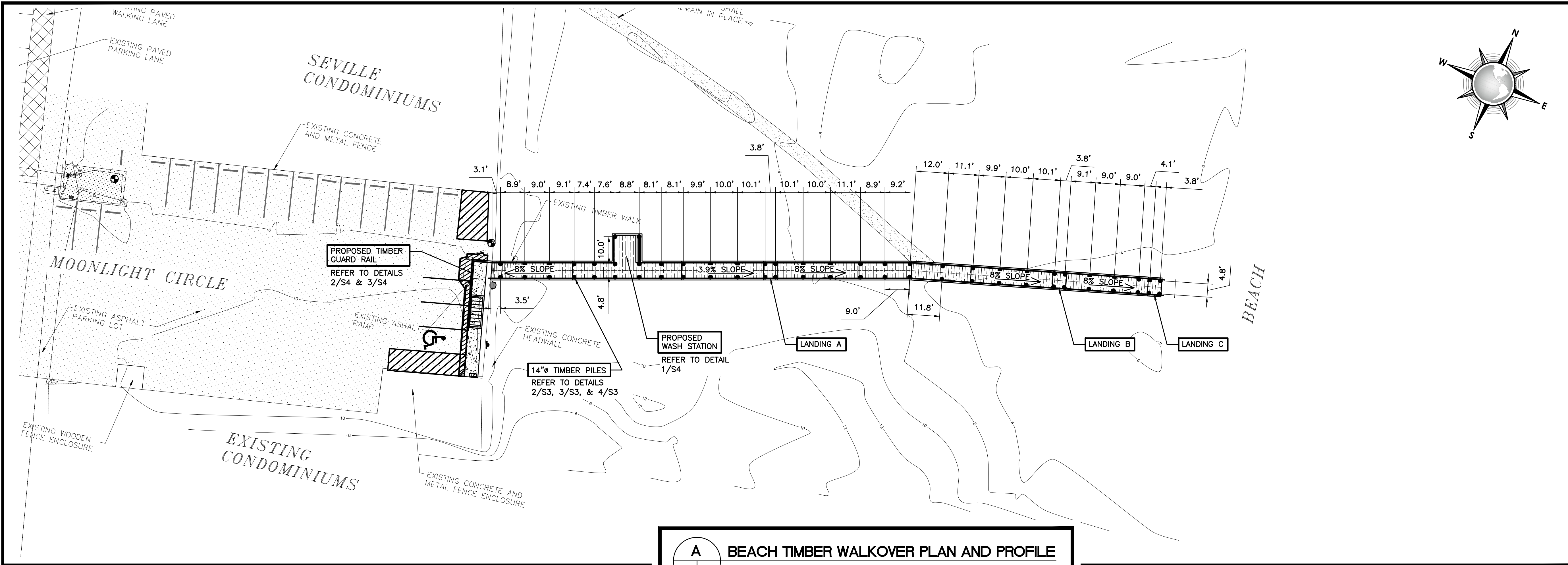
ADDED GENERAL NOTES AS PER G.L.O. COMMENTS

DATE

BY

REVISION NO.

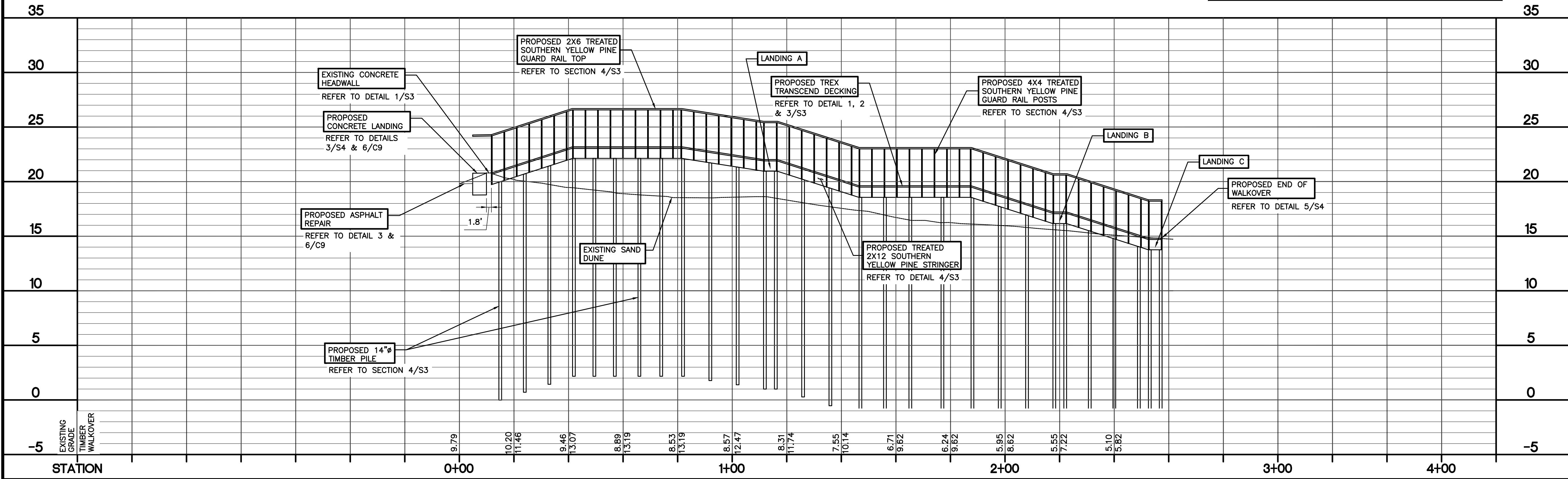
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A BEACH TIMBER WALKOVER PLAN AND PROFILE

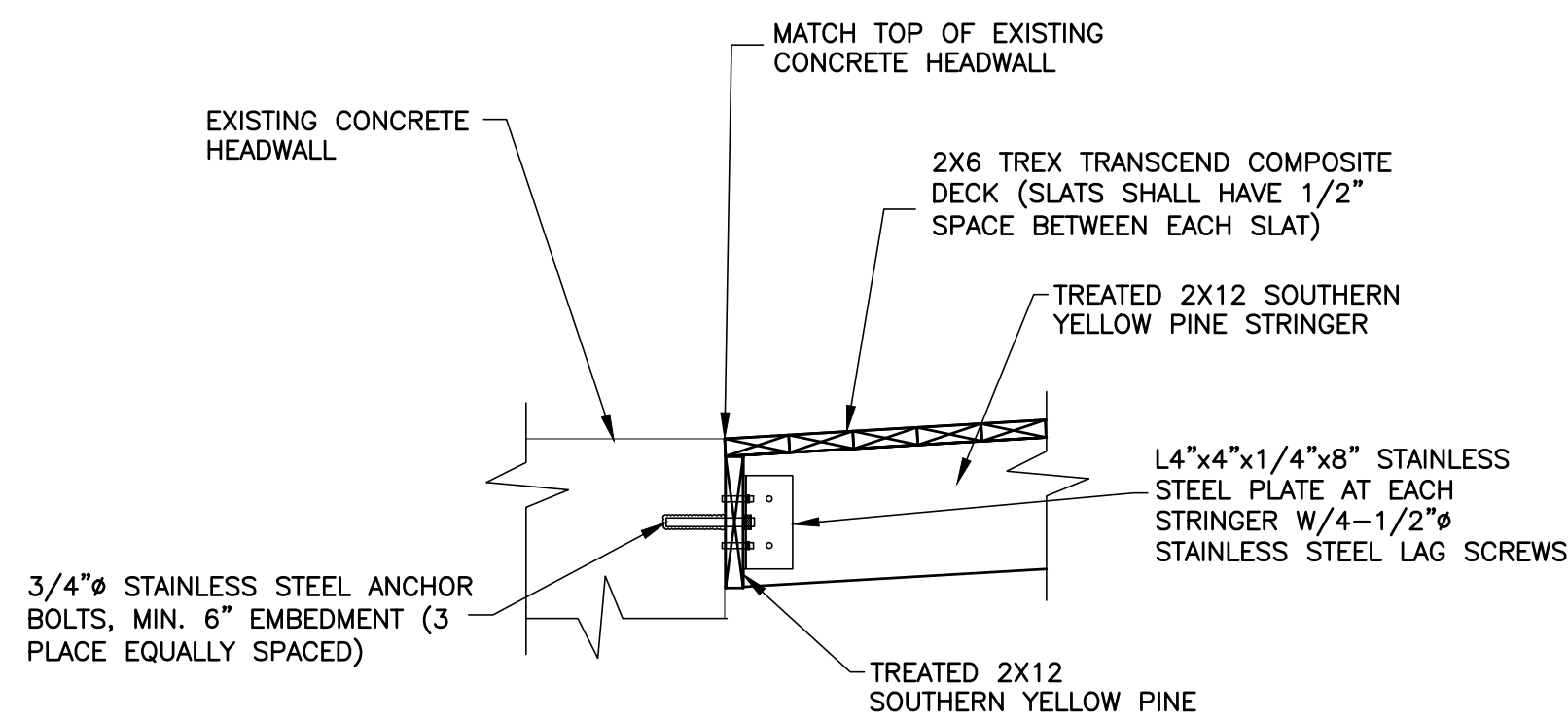
NOTE:

1. REFER TO CIVIL DRAWING C7 FOR GRADING PLAN.
2. REFER TO CIVIL DRAWING C6 FOR STAKING PLAN.
3. DIMENSIONS ARE FROM C_L TO C_L OF EACH PILE.
4. 2X2 PICKETS AND HANDRAIL ARE NOT SHOWN FOR CLARITY.

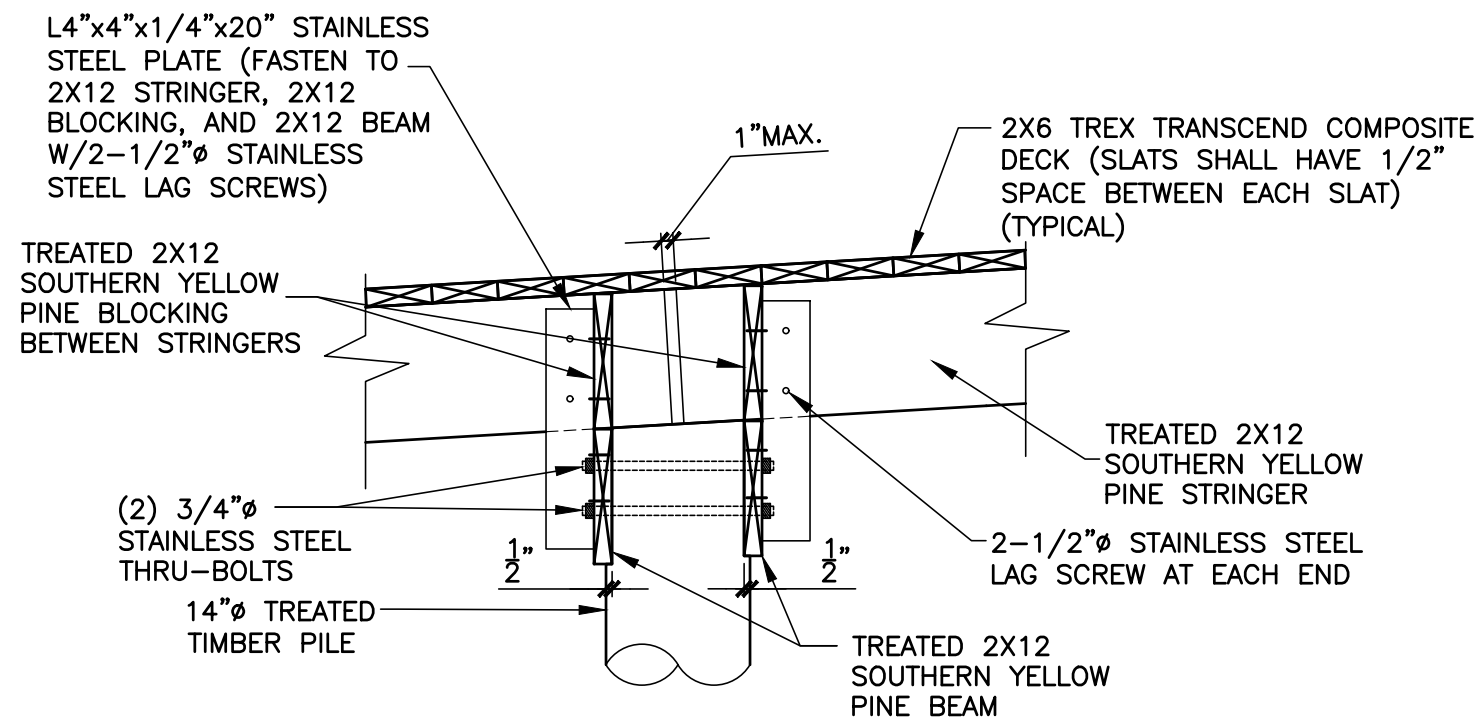


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 INTERNATIONAL CONSULTING ENGINEERS 555 N. CARANCAHUA ST. STE. 980 CORPUS CHRISTI, TX 78401 PHONE: 361.926.5805 FAX: 361.926.5806 I.B.P.E. FIRM REGISTRATION #F-10837	
	
CITY OF SOUTH PADRE ISLAND MOONLIGHT CIRCLE BEACH ACCESS IMPROVEMENTS BEACH ACCESS #13	
TIMBER WALKOVER PLAN AND PROFILE	
DRAWING NO. S2	
SHEET 14 of 16	

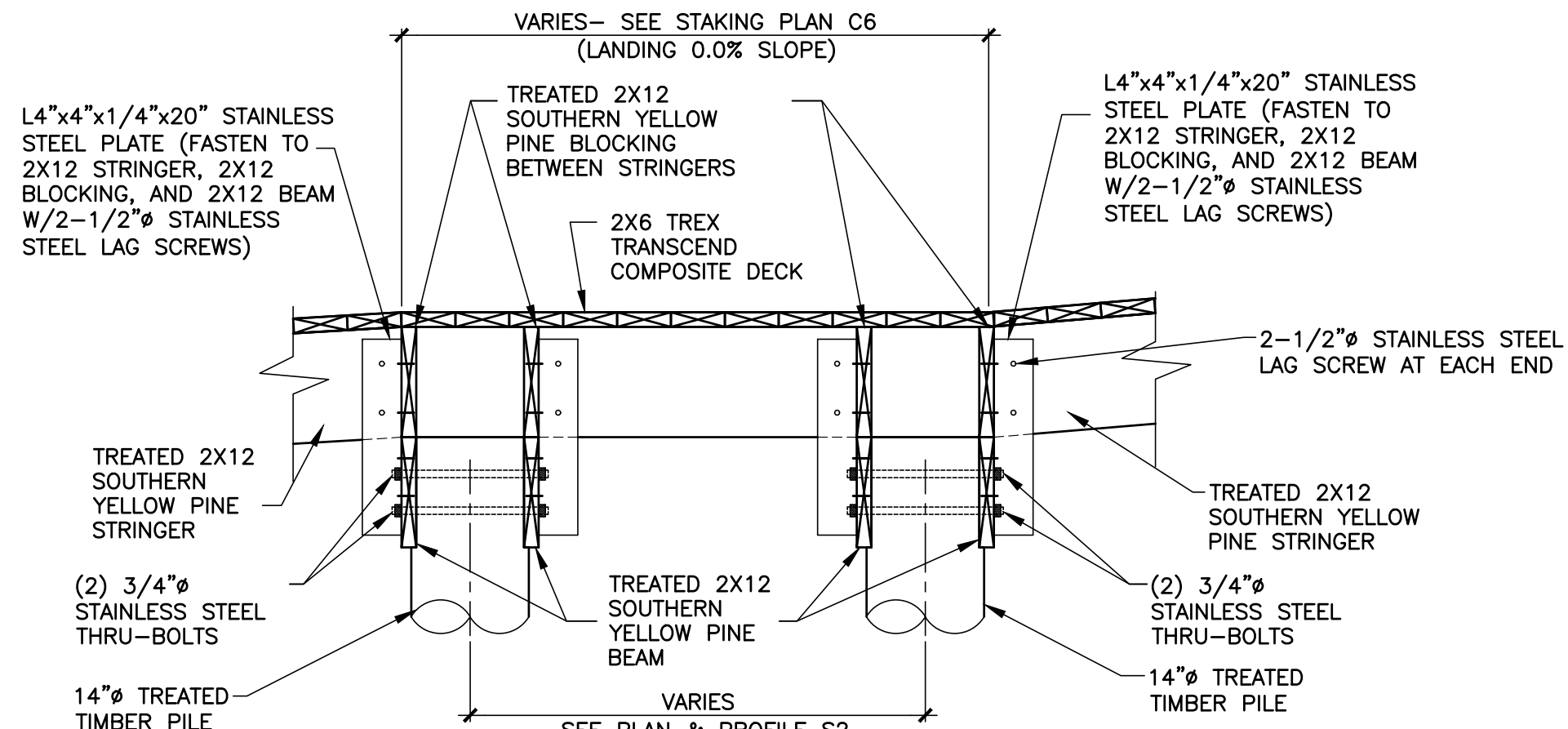
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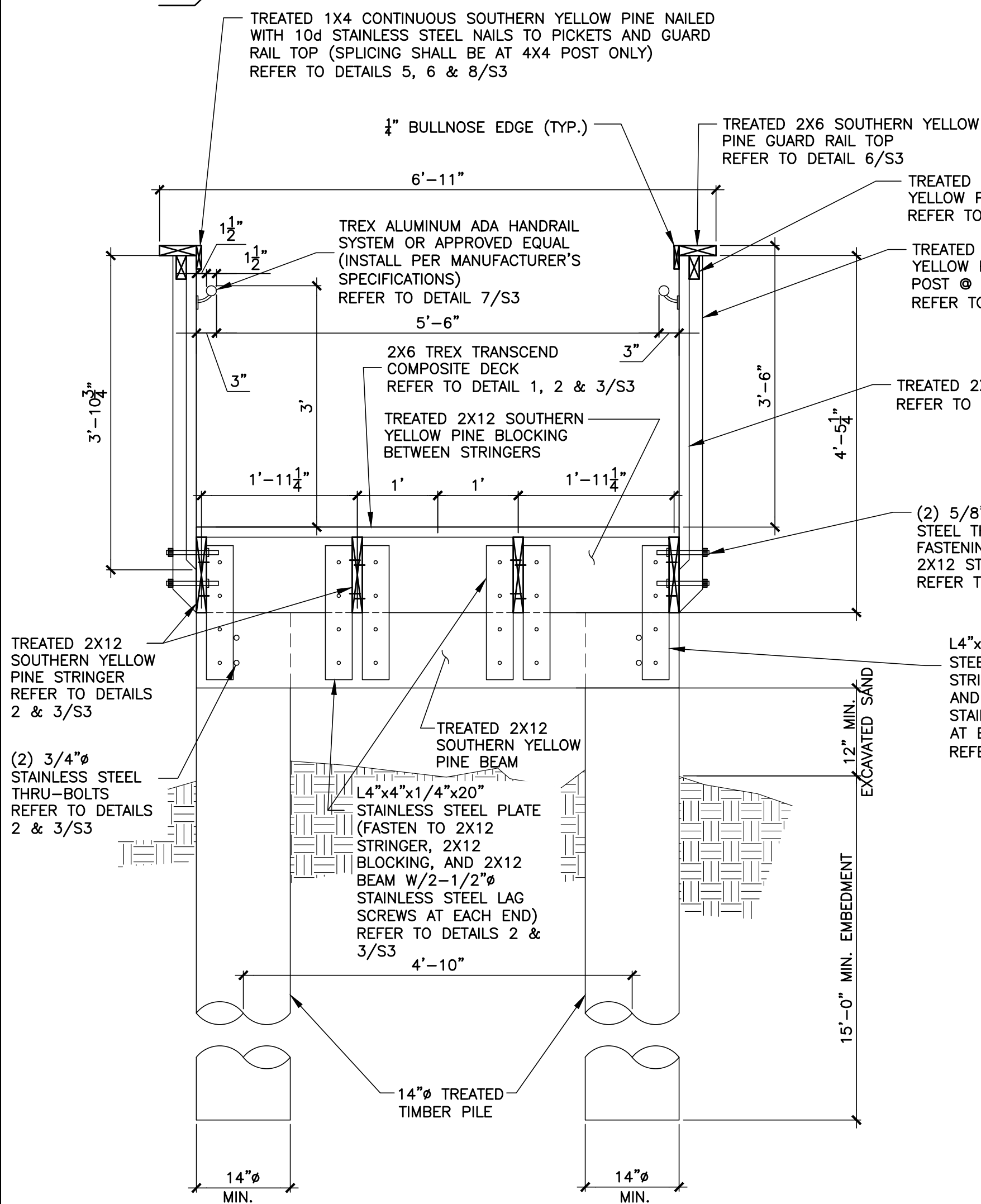
1 PROPOSED TIMBER WALKWAY TO EXISTING HEADWALL TIE-IN SECTION
SCALE: 3/4" = 1'-0"



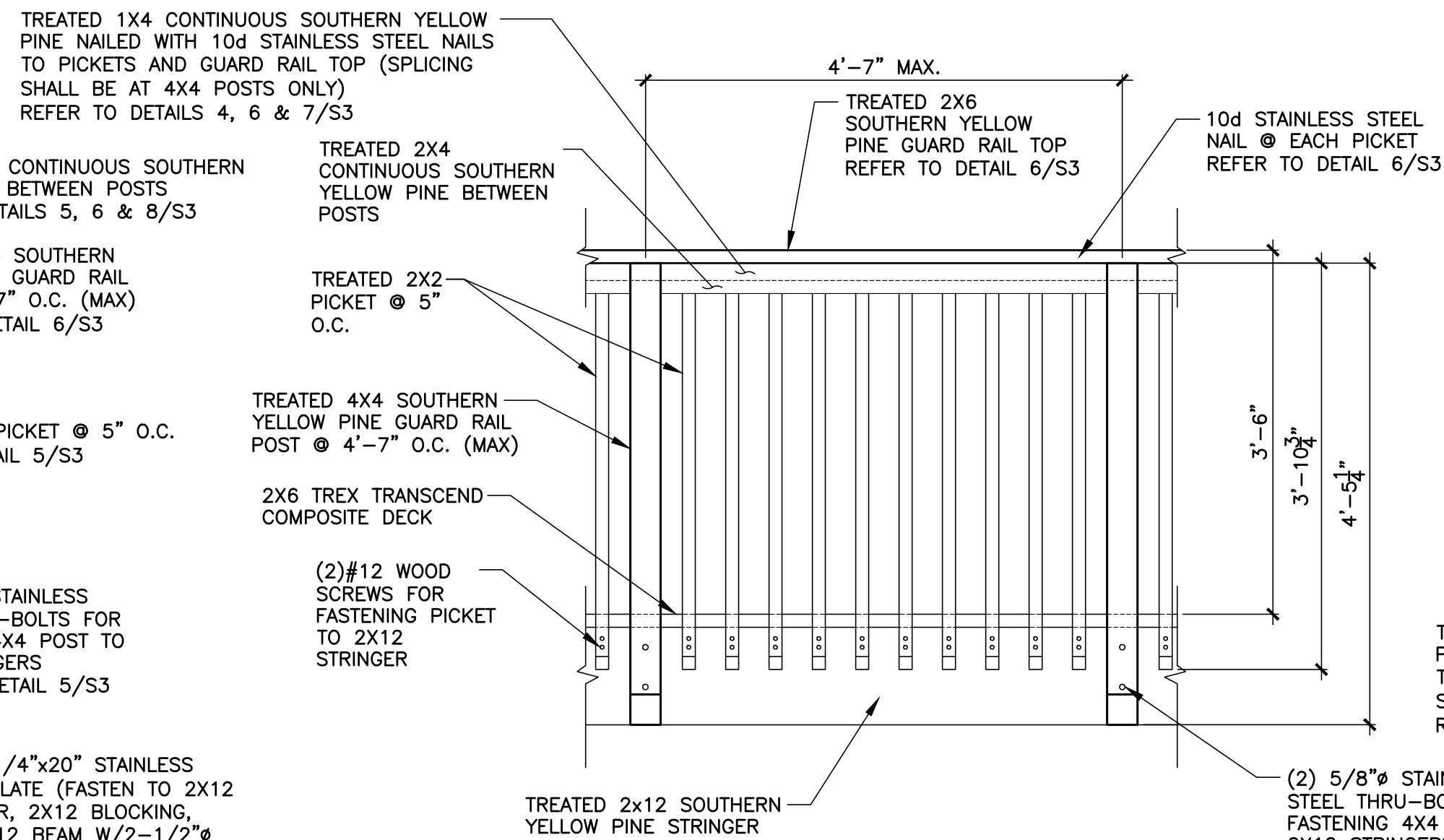
2 TIMBER PILE DETAIL AT RAMP
SCALE: 3/4" = 1'-0"



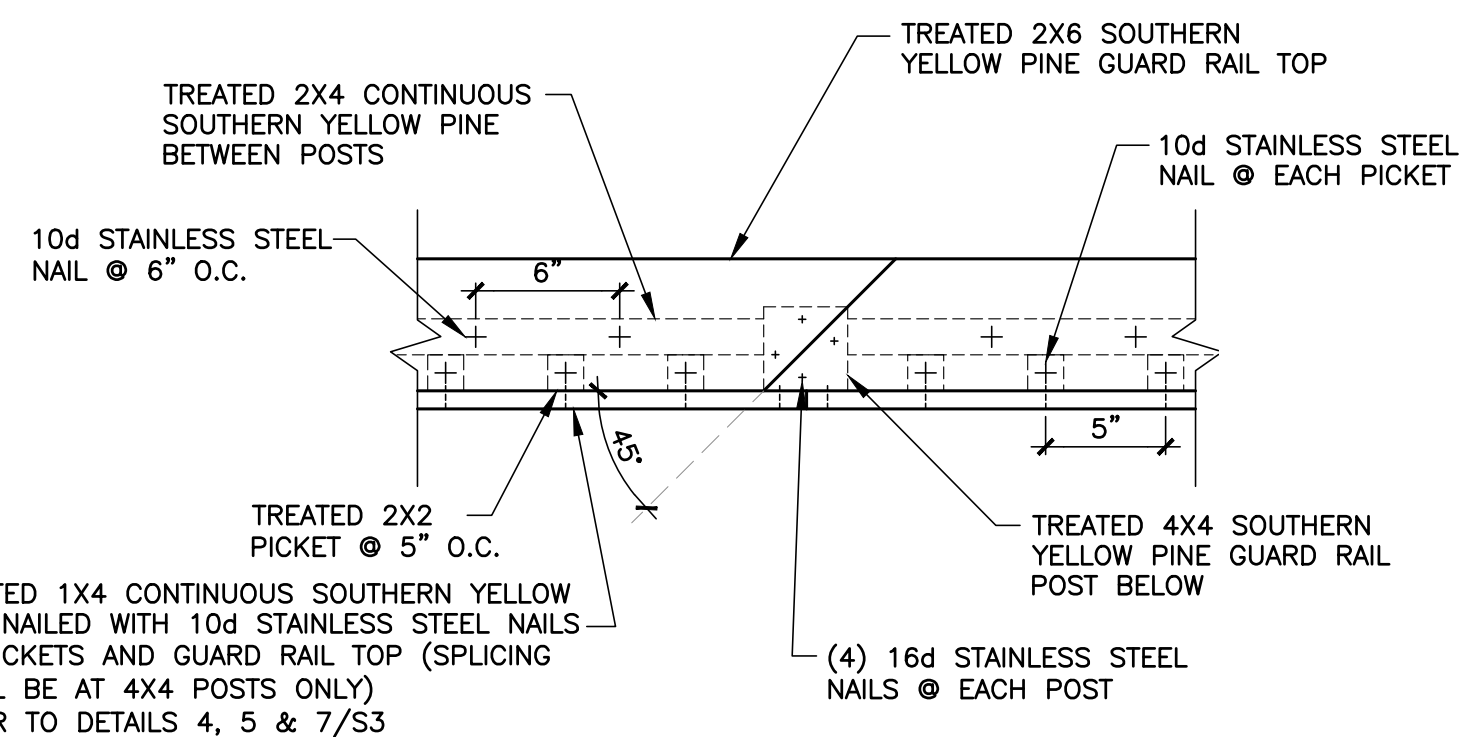
3 TIMBER PILE DETAIL AT LANDING
SCALE: 3/4" = 1'-0"



4 TYPICAL WALKOVER SECTION
SCALE: 3/4" = 1'-0"



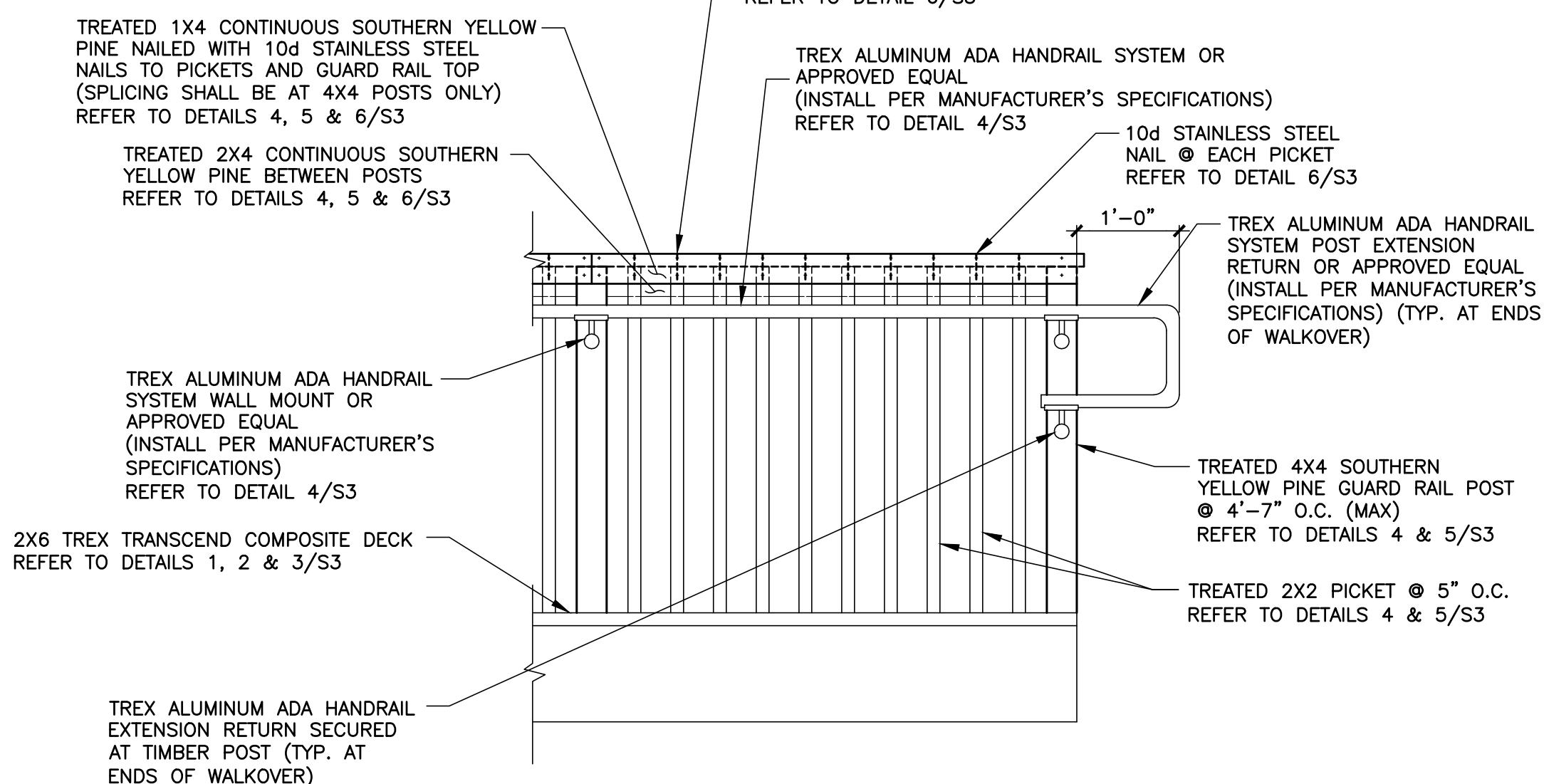
5 TYPICAL GUARD RAIL DETAIL
SCALE: 3/4" = 1'-0"



6 2X6 TOP GUARD RAIL SPLICE DETAIL (TYP.)
SCALE: 1-1/2" = 1'-0"

GENERAL NOTES:

1. ALL TIMBER CONSTRUCTION INCLUDING PILING, DECKING AND RAILING SHALL BE IN STRICT ACCORDANCE WITH PROJECT SPECIFICATIONS.
2. ALL TIMBER PILING SHALL HAVE A MINIMUM ALLOWABLE COMPRESSIVE STRESS OF 1200 PSI AND BENDING STRESS OF 2400 PSI, IN CONFORMANCE WITH ASTM D25-79 CLASS B.
3. ALL PILES SHALL HAVE ENOUGH LENGTH TO ALLOW FOR THE REQUIRED 15 FT OF EMBEDMENT PLUS THE LENGTH NECESSARY TO REACH ITS DECK ELEVATION AS WELL AS HAVE A BUTT DIA. OF 14".
4. ALL CONNECTION HARDWARE SHALL BE STAINLESS STEEL.
5. NAILS, BOLTS, WASHERS AND ALL OTHER FASTENERS SHALL BE STAINLESS STEEL.
6. REFER TO DWG. C6 FOR SITE STAKING PLAN.
7. REFER TO DWG. C7 FOR SITE GRADING PLAN.
8. ALL TIMBER SHALL BE TREATED (REFER TO S1/TIMBER NOTE 11)
9. ALL TREX DECKING PLANKS SHALL BE INSTALLED WITH A 1/2" SPACE BETWEEN ADJACENT PLANKS.



7 TYPICAL TREX ADA HANDRAIL DETAIL
SCALE: 3/4" = 1'-0"

CONSULTANT'S SHEET
PROJECT NO. 15450-03

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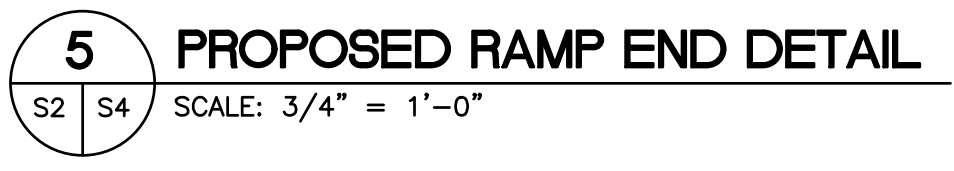
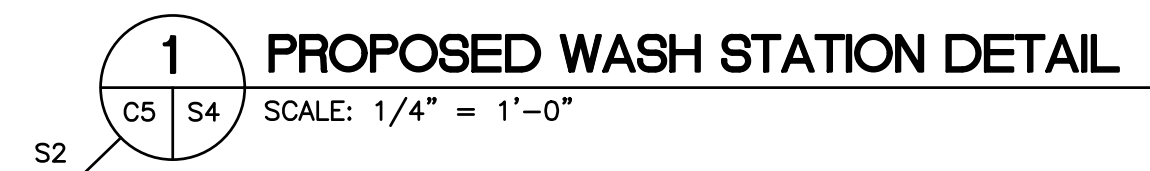


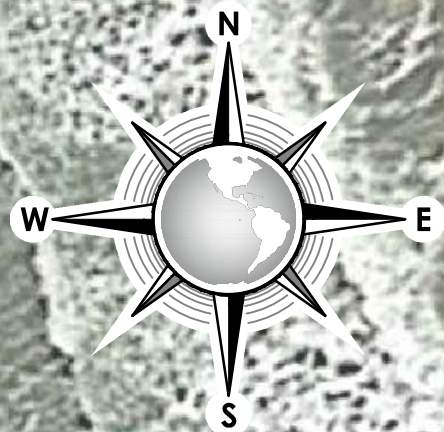
CITY OF SOUTH PADRE ISLAND
MOONLIGHT CIRCLE BEACH ACCESS IMPROVEMENTS
BEACH ACCESS #13

FRAMING DETAILS

DRAWING NO.
S3

SHEET 15 of 16



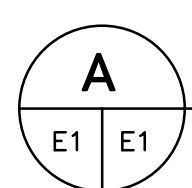


GULF OF MEXICO

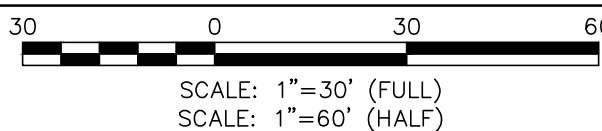
MOONLIGHT CIRCLE

PROPOSED BEACH ACCESS
TIMBER WALKOVER

EXISTING VEGETATION LINE
(GOOGLE EARTH IMAGE)



AERIAL EXHIBIT



DESCRIPTION

BY

DATA

REVISION NO.

DESCRIPTION

3Y

TE

EVSIS

CONSULTANT'S SHEET
PROJECT NO. _____

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IRPE FIRM REGISTRATION #F-10837

T.B.P.E. FIRM REGISTRATION #F - 10837



CITY OF SOUTH PADRE ISLAND
MOONLIGHT CIRCLE BEACH ACCESS IMPROVEMENTS
BEACH ACCESS #13

AERIAL EXHIBIT

DRAWING NO.

E1

SHEET 1 of 1

CITY OF SOUTH PADRE ISLAND

B) OCEAN CIRCLE BEACH ACCESS AND PARKING LOT

BEACH ACCESS POINT #2

SHEET INDEX

SHEET	DRAWING NO.	TITLE
18	T1	TITLE SHEET/LOCATION MAP
CIVIL		
19	C1	GENERAL NOTES
20	C2	ESTIMATED QUANTITIES AND LEGEND
21	C3	EXISTING TOPOGRAPHY & CONTROL DATA
22	C4	DEMOLITION AND SWPP PLAN
23	C5	OVERALL SITE IMPROVEMENTS PLAN
24	C6	PARKING LOT STAKING PLAN
25	C7	WALKOVER STAKING PLAN
26	C8	PARKING LOT GRADING PLAN
27	C9	WALKOVER GRADING PLAN
28	C10	UTILITY IMPROVEMENT PLAN
29	C11	CONCRETE SIDEWALK DETAILS
30	C12	PAVEMENT DETAILS
31	C13	LAGUNA MADRE WATER DISTRICT UTILITY DETAILS
STRUCTURAL		
32	S1	STRUCTURAL NOTES
33	S2	PARKING LOT AND TIMBER WALKOVER PLAN AND PROFILE STA. 0+00 TO 4+02.72
34	S3	PARKING LOT AND TIMBER WALKOVER PLAN AND PROFILE STA. 4+02.72 TO END
35	S4	FRAMING DETAILS
36	S5	MISCELLANEOUS STRUCTURAL DETAILS



LOCATION MAP

NOT TO SCALE

TEXAS DEPARTMENT OF LICENSING AND REGULATION

ARCHITECTURAL BARRIERS PROJECT REGISTRATION NUMBER:
EAB#: B6806872

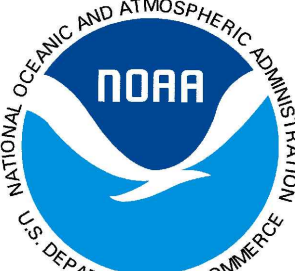
TEXAS ACCESSIBILITY SOLUTIONS JUSTIN K. WALTON RAS#00001329 (940) 368-1989



VICINITY MAP

NOT TO SCALE

THIS PROJECT IS FUNDED, IN PART, BY A TEXAS COASTAL MANAGEMENT PROGRAM GRANT APPROVED BY THE TEXAS LAND COMMISSIONER PURSUANT TO NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION AWARD NO. NA14NOS4190139.



CONSULTANT'S SHEET
PROJECT NO. 15450-04



ICE

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I.C.E. FIRM REGISTRATION #F-10837



CITY OF SOUTH PADRE ISLAND
B) OCEAN CIRCLE BEACH ACCESS AND PARKING LOT
BEACH ACCESS #2

TITLE SHEET/LOCATION MAP

DRAWING NO.
T1

SHEET 18 of 36

FILE NAME: F:\2015\City of South Padre Island\Ocean Circle Beach Access\Drawings\Civil\02_01-GENERAL NOTES.dwg LAYOUT NAME: Model PLOTTED: Wednesday, February 01, 2017 - 5:27pm USER: Chantavo

1. GENERAL NOTES

1. CONTRACTOR SHALL NOT NOR HAVE EQUIPMENT OR MATERIALS ON WETLANDS
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TRAINING HIS EMPLOYEES AND SUBCONTRACTORS IN THE RECOGNITION AND AVOIDANCE OF UNSAFE CONDITIONS, AND IN THE REGULATIONS AND HAZARDS WHICH APPLY TO THE AREA IN WHICH THE WORK WILL TAKE PLACE.
3. ALL SAFETY EXPOSURES OR VIOLATIONS SHALL BE RECTIFIED IMMEDIATELY BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING PROTECTION OF PERSONS AND PROPERTY, AND FOR PROVIDING SAFE WORKING CONDITIONS THROUGHOUT THE WORK PROGRESS. ALL AREAS ADJACENT TO THE CONSTRUCTION AREA OR AFFECTED BY THE CONSTRUCTION MUST BE PROTECTED FROM DAMAGE, CLEANED, AND RESTORED TO THE ORIGINAL CONDITION AT NO ADDITIONAL EXPENSE TO THE OWNER.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL CLEARANCES AND PERMITS AS NECESSARY, PRIOR TO THE COMMENCEMENT OF THE WORK.
5. WORK AREAS SHALL BE KEPT, AT ALL TIMES, FREE OF DEBRIS AND NON – HAZARDOUS MATERIAL TO THE SATISFACTION OF THE CITY OF SOUTH PADRE ISLAND. THE CONTRACTOR SHALL COORDINATE STORAGE OF MATERIALS, PARKING OF VEHICLES, AND RESTRICTIONS OF WORK WITH THE CITY OF SOUTH PADRE ISLAND. AFTER PROJECT COMPLETION, THE SITE SHALL BE CLEANED UP TO ITS CONDITION PRIOR TO THE START OF THE PROJECT TO THE SATISFACTION OF THE CITY OF SOUTH PADRE ISLAND.
6. THE SEQUENCE OF CONSTRUCTION SHALL BE SCHEDULED AND COORDINATED WITH THE CITY OF SOUTH PADRE ISLAND
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF EXISTING CONDITIONS, AND SHALL PERFORM FIELD MEASUREMENTS PRIOR TO FABRICATION AND / OR PURCHASE OF ANY MATERIAL AND SHALL CONTACT THE ENGINEER SHOULD EXISTING CONDITIONS BE DIFFERENT FROM THE DESIGN DRAWINGS FOR THIS PROJECT. CONFLICTS ARISING DUE TO LACK OF COORDINATION SHALL BE THE RESPONSIBILITY AND AT THE EXPENSE OF THE CONTRACTOR.
8. THE CONTRACTOR SHALL NOT FABRICATE OR INSTALL MEMBERS AS SHOWN ON THE DRAWINGS IF THERE ARE DISCREPANCIES OR CONFLICTS BETWEEN THE EXISTING CONDITIONS AND THE INFORMATION SHOWN ON THE DRAWINGS, UNTIL SUCH DISCREPANCIES HAVE BEEN RESOLVED. PRIOR TO FABRICATION OR INSTALLATION, THE CONTRACTOR SHALL IMMEDIATELY CALL SUCH DISCREPANCIES OR CONFLICTS TO THE ATTENTION OF THE ENGINEER.
9. ANY REQUIRED CHANGES TO THE DRAWINGS RESULTING FROM THE ACCEPTANCE OF ALTERNATES AND / OR SUBSTITUTIONS ARE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE SUBMITTED TO THE OWNER AND THE ENGINEER FOR APPROVAL.
10. ALL CONTRACT WORK IN THESE DRAWINGS SHALL BE CARRIED OUT IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FOLLOWING NATIONAL CODES AND STANDARDS:

- A. INTERNATIONAL BUILDING CODES, 2012 (IBC2012)
- B. AMERICAN SOCIETY OF CIVIL ENGINEERS (ASCE) 7-05
- C. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA)
- D. NATIONAL FIRE PROTECTION ASSOCIATION (NFPA)
- E. INTERNATIONAL FIRE CODE (IFC)

11. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS REMOVED WHICH ARE NOT TO BE REINSTALLED OR SALVAGED ON THE PROJECT. DISPOSAL OF MATERIALS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
12. EXCAVATIONS SHALL NOT BE MADE DURING INCLEMENT WEATHER. WATER ACCUMULATION IN EXCAVATIONS EXCEEDING 1 INCH SHALL BE PUMPED OUT BEFORE ANY CONCRETE IS PLACED.
13. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF TRENCH SAFETY PROGRAM. THE CONTRACTOR SHALL APPOINT A TRENCH SAFETY FOREMAN WHO WILL BE ON SITE AT ALL TIMES WHILE TRENCHING OR EXCAVATION IS BEING PERFORMED. ALL EXCAVATIONS AND BACKFILL OPERATIONS SHALL BE IN ACCORDANCE WITH THE LATEST OSHA EXCAVATIONS SAFETY STANDARDS, OSHA 2226 AND 29 CFR PART 1926 SUBPART P. THE CONTRACTOR SHALL PROVIDE AN EXCAVATION PLAN PREPARED BY AN ENGINEER REGISTERED IN THE STATE OF TEXAS. THE EXCAVATION PLAN SHALL INDICATE THE PROCEDURES TO BE USED BY THE CONTRACTOR TO COMPLY WITH THE OSHA REQUIREMENTS. THE EXCAVATION PLAN SHALL IDENTIFY THE "COMPETENT PERSON" AS REQUIRED BY PARAGRAPH 1926.651 (K) (1) THAT WILL WORK WITH EACH CREW.
14. PERMITTING ASSOCIATED WITH THE PROJECT INCLUDES BUT ARE NOT LIMITED TO THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ) CONSTRUCTION SITE STORM WATER PERMIT NOTICE OF INTENT (NOI) FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES UNDER THE TIDES CONSTRUCTION GENERAL PERMIT (TXR 150000). THIS PERMIT IS REQUIRED FOR CONSTRUCTION ACTIVITIES INCLUDING CLEARING, GRADING, AND EXCAVATION ACTIVITIES THAT DISTURB GREATER THAN THE TOTAL LAND AREA WITHIN THE PROJECT LIMITS.
15. CONTRACTOR SHALL MARK ALL AS-BUILT CONDITIONS FOR UTILITIES AND STORM SEWER ON THE PLAN AND SUBMIT TO THE ENGINEER AT END OF PROJECT.
16. THE CONTRACTOR SHALL VISIT THE PROJECT SITE IN ORDER TO BECOME FAMILIAR WITH THE SITE CONDITIONS PRIOR TO COMMENCING ANY WORK. THE CONTRACTOR IS TO RESEARCH THE EXISTING CONDITIONS AND PROPOSED WORK TO BECOME FULLY AWARE OF THE INTENT OF THE WORK. THE CONTRACTOR WILL BE REQUIRED TO ACQUIRE ALL NECESSARY PERMITS AND PAY ASSOCIATED FEES.
17. THE DRAWING SHOWS AS MUCH INFORMATION AS CAN BE REASONABLY OBTAINED BY THE SURVEY CREWS AND FROM EXISTING RECORDS REGARDING THE LOCATION AND NATURE OF PIPELINES, STORM SEWER, WATERLINES, SANITARY SEWER, TELEPHONE CONDUITS, ETC. HOWEVER THE ACCURACY AND COMPLETENESS OF SUCH INFORMATION IS NOT GUARANTEED. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO LOCATE SUCH UNDERGROUND FEATURES SUFFICIENTLY IN ADVANCE OF OPERATIONS TO PRECLUDE DAMAGE TO SAME.
18. UNDERGROUND UTILITY LINES SHOWN ON THE PLANS CONSTITUTE AN ATTEMPT BY THE ENGINEER TO LOCATE THESE LINES FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR SHALL FIELD LOCATE ALL UNDERGROUND UTILITY LINES AND MAKE PROVISIONS FOR THEIR PROTECTION. IN THE EVENT OF DAMAGE TO UNDERGROUND UTILITIES, WHETHER SHOWN OR NOT ON THE DRAWINGS, THE CONTRACTOR SHALL MAKE THE NECESSARY REPAIRS TO PLACE THE FACILITIES BACK IN SERVICE. ALL SUCH REPAIRS SHALL CONFORM TO THE REQUIREMENTS OF THE COMPANY OR AGENCY OPERATING THE FACILITY. DAMAGE BY THE CONTRACTOR TO EXISTING UTILITIES SHALL BE REPORTED IMMEDIATELY TO THE OWNER OF THE UTILITY AND THE ENGINEER. THE COST OF DAMAGE AND / OR REPAIR TO SAID UTILITY SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. NO PAYMENT WILL BE MADE FOR DELAYS DUE TO UTILITY CONFLICTS.
19. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAKE CHANGES IN DRAINAGE, WATERLINE, AND SANITARY SEWER GRADES TO PERMIT THE LINES TO PASS ALL UNDERGROUND LINES, AS AUTHORIZED BY THE ENGINEER, AND IN ACCORDANCE WITH TCEQ'S "TEXAS ADMINISTRATIVE CODE" CHAPTER 217, 217.53 (d) SEPARATION DISTANCES BETWEEN PUBLIC WATER SUPPLY PIPES AND WASTEWATER COLLECTION SYSTEM PIPES OR MANHOLES.
20. DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR MAY ENCOUNTER EXISTING PIPES WHICH ARE NO LONGER IN SERVICE. THE CONTRACTOR MUST EXPLORE AND RESEARCH THE SITUATION AND PROVIDE EVIDENCE TO THE OWNERS REPRESENTATIVE THAT THE EXISTING PIPE IS ABANDONED. ONCE IT IS AGREED THAT THE LINE IS ABANDONED, THEN THE CONTRACTOR SHALL REMOVE AND DISPOSE OF SAID PIPE. THIS GENERALLY APPLIES TO ALL WHEN REMOVING DRAINAGE CULVERTS. ACTIVE DRAINAGE CULVERTS MUST BE REINSTALLED IF THEY ARE REMOVED FOR THE PURPOSE OF CONSTRUCTION. ANY ABANDONED LINES TO REMAIN IN PLACE SHALL BE FULLY GROUTED.
21. TRENCH EXCAVATION SHALL NOT PRECEDE BACKFILL BY MORE THAN 200 FEET. NO TRENCH SHALL BE LEFT OPEN AFTER NORMAL WORKING HOURS.
22. PRIOR TO THE COMMENCEMENT OF ANY WORK AT PROJECT SITE, CONTRACTOR SHALL COORDINATE WITH THE CITY OF SOUTH PADRE ISLAND SO THAT PROPOSED CONSTRUCTION METHODS WILL NOT INTERFERE OR IMPEDE THE CITY'S DAILY ACTIVITIES.
23. CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION OF EXISTING IMPROVEMENTS ON SITE, INCLUDING ABOVE GROUND AND UNDERGROUND. CONTRACTOR SHALL REMOVE BELOW – GRADE STRUCTURES TO THREE FEET BELOW NATURAL GRADE OR TO SUCH DEPTH AS MAY BE REQUIRED TO MAINTAIN SUBSURFACE STABILITY OF THE SOIL.
24. CONTRACTOR SHALL BACKFILL ALL VOIDS LEFT BY DEMOLITION AND COMPACT IN A MANNER SUITABLE TO FINAL IMPROVEMENTS.
25. ALL DEMOLISHED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE PROMPTLY REMOVED FROM THE SITE UNLESS NOTED OTHERWISE ON THE DRAWINGS.
26. ANY DAMAGE TO EXISTING DRAINAGE, PRIVATE UTILITY, OR OTHER STRUCTURES SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITION AT CONTRACTOR'S EXPENSE.
27. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THE SAFETY OF THE PEDESTRIANS AND ALL VEHICULAR TRAFFIC FROM CONSTRUCTION RELATED ACTIVITIES DURING THE COURSE OF THIS PROJECT.
28. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNMENTAL ONE-CALL REQUIREMENTS AND OTHER REGULATIONS WITH REGARD TO EXISTING UNDERGROUND UTILITIES, PIPELINES, AND OTHER FACILITIES A MINIMUM OF 48 HOURS IN ADVANCE OF CONSTRUCTION.
29. ALL OPEN EXCAVATIONS SHALL BE ENCLOSED WITH ORANGE SAFETY FENCE AT ALL TIMES.
30. EXCESS EXCAVATED MATERIAL, MUCK, VEGETATION, BROKEN CONCRETE, RC PIPE, AND OTHER UNWANTED MATERIAL BECOMES THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR. THE COST OF ALL HAULING IS CONSIDERED SUBSIDIARY; THEREF NO DIRECT PAYMENT WILL BE MADE TO THE CONTRACTOR.
31. THE QUANTITIES OF THE WORK AND MATERIALS SHOWN ON THE PLANS APPROXIMATELY REPRESENT THE WORK TO BE PERFORMED AND MATERIALS TO BE FURNISHED, AND ARE FOR THE PURPOSE OF AIDING THE CONTRACTOR WITH THE PROJECT. IT IS UNDERSTOOD THAT QUANTITIES MAY INCREASE OR DECREASE WITHOUT IN ANY WAY INVALIDATING THE LUMP SUM BID PRICE.
32. SEEDING FOR EROSION CONTROL SHALL BE APPLIED ON ALL NON – PAVED AREAS DISTURBED BY THE CONTRACTORS OPERATIONS, INCLUDING EMBANKMENTS, GRADED AREAS, LAYDOWN AREAS, ETC.,THE QUANTITY OF PURE LIVE SEED AND TYPE REQUIRED ARE INDICATED BELOW:

COMMON NAME	SCIENTIFIC NAME	LB/ACRE OF PURE LIVE SEED FOR MIXTURES		
		A	B	C
GREEN SPRANGLETOP	LEPTOCHLOA DUBIA	1.4	1.4	—
SIDEOTS GRAMA (PREMIER)	BOUTELOUA CURTIPENDULA	0.6	—	0.6
BERMUDA GRASS (HULLED)	CYNODON DACTYLON	7.0	7.4	—
BERMUDA GRASS (UNHULLED)	CYNODON DACTYLON	—	—	30.0
K-R BLUESTEM	ANDROPOGON ISCHAEUM	1.2	1.2	1.5
BUFFEL GRASS	PENNISETUM CILIARE	—	4.2	—
ANNUAL RYE GRASS	LOLIUM MULTIFLORUM	5.0	5.0	20.0

MIXTURE – A: RECOMMENDED FOR CLAY OR TIGHT SOILS PLANTED BETWEEN DECEMBER 1 THROUGH MAY 1.
MIXTURE – B: RECOMMENDED FOR SANDY SOILS PLANTED BETWEEN DECEMBER 1 THROUGH MAY 1.
MIXTURE – C: RECOMMENDED FOR ALL SOILS PLANTED BETWEEN MAY 2 THROUGH NOVEMBER 30.

THE FERTILIZING, SEEDING, AND WATERING OPERATIONS SHALL BE ACCOMPLISHED WITH EQUIPMENT SUITABLE FOR THE REQUIRED FUNCTION. CONTRACTOR SHALL FERTILIZE AND WATER TO ASSURE 95% OF THE SEEDED AREA HAS ESTABLISHED GROWTH WITHIN 45 CALENDAR DAYS. ESTABLISHED GROWTH IS DEFINED AS AT LEAST ONE PLANT PER SQUARE FOOT WITH NO BARE SPOTS LARGER THAN TEN (10) SQUARE FEET.

33. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING SUFFICIENT TRAFFIC CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD TO ASSURE A SAFE CONDITION AND TO PROVIDE A MINIMUM OF INCONVENIENCE TO MOTORISTS. ALL TRAFFIC CONTROL DEVICES SHALL COMPLY WITH THE "TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (LATEST EDITION).

2. SITE EXCAVATION AND GRADING (DUNE PROTECTION)

1. THE CONTRACTOR SHALL STRIVE TO AVOID ANY DAMAGE AND DESTRUCTION TO DUNES AND VEGETATION TO THE MAXIMUM EXTENT PRACTICAL.
2. NO CLEARING/STRIPPING SHALL BE DONE.
3. IF SITE IS TO BE CLEARED, THE CONTRACTOR SHALL RECEIVE PRIOR APPROVAL FROM THE CITY OF SOUTH PADRE ISLAND AND PROVIDE A MITIGATION ACTION PLAN AS OUTLINED IN THE CITY OF SOUTH PADRE ISLAND PLAN AND THE TAC.
4. ANY TEMPORARY IMPACTS TO VEGETATION WILL BE MITIGATED ON SITE.
5. NO FILL SHALL BE USED OR BROUGHT ONTO THE SITE. ONLY EXCAVATED MATERIAL MAY BE USED AS FILL FOR THE SIDEWALK TO REACH ELEVATION.
6. DAMAGE AND DESTRUCTION TO BACKDUNES THAT ACTIVELY EXCHANGE SAND WITH AND EXTEND VEGETATION TO FOREDUNES AND THE FOREDUNE RIDGE SHALL BE AVOIDED TO THE MAXIMUM EXTENT PRACTICABLE.
7. UNAVOIDABLE DAMAGE TO DUNES AND DUNE VEGETATION SHALL BE COMPENSATED FOR BY THE CREATION OF NEW DUNES, THE ENHANCEMENT OF EXISTING DUNES, AND/OR THE REPAIR OF THE DAMAGED DUNES AS WELL AS THE PLANTING OF INDIGENOUS VEGETATION.
8. THE NEW, ENHANCED, AND/OR REPAIRED DUNES SHALL STRIVE TO BE SUPERIOR OR EQUAL TO THE DAMAGED DUNES IN THEIR ABILITY TO PROTECT ADJACENT BEACH FROM EROSION.
9. COMPENSATION EFFORTS SHALL BE CONTINUOUS AND CONCURRENT WITH THE CONSTRUCTION UNTIL THE NEW, ENHANCED AND/OR REPAIRED DUNES AND DUNE VEGETATION IS EQUAL OR SUPERIOR TO THE DAMAGED DUNE AND DUNE VEGETATION.
10. ON COMPLETION OF COMPACTION, THE SURFACE SHALL BE SMOOTH AND CONFORM TO LINES, GRADES, AND SECTIONS SHOWN ON THE PLANS.
11. COMPLETE ALL GRADING NECESSARY TO BRING THE ENTIRE AREA SHOWN ON THE DRAWINGS TO THE SUBGRADE LEVELS INDICATED ON THE PLANS AND DETAILS. GRADES NOT OTHERWISE INDICATED SHALL BE UNIFORM LEVELS OR SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE GIVEN, OR BETWEEN SUCH POINTS AND EXISTING FINISH GRADES. ROUND OFF ABRUPT CHANGES IN SLOPES.

3. ARCHEOLOGICAL DISCOVERIES AND CULTURAL RESOURCES

1. NO ACTIVITY WHICH MAY AFFECT PROPERTIES LISTED OR PROPERTIES ELIGIBLE FOR LISTING IN THE NATIONAL REGISTER OF HISTORIC PLACES OR ELIGIBLE FOR DESIGNATION AS A STATE ARCHEOLOGICAL LANDMARK IS AUTHORIZED UNTIL THE OWNER HAS COMPLIED WITH THE PROVISIONS OF THE NATIONAL HISTORIC PRESERVATION ACT AND THE ANTIQUITIES CODE OF TEXAS. THE OWNER HAS PREVIOUSLY COORDINATED WITH THE APPROPRIATE AGENCIES AND IMPACTS TO KNOWN CULTURAL OR ARCHEOLOGICAL DEPOSITS HAVE BEEN AVOIDED OR MITIGATED. HOWEVER, THE CONTRACTOR MAY ENCOUNTER UNANTICIPATED CULTURAL OR ARCHEOLOGICAL DEPOSITS DURING CONSTRUCTION.
2. IF ARCHEOLOGICAL SITES OR HISTORIC STRUCTURES WHICH MAY QUALIFY FOR DESIGNATION AS A STATE ARCHEOLOGICAL LANDMARK ACCORDING TO THE CRITERIA IN 13 TAC 41.6-41.10, OR THAT MAY BE ELIGIBLE FOR LISTING ON THE NATIONAL REGISTER OF HISTORIC PLACES IN ACCORDANCE WITH 36 CFR PART 800, ARE DISCOVERED AFTER CONSTRUCTION OPERATIONS ARE BEGUN, THE CONTRACTOR SHALL IMMEDIATELY CEASE OPERATIONS IN THAT PARTICULAR AREA AND NOTIFY THE OWNER AND THE TEXAS HISTORICAL COMMISSION, 1511 N. COLORADO ST., P.O. BOX 12276, CAPITOL STATION, AUSTIN, TEXAS 78711-2276. THE CONTRACTOR SHALL TAKE REASONABLE STEPS TO PROTECT AND PRESERVE THE DISCOVERIES UNTIL THEY HAVE BEEN INSPECTED BY THE OWNER'S REPRESENTATIVE. THE OWNER WILL PROMPTLY COORDINATE WITH THE STATE HISTORIC PRESERVATION OFFER AND ANY OTHER APPROPRIATE AGENCIES TO OBTAIN ANY NECESSARY APPROVALS OR PERMITS TO ENABLE THE WORK TO CONTINUE. THE CONTRACTOR SHALL NOT RESUME WORK IN THE AREA OF THE DISCOVERY UNTIL AUTHORIZED TO DO SO BY THE OWNER.

4. ENDANGERED SPECIES

1. NO ACTIVITY IS AUTHORIZED THAT IS LIKELY TO JEOPARDIZE THE CONTINUED EXISTENCE OF A THREATENED OR ENDANGERED SPECIES AS LISTED OR PROPOSED FOR LISTING UNDER THE FEDERAL ENDANGERED SPECIES ACT (ESA), AND/OR THE STATE OF TEXAS PARKS AND WILDLIFE CODE ON ENDANGERED SPECIES, OR TO DESTROY OR ADVERSELY MODIFY THE HABITAT OF SUCH SPECIES.
2. IF A THREATENED OR ENDANGERED SPECIES IS ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY CEASE WORK IN THE AREA OF THE ENCOUNTER AND NOTIFY THE OWNER, WHO WILL IMMEDIATELY IMPLEMENT ACTIONS IN ACCORDANCE WITH THE ESA AND APPLICABLE STATE STATUTES. THESE ACTIONS SHALL INCLUDE REPORTING THE ENCOUNTER TO THE U.S. FISH AND WILDLIFE SERVICE, THE TEXAS PARKS AND WILDLIFE DEPARTMENT, AND THE CITY OF SOUTH PADRE ISLAND, OBTAINING ANY NECESSARY APPROVALS OR PERMITS TO ENABLE THE WORK TO CONTINUE, OR IMPLEMENT OTHER MITIGATION ACTIONS. THE CONTRACTOR SHALL NOT RESUME CONSTRUCTION IN THE AREA OF THE ENCOUNTER UNTIL AUTHORIZED TO DO SO BY THE OWNER.

5. AVOIDANCE OF SHOREBIRDS AND NESTING SEA TURTLES

1. CITY OF SOUTH PADRE ISLAND WILL WORK TO TRY AND DO ANY CONSTRUCTION ON THE BEACH OUTSIDE THE TURTLE NESTING SEASON. IF A PROJECT MUST MOVE FORWARD DURING TURTLE NESTING SEASON A TRAINED TURTLE PATROLLER WILL DO A CHECK FOR TURTLE TRACKS PRIOR TO CONSTRUCTION STARTING EACH MORNING. IF ANY CREWS COME INTO CONTACT WITH A BIRD DURING CONSTRUCTION THEY WILL BE INSTRUCTED TO STOP ALL ACTIVITIES AND NOTIFY THE PROJECT MANAGER WHO WILL THEN CONTACT THE APPROPRIATE AGENCY BEFORE CONTINUING ANY WORK.

6. COMPLIANCE WITH GENERAL LAND OFFICE

1. THE WALKWAY WILL BE CONSTRUCTED WITH THE BOUNDARY OF THE LINE OF VEGETATION DETERMINED BY THE TEXAS GENERAL LAND OFFICE AND THE APPROVED TERMINUS LOCATION DETERMINED BY THE TEXAS GENERAL LAND OFFICE. THE WALKOVER WILL BE CONSTRUCTED TO THE MOST LANDWARD POINT OF THE PUBLIC BEACH AND WILL NOT INTERFERE WITH OR OTHERWISE RESTRICT PUBLIC USE OF THE BEACH AT NORMAL HIGH TIDES.
2. CITY OF SOUTH PADRE ISLAND WILL SHORTEN ANY DUNE WALKOVERS ENCRDACHING ON THE PUBLIC BEACH TO THE APPROPRIATE LENGTH FOR REMOVAL OF THE ENCROACHMENT. CITY OF SOUTH PADRE ISLAND WILL CONTAIN THIS AS A CONDITION IN ANY PERMIT AND CERTIFICATE ISSUED AUTHORIZING CONSTRUCTION OF WALKOVERS. CITY OF SOUTH PADRE ISLAND WILL ASSESS THE STATUS OF THE BEACH BOUNDARY WITHIN 30 DAYS AFTER A MAJOR STORM OR OTHER EVENT CAUSING SIGNIFICANT LANDWARD MIGRATION OF THE PUBLIC BEACH. AFTER ASSESSMENT, CITY OF SOUTH PADRE ISLAND WILL INFORM THE GENERAL LAND OFFICE OF ANY ENCROACHMENTS ON THE PUBLIC BEACH WITHIN TEN DAYS OF COMPLETING THE ASSESSMENT.
3. CITY OF SOUTH PADRE ISLAND WILL ENSURE THAT THE CONTRACTOR MINIMIZES ADVERSE IMPACTS TO DUNES AND DUNE VEGETATION BY LIMITING THE DEGREE OR MAGNITUDE OF THE ACTION AND ITS IMPLEMENTATION. CITY OF SOUTH PADRE ISLAND WILL ENSURE THAT THE CONTRACTOR DOES NOT IMPEDE ON THE COPPICE MOUNDS.
4. THE DECK OF THE WALKWAY MUST BE OF SUFFICIENT ELEVATION TO ALLOW FOR THE GROWTH OF DUNE VEGETATION AND THE MIGRATION OF DUNES TO THE GREATEST EXTENT PRACTICABLE. REFER TO THE DRAWINGS.
5. THE BOARDWALK IS DESIGNED TO ACCOMMODATE ADA REQUIREMENTS.
6. THE CITY PERMIT SHALL CONTAIN A CONDITION REQUIRING THE PERMITTEE TO MINIMIZE ADVERSE EFFECTS ON DUNES OR DUNE VEGETATION TO THE GREATEST EXTENT PRACTICABLE.
7. THE CITY WILL ENSURE THAT THE CONTRACTOR WILL MINIMIZE IMPACTS ON NATURAL HYDROLOGY AND NOT CAUSE EROSION OF ADJACENT PROPERTIES, CRITICAL DUNE AREAS, OR THE PUBLIC BEACH.
8. CITY OF SOUTH PADRE ISLAND SHALL POST SIGNS IN AREAS WHERE PEDESTRIAN TRAFFIC IS HIGH EXPLAINING THE FUNCTIONS OF DUNES AND THE IMPORTANCE OF VEGETATION IN PRESERVING DUNES.
9. CONSTRUCTION ACTIVITIES MUST NOT IMPACT THE PUBLIC'S ABILITY TO ACCESS OR USE THE BEACH.
10. CONSTRUCTION OF THE PROPOSED DUNE WALKOVER SHOULD CONFORM TO THE GLO'S GUIDELINES PROVIDED IN THE DUNE PROTECTION AND IMPROVEMENT MANUAL FOR THE TEXAS GULF COAST, AND CAN BE FOUND ON THE GLO WEBSITE AT [HTTP://WWW.GLO.TEXAS.GOV/COAST/COASTAL-MANAGEMENT/FORMS/FILES/DUNE-PROTECTION-MANUAL-GPB.PDF](http://www.glo.texas.gov/coast/coastal-management/forms/files/dune-protection-manual-gpb.pdf).

7. SPECIAL NOTES

1. CONTRACTOR SHALL USE EXCAVATED MATERIAL AS FILL FOR THE PARKING LOT AND SIDEWALK.
2. CONTRACTOR SHALL USE EXCAVATED MATERIAL AS FILL FOR THE VOIDS UNDER THE WALKOVER AS WELL AS TO SPREAD THROUGHOUT THE SITE TO RAISE THE DUNES. EXCAVATED MATERIAL SHALL ALSO BE USED AT THE MOONLIGHT CIRCLE PROJECT SITES AS FILL FOR DEPRESSIONS IN THE DUNES.
3. ANY EXCAVATED MATERIAL USED AS FILL SHALL BE FREE AND CLEAR OF DEBRIS AND VEGETATION.

TESTING SCHEDULE

DESCRIPTION	RATE	QUANTITY
SOILS:		
STANDARD PROCTOR – SUBGRADE	PER STREET	1
DENSITIES – SUBGRADE (PARKING LOT)	PER 3,000 SF	2
DENSITIES – SUBGRADE (PAVEMENT)	PER 3,000 SF	1
CRUSHED LESTONE BASE (WHEN USED):		
SEIVE ANALYSIS	PER 3000 CY	1
ATTERBURG LIMITS	PER 3000 CY	1
MODIFIED PROCTOR	PER 3000 CY	1
L.A. ABRASION	PER 3000 CY	1
CBR (STANDARD)	PER MATERIAL SOURCE	1
DENSITIES OF COMPACTED BASE (PARKING LOT)	PER 3,000 SF	2
DENSITIES OF COMPACTED BASE (PAVEMENT)	PER 3,000 SF	1
WET BALL MILL TEST	PER MATERIAL SOURCE	1
TRIAXIAL TEST	PER MATERIAL SOURCE	1
PAVEMENT HOT-MIX ASPHALT CONCRETE (HMAC) (WHEN USED):		
EXTRACTION, SIEVE ANALYSIS	PER 500 TONS OR DAY	1
LAB DENSITY & STABILITY	PER 500 TONS OR DAY	1
THEORETICAL DENSITY (RICE METHOD)	PER 500 TONS OR DAY	1
TEMPERATURE – DURING LAY-DOWN	CONTINUOUS AS NEEDED	1
THICKNESS – IN PLACE (CORE)	PER 1000 LF	1
% AIR VOIDS – IN PLACE (CORE)	PER 1000 LF	1
% THEORETICAL DENSITY – IN PLACE (CORE)	PER 1000 LF	1
CONCRETE:		
(UNCONFINED COMPRESSION, 7, 14, & 28 DAY)		
SIDEWALK/CURB/RETAINING WALL	PER 2000 SF	1

NOTE: CONTRACTOR TO COORDINATE WITH ENGINEER FOR MATERIAL TESTING AND LOCATION.

CONSULTANT'S SHEET
PROJECT NO. 15450-04



W
IL
INTERNATIONAL CONSULTING ENGINEERS
PHONE: 361.926.5805 555 N. CARANCAHUA ST., STE. 860
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I.B.P.E. FIRM REGISTRATION #F-10837



CITY OF SOUTH PADRE ISLAND
B) OCEAN CIRCLE BEACH ACCESS AND PARKING LOT
BEACH ACCESS #2

GENERAL NOTES

DRAWING NO.

C1

SHEET 19 of 36

FILE NAME: F:\2015\City of South Padre Island\Ocean Circle Beach Access\Drawings\Civil\03-C2-ESTIMATED QUANTITIES AND LEGEND.dwg LAYOUT NAME: Model PLOTTED: Wednesday, February 01, 2017 - 5:27pm USER: Okontelvo

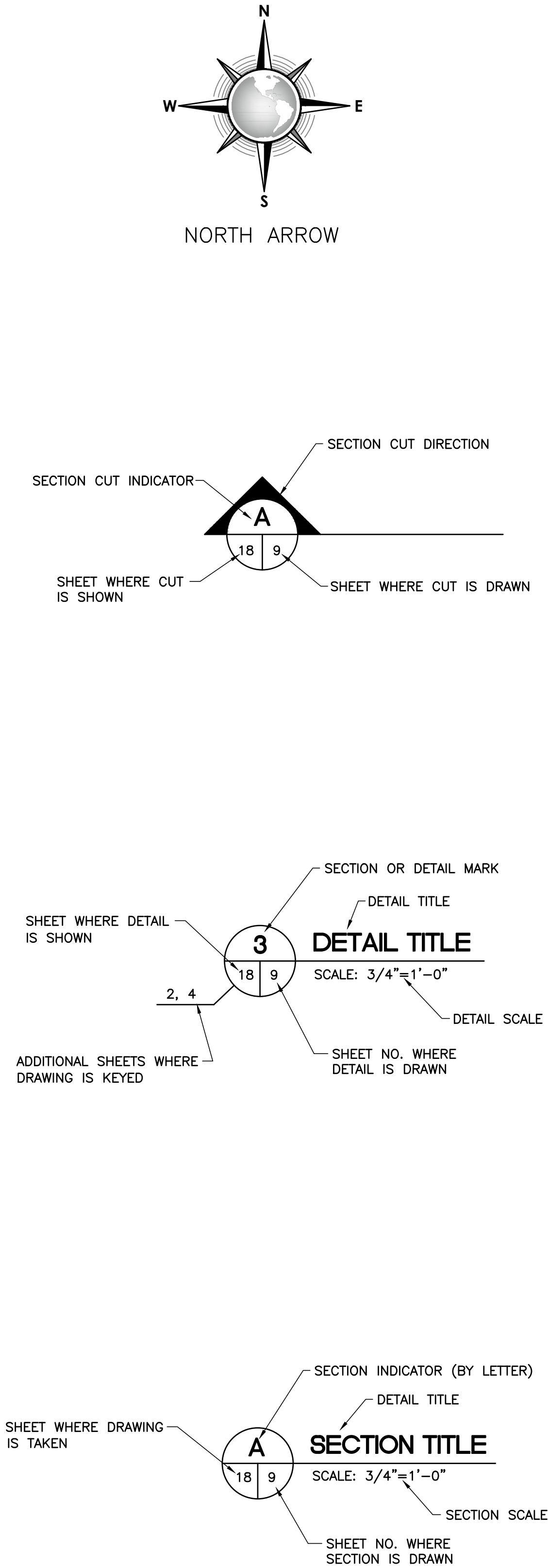
ESTIMATED QUANTITIES SUMMARY – TOTALS			
ITEM	DESCRIPTION	UNIT	QUANTITY
CITY	OF SOUTH PADRE ISLAND–OCEAN CIRCLE BEACH ACCESS #2 AND PARKING LOT		
	BASE BID		
A1	TIMBER WALKOVER STRUCTURE (COMPLETE IN PLACE)	LF	364
A2	NET SAND/DUNE CUT (TO BE SPREAD THROUGHOUT SITE)	CY	242
A3	BRICK PAVER PARKING LOT	SF	10,492
A4	BRICK PAVER HANDICAP PARKING SYMBOLS	EA	2
A5	BRICK PAVER STRIPING	LF	468
A6	BRICK PAVER GORE	LF	127
A7	HANDICAPPED ACCESSIBLE SIGN	EA	2
A8	CONCRETE WHEEL STOPS	EA	28
A9	6” CONCRETE HEADER CURB	LF	325
A10	CONCRETE SIDEWALK W/CURB	SF	1,565
A11	HANDICAP RAMP W/CURB	EA	2
A12	2” COMPACTED SAND CUSHION	SY	1340
A13	TIMBER WASH STATION (COMPLETE IN PLACE)	LS	1
A14	ADA OUTDOOR WATER FOUNTAIN (COMPLETE IN PLACE)	EA	1
A15	4”ø PVC ELECTRICAL CONDUIT (COMPLETE IN PLACE)	LF	55
A16	SODDING	SF	1,668
A17	SITE CLEARING AND GRUBBING	SF	14,347
A18	SEDIMENT CONTROL FENCE	LF	574
A19	3/4”ø PVC WATERLINE	LF	338
A20	5/8”ø TYPE 'K' COPPER WATERLINE	LF	5
A21	5/8”ø WATER METER ASSEMBLY	LS	1
A22	5/8”ø X 90° COPPER BEND	EA	1
A23	3/4”ø X 90° PVC BEND	EA	6
A24	3/4”ø PVC TEE	EA	2
A25	4”ø X 5/8”ø BRONZE DOUBLE STRAP SADDLE ASSEMBLY	EA	1

*NOTE:

1. QUANTITIES ARE SHOWN FOR INFORMATIONAL PURPOSES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES. THIS PROJECT IS A LUMP SUM BID PROJECT.

PROPOSED LEGEND	
	TOP OF CONCRETE SIDEWALK ELEVATION
	TOP OF TIMBER WALKWAY ELEVATION
	TOP OF PAVER ELEVATION
	TOP OF CURB ELEVATION
	TOP OF FENCE ELEVATION
	FINISHED GRADE ELEVATION
	PROPOSED CONCRETE SIDEWALK
	PROPOSED TIMBER WALKOVER
	PROPOSED PAVERS
	SLOPE DIRECTION
	PROPOSED SIGN
	PROPOSED WHEEL STOP

EXISTING LEGEND	
	EXISTING LIGHT POLE
	EXISTING SIGN
	BENCHMARK
	IRON ROD
	PK NAIL
	EXISTING TREE
	EXISTING WATER METER
	EXISTING SANITARY SEWER MANHOLE
	EXISTING WHEEL STOP
	EXISTING FIRE HYDRANT
	EXISTING CONCRETE/WOOD FENCE
	EXISTING CHAINLINK FENCE
	EXISTING SANITARY SEWER LINE
	EXISTING WATERLINE
	EXISTING GULF OF MEXICO
	EXISTING ASPHALT
	EXISTING CONCRETE
	EXISTING PAVERS
	EXISTING TIMBER WALKOVER
16.11EP	EXISTING EDGE OF PAVEMENT
15.81CONC	EXISTING CONCRETE
17.79NG	EXISTING NATURAL GROUND
10.83BRIDGE	EXISTING TIMBER WALKOVER
15.81BLD	EXISTING BUILDING
17.79FNC	EXISTING FENCE
17.79ER	EXISTING EDGE OF ROAD
17.79SE	EXISTING SPOT ELEVATION
17.79PAVER	EXISTING PAVERS



CONSULTANT'S SHEET
PROJECT NO. 15450-04



IE
INTERNATIONAL CONSULTING ENGINEERS
PHONE: 361.926.5805 555 N. CARANCAHUA ST. STE. 980
FAX: 361.926.5806 CORPUS CHRISTI, TX 78401
I.C.E. FIRM REGISTRATION #F-10837



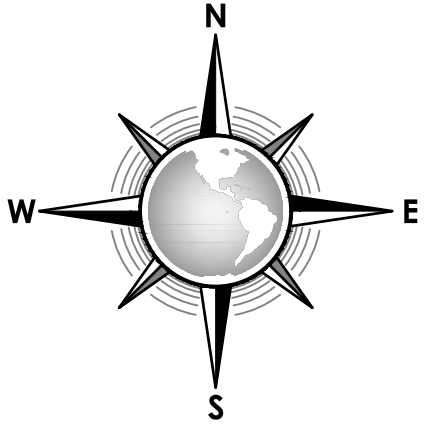
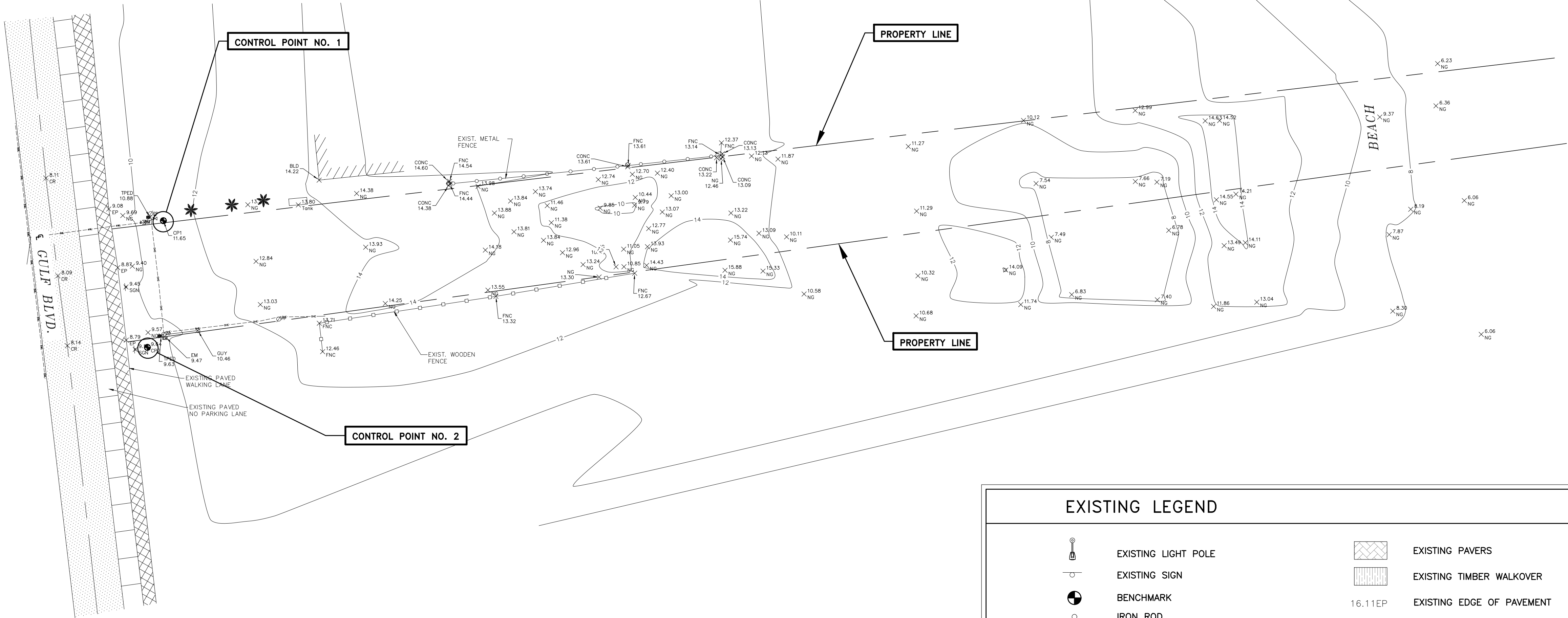
CITY OF SOUTH PADRE ISLAND
B) OCEAN CIRCLE BEACH ACCESS AND PARKING LOT
BEACH ACCESS #2

ESTIMATED QUANTITIES AND LEGEND

DRAWING NO.
C2

SHEET 20 of 36

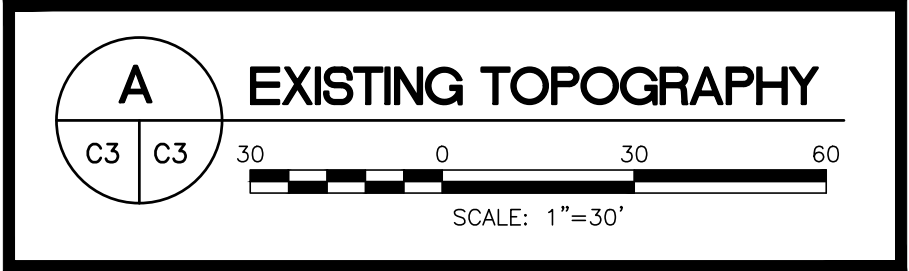
FILE NAME: F:\2015\City of South Padre Island\Ocean Circle Beach Access\Drawings\Civil\04-C3-EXISTING TOPOGRAPHY AND CONTROL.dwg LAYOUT NAME: Layout1 PLOTTED: Wednesday, February 01, 2017 -- 5:27pm USER: Olaniva



SURVEY DATUM
HORIZONTAL: NAD 83 TEXAS SOUTH ZONE
VERTICAL: NAVD 88

CONTROL POINT DATA				
CONTROL POINT #	DESCRIPTION	NORTHING	EASTING	ELEVATION
1	SET 5/8" IRON ROD WITH CAP	16562775.96	1422769.91	11.65
2	SET 5/8" IRON ROD WITH CAP	16562717.48	1422762.55	9.64

NOTE: ELEVATIONS ARE ASSUMED BASED ON THE CONTROL POINTS PROVIDED.



EXISTING LEGEND			
	EXISTING LIGHT POLE		EXISTING PAVERS
	EXISTING SIGN		EXISTING TIMBER WALKOVER
	BENCHMARK	16.11EP	EXISTING EDGE OF PAVEMENT
	IRON ROD	15.81CONC	EXISTING CONCRETE
	PK NAIL	17.79NG	EXISTING NATURAL GROUND
	EXISTING TREE	10.83BRIDGE	EXISTING TIMBER WALKOVER
	EXISTING WATER METER	15.81BLD	EXISTING BUILDING
	EXISTING SANITARY SEWER MANHOLE	17.79FNC	EXISTING FENCE
	EXISTING WHEEL STOP	17.79ER	EXISTING EDGE OF ROAD
	EXISTING FIRE HYDRANT	17.79SE	EXISTING SPOT ELEVATION
	EXISTING CONCRETE/WOOD FENCE	17.79PAVER	EXISTING PAVERS
	EXISTING CHAINLINK FENCE		
	EXISTING SANITARY SEWER LINE		
	EXISTING WATERLINE		
	EXISTING GULF OF MEXICO		
	EXISTING ASPHALT		
	EXISTING CONCRETE		

CONSULTANT'S SHEET
PROJECT NO. 15450-04



CITY OF SOUTH PADRE ISLAND
B) OCEAN CIRCLE BEACH ACCESS AND PARKING LOT
BEACH ACCESS #2

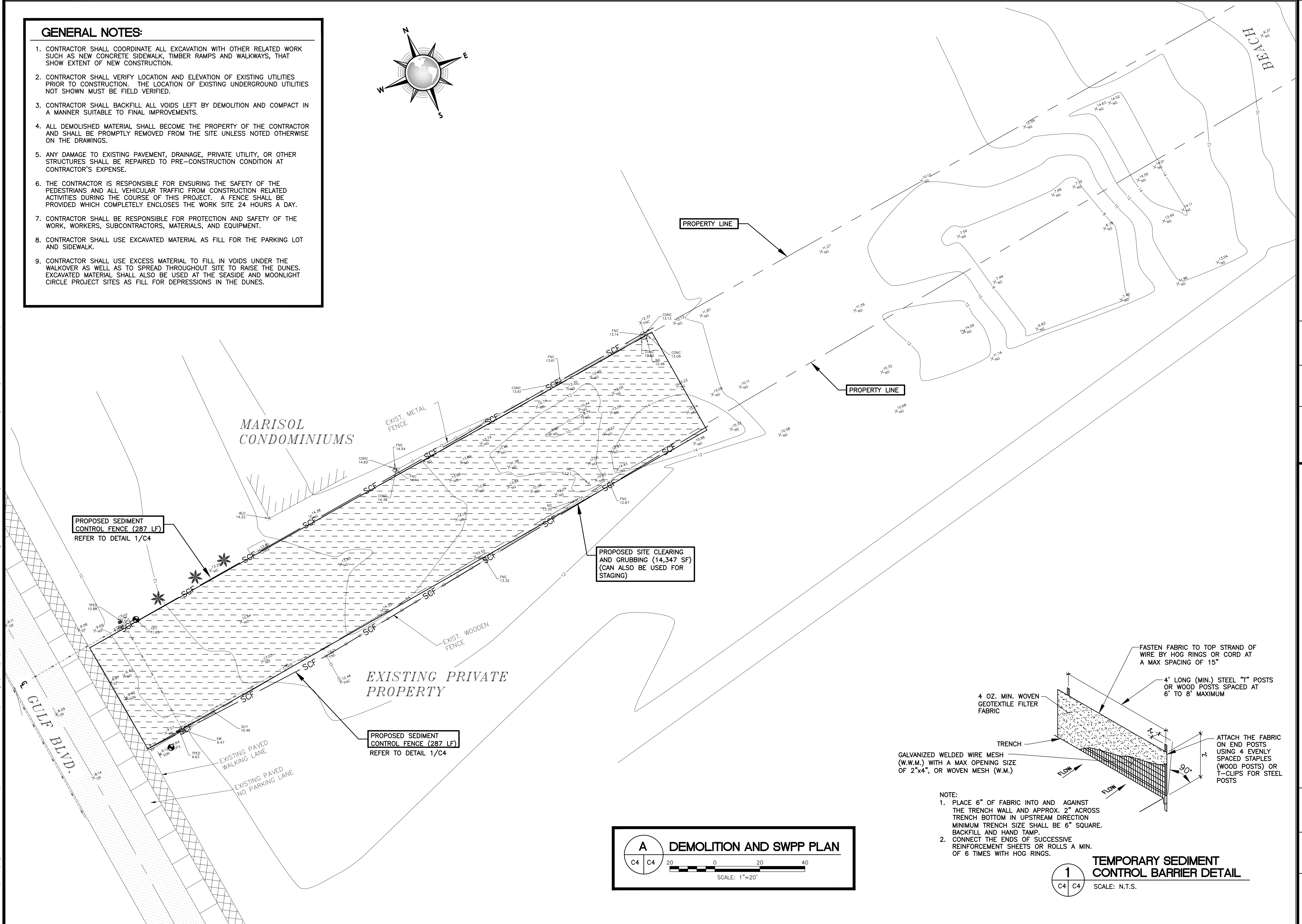
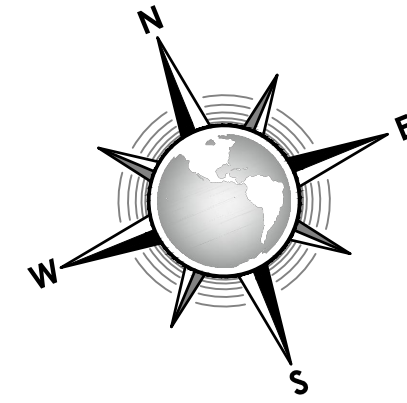
EXISTING TOPOGRAPHY & CONTROL DATA

DRAWING NO.

C3

SHEET 21 of 36

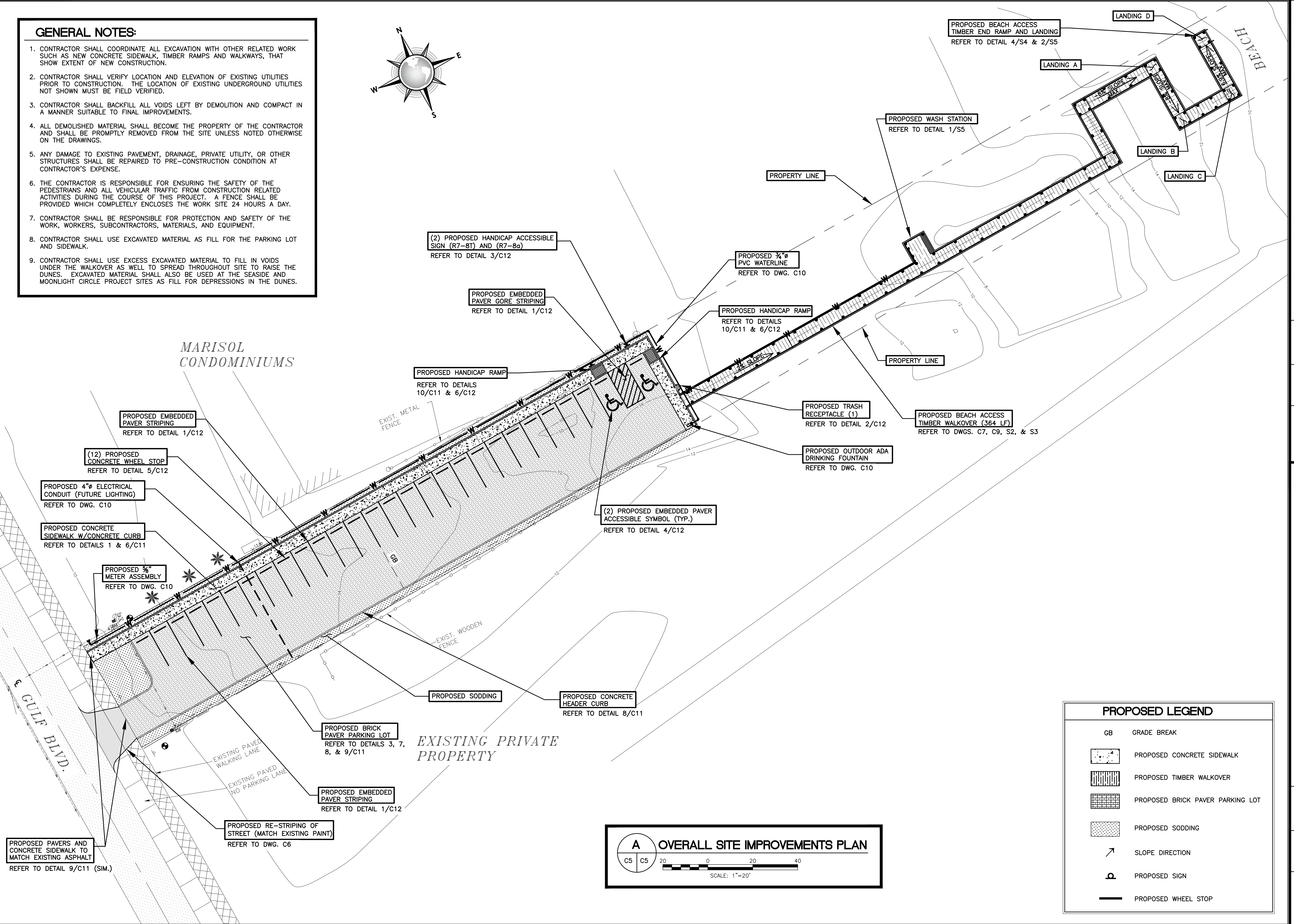
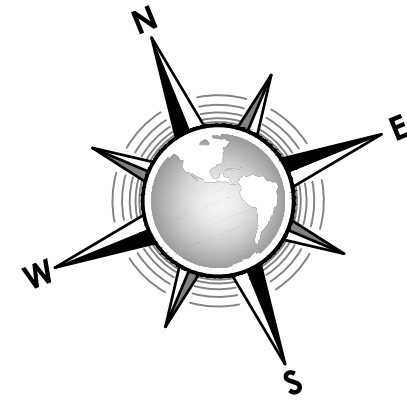
1. CONTRACTOR SHALL COORDINATE ALL EXCAVATION WITH OTHER RELATED WORK SUCH AS NEW CONCRETE SIDEWALK, TIMBER RAMPS AND WALKWAYS, THAT SHOW EXTENT OF NEW CONSTRUCTION.
2. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE LOCATION OF EXISTING UNDERGROUND UTILITIES NOT SHOWN MUST BE FIELD VERIFIED.
3. CONTRACTOR SHALL BACKFILL ALL VOIDS LEFT BY DEMOLITION AND COMPACT IN A MANNER SUITABLE TO FINAL IMPROVEMENTS.
4. ALL DEMOLISHED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE PROMPTLY REMOVED FROM THE SITE UNLESS NOTED OTHERWISE ON THE DRAWINGS.
5. ANY DAMAGE TO EXISTING PAVEMENT, DRAINAGE, PRIVATE UTILITY, OR OTHER STRUCTURES SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITION AT CONTRACTOR'S EXPENSE.
6. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THE SAFETY OF THE PEDESTRIANS AND ALL VEHICULAR TRAFFIC FROM CONSTRUCTION RELATED ACTIVITIES DURING THE COURSE OF THIS PROJECT. A FENCE SHALL BE PROVIDED WHICH COMPLETELY ENCLOSES THE WORK SITE 24 HOURS A DAY.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION AND SAFETY OF THE WORK, WORKERS, SUBCONTRACTORS, MATERIALS, AND EQUIPMENT.
8. CONTRACTOR SHALL USE EXCAVATED MATERIAL AS FILL FOR THE PARKING LOT AND SIDEWALK.
9. CONTRACTOR SHALL USE EXCESS MATERIAL TO FILL IN VOIDS UNDER THE WALKOVER AS WELL AS TO SPREAD THROUGHOUT SITE TO RAISE THE DUNES. EXCAVATED MATERIAL SHALL ALSO BE USED AT THE SEASIDE AND MOONLIGHT CIRCLE PROJECT SITES AS FILL FOR DEPRESSIONS IN THE DUNES.

[illegible]

FILE NAME: F:\2015\City of South Padre Island\Ocean Circle Beach Access\Drawings\Civil\06-C5-OVERALL SITE IMPROVEMENTS PLAN.dwg LAYOUT NAME: Layout1 PLOTTED: Wednesday, February 01, 2017 - 5:27pm USER: CMorales

GENERAL NOTES:

1. CONTRACTOR SHALL COORDINATE ALL EXCAVATION WITH OTHER RELATED WORK SUCH AS NEW CONCRETE SIDEWALK, TIMBER RAMPS AND WALKWAYS, THAT SHOW EXTENT OF NEW CONSTRUCTION.
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REVISION NO.		DATE	BY	DESCRIPTION
11-21-16		JJ, CM	BY	ADDED GENERAL NOTES AS PER G.L.O. COMMENTS
C5				
SHEET 23 of 36				
DRAWING NO. C5				
OVERALL SITE IMPROVEMENTS PLAN				
B) OCEAN CIRCLE BEACH ACCESS AND PARKING LOT				
CITY OF SOUTH PADRE ISLAND				
CONSULTANT'S SHEET PROJECT NO. 15450-04				
JESUS JAVIER JIMENEZ 100765 PROFESSIONAL SEAL				
INTERNATIONAL CONSULTING ENGINEERS 555 N. CARANCAHUA ST. STE. 860 CORPUS CHRISTI, TX 78401 PHONE: 361.926.5805 FAX: 361.926.5806 I.B.P.E. FIRM REGISTRATION #F-10837				

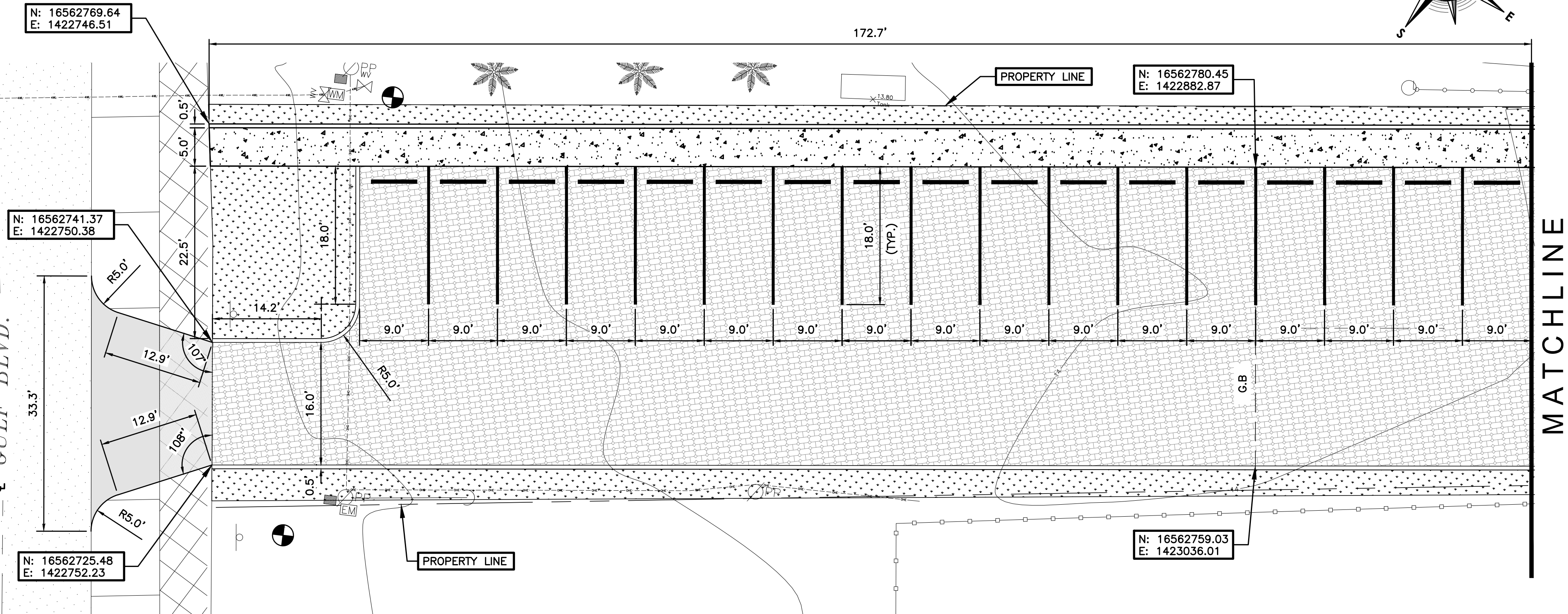
FILE NAME: F:\2015\City of South Padre Island\Ocean Circle Beach Access\Drawings\Civil\07-C6-PARKING LOT STAKING PLAN.dwg LAYOUT NAME: Layout1 PLOTTED: Wednesday, February 01, 2017 - 5:27pm USER: DMontalvo

GENERAL NOTES:

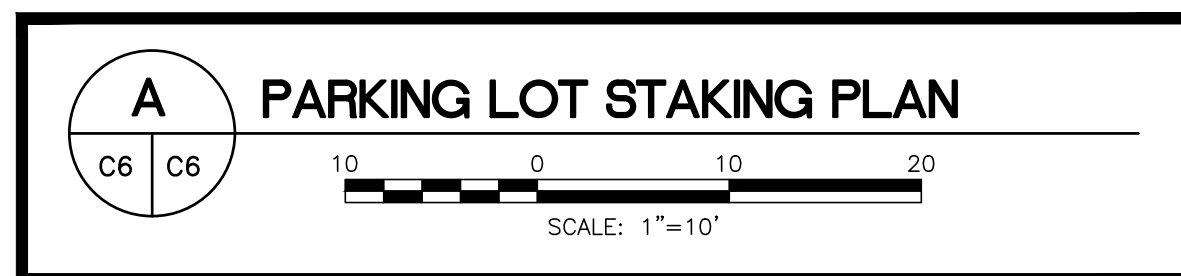
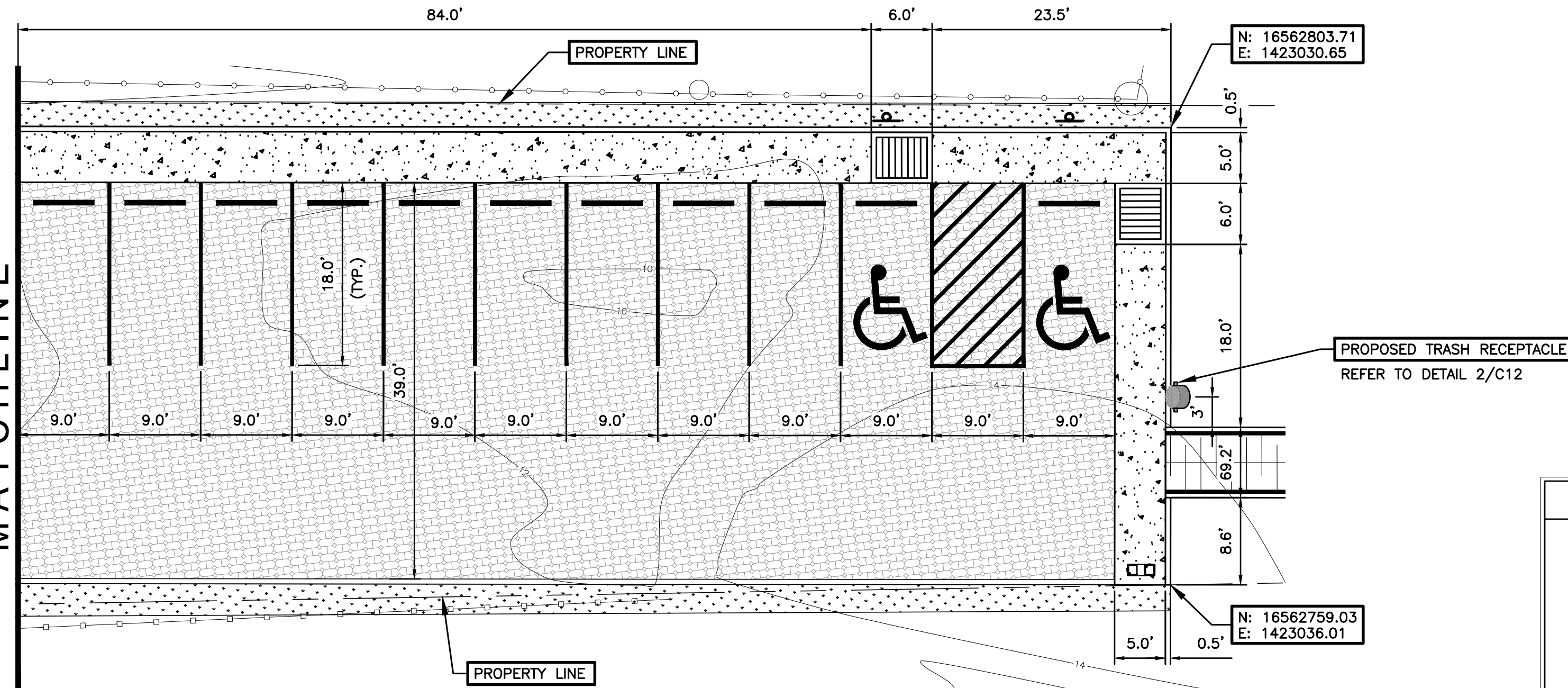
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2. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE LOCATION OF EXISTING UNDERGROUND UTILITIES NOT SHOWN MUST BE FIELD VERIFIED.
3. CONTRACTOR SHALL BACKFILL ALL VOIDS LEFT BY DEMOLITION AND COMPACT IN A MANNER SUITABLE TO FINAL IMPROVEMENTS.
4. ALL DEMOLISHED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE PROMPTLY REMOVED FROM THE SITE UNLESS NOTED OTHERWISE ON THE DRAWINGS.
5. ANY DAMAGE TO EXISTING PAVEMENT, DRAINAGE, PRIVATE UTILITY, OR OTHER STRUCTURES SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITION AT CONTRACTOR'S EXPENSE.
6. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THE SAFETY OF THE PEDESTRIANS AND ALL VEHICULAR TRAFFIC FROM CONSTRUCTION RELATED ACTIVITIES DURING THE COURSE OF THIS PROJECT. A FENCE SHALL BE PROVIDED WHICH COMPLETELY ENCLOSES THE WORK SITE 24 HOURS A DAY.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION AND SAFETY OF THE WORK, WORKERS, SUBCONTRACTORS, MATERIALS, AND EQUIPMENT.
8. ALL DIMENSIONS PERTAINING TO THE TIMBER WALKOVER STRUCTURE ARE TO THE EDGES OF THE WALKING SURFACE. REFER TO STRUCTURAL DETAILS FOR MORE SPECIFIC DIMENSIONS.
9. CONTRACTOR SHALL USE EXCAVATED MATERIAL AS FILL MATERIAL FOR PARKING LOT AND SIDEWALK.
10. FOR TIMBER WALKOVER STAKING, REFER TO DRAWING C7.

NOTE:
ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS NOTED OTHERWISE.

— GULF BLVD.



MATCHLINE



PROPOSED LEGEND

- PROPOSED CONCRETE SIDEWALK
- PROPOSED TIMBER WALKOVER
- PROPOSED BRICK PAVERS PARKING LOT
- PROPOSED SODDING
- G.B. GRADE BREAK
- SLOPE DIRECTION
- PROPOSED SIGN
- PROPOSED WHEEL STOP

MATCHLINE

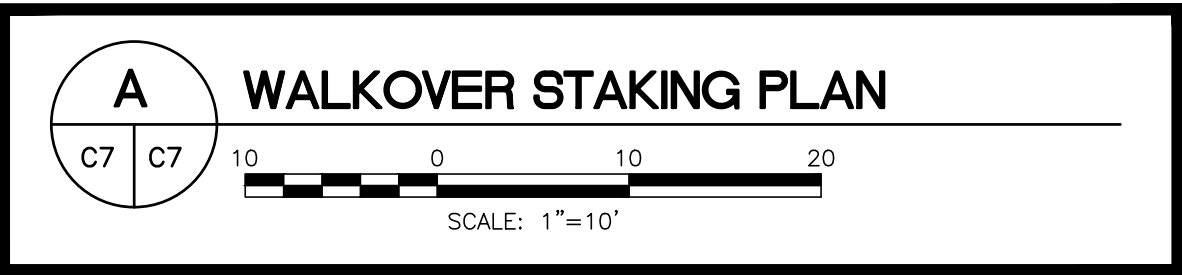
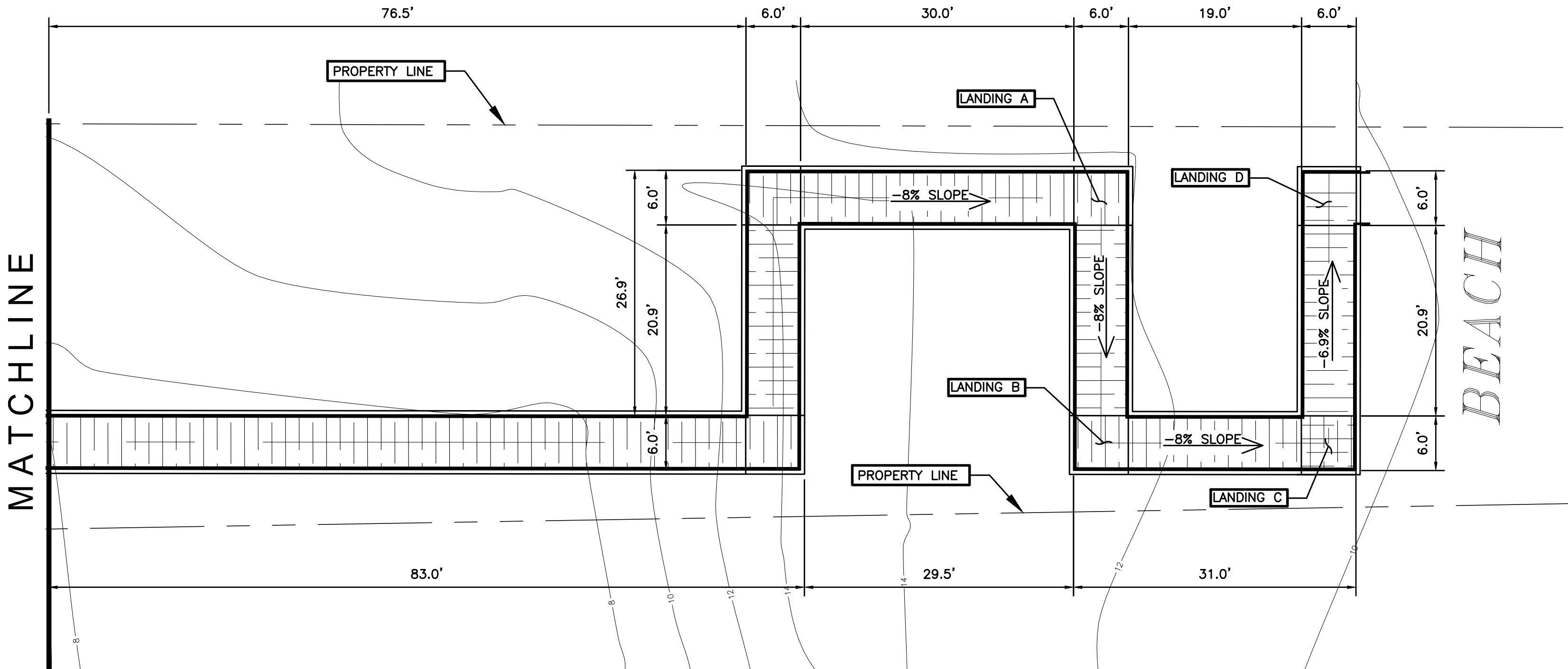
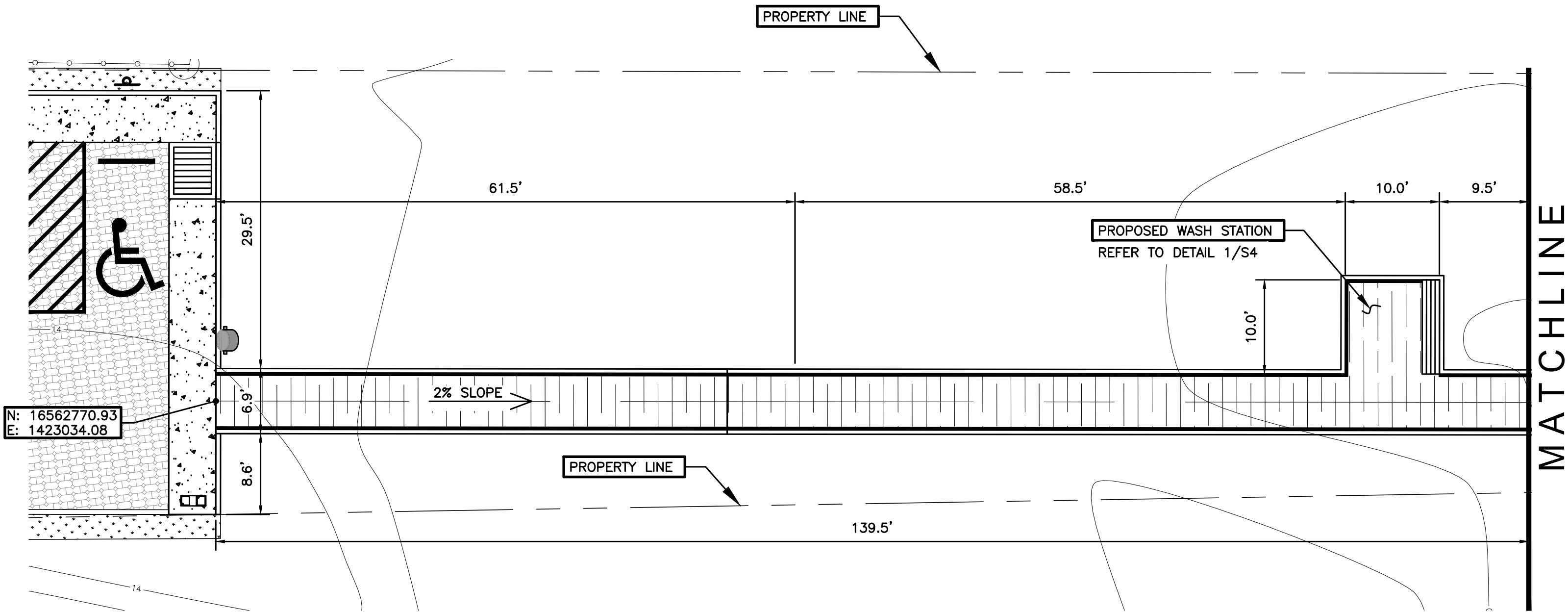
REVISION NO.		DATE	BY	DESCRIPTION
A		11-21-16	JL, CM	ADDED GENERAL NOTES AS PER G.L.O. COMMENTS
CITY OF SOUTH PADRE ISLAND B) OCEAN CIRCLE BEACH ACCESS AND PARKING LOT BEACH ACCESS #2				
DRAWING NO. C6				
SHEET 24 of 36				
CONSULTANT'S SHEET PROJECT NO. 15450-04				
JESUS JAVIER JIMENEZ 100765 PROFESSIONAL ENGINEER STATE OF TEXAS 1/17/17				
INTERNATIONAL CONSULTING ENGINEERS 555 N. CARANCAHUA ST. STE. 860 CORPUS CHRISTI, TX 78401 PHONE: 361.926.5805 FAX: 361.926.5806 I.C.E. REGISTRATION #E-10837				
South Padre Island				
PARKING LOT STAKING PLAN				

FILE NAME: F:\2015\City of South Padre Island\Ocean Circle Beach Access\Drawings\Civil\08-C7-WALKOVER STAKING PLAN.dwg LAYOUT NAME: Layout1 PLOTTED: Wednesday, February 01, 2017 - 5:28pm USER: Clemente

GENERAL NOTES:

1. CONTRACTOR SHALL COORDINATE ALL EXCAVATION WITH OTHER RELATED WORK SUCH AS NEW CONCRETE SIDEWALK, TIMBER RAMPS AND WALKWAYS, THAT SHOW EXTENT OF NEW CONSTRUCTION.
2. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE LOCATION OF EXISTING UNDERGROUND UTILITIES NOT SHOWN MUST BE FIELD VERIFIED.
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8. ALL DIMENSIONS PERTAINING TO THE TIMBER WALKOVER STRUCTURE ARE TO THE EDGES OF THE WALKING SURFACE. REFER TO STRUCTURAL DETAILS FOR MORE SPECIFIC DIMENSIONS.
9. CONTRACTOR SHALL USE EXCAVATED MATERIAL AS FILL MATERIAL FOR PARKING LOT AND SIDEWALK.
10. FOR STAKING OF THE PARKING LOT, REFER TO DRAWING C6.

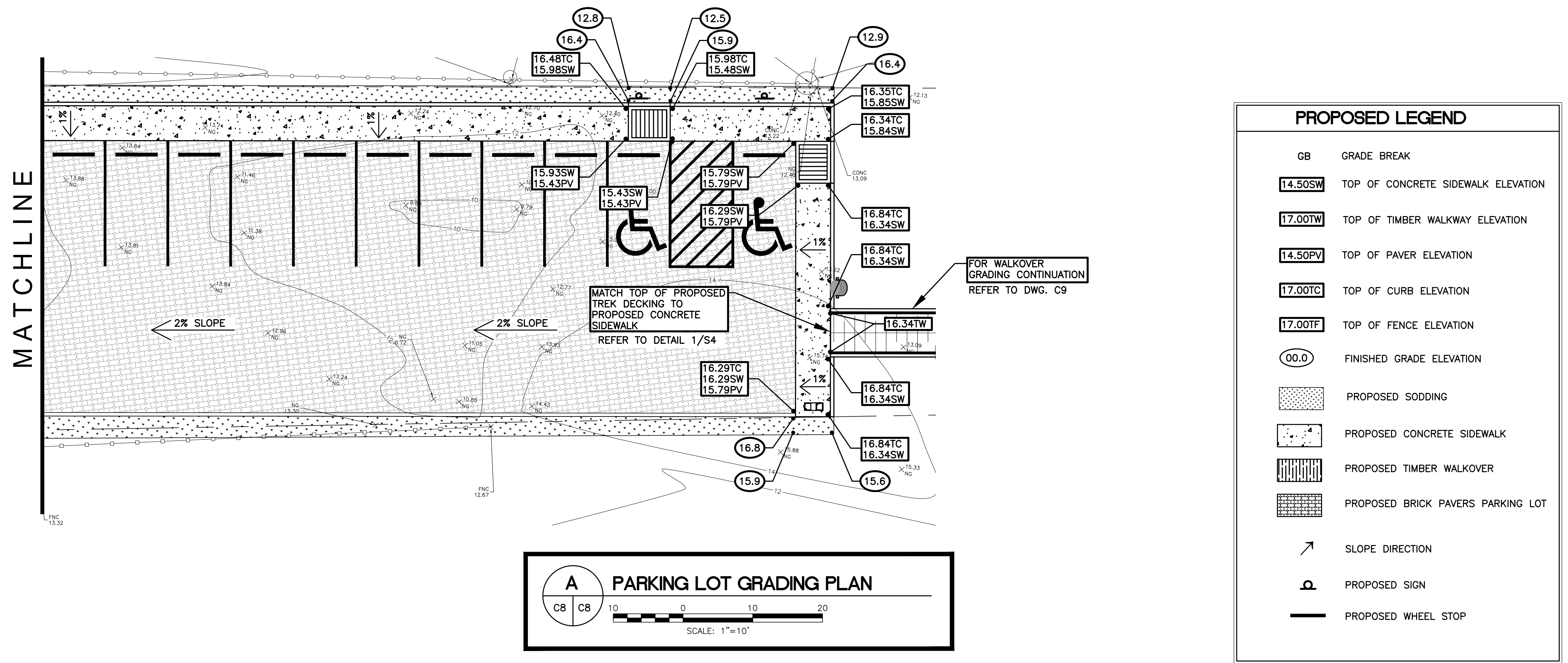
NOTE: REFER TO STRUCTURAL DRAWINGS S2 & S3 FOR TIMBER PILE STAKING



PROPOSED LEGEND	
	PROPOSED SODDING
	PROPOSED CONCRETE SIDEWALK
	PROPOSED TIMBER WALKOVER
	PROPOSED BRICK PAVERS PARKING LOT
	SLOPE DIRECTION
	PROPOSED SIGN
	PROPOSED WHEEL STOP

CONSULTANT'S SHEET	
PROJECT NO. 15450-04	
INTERNATIONAL CONSULTING ENGINEERS 555 N. CARANCAHUA ST. STE. 980 CORPUS CHRISTI, TX 78401 PHONE: 361.926.5805 FAX: 361.926.5806 I.C.E. FIRM REGISTRATION #F-10837	
REVISION NO.	DESCRIPTION
11-21-16	CITY OF SOUTH PADRE ISLAND B) OCEAN CIRCLE BEACH ACCESS AND PARKING LOT BEACH ACCESS #2
11-21-16	WALKOVER STAKING PLAN
DRAWING NO. C7	
SHEET 25 of 36	

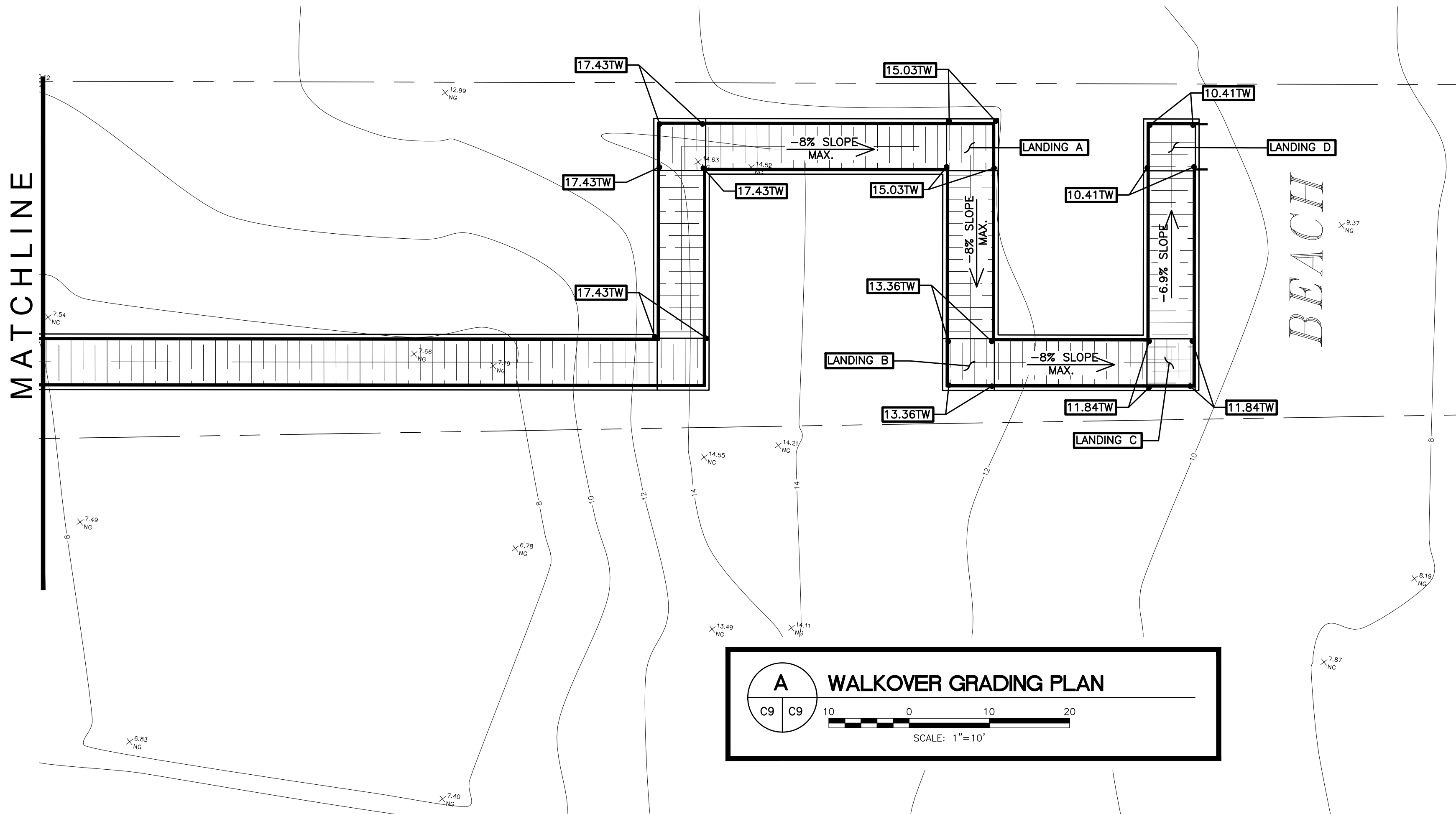
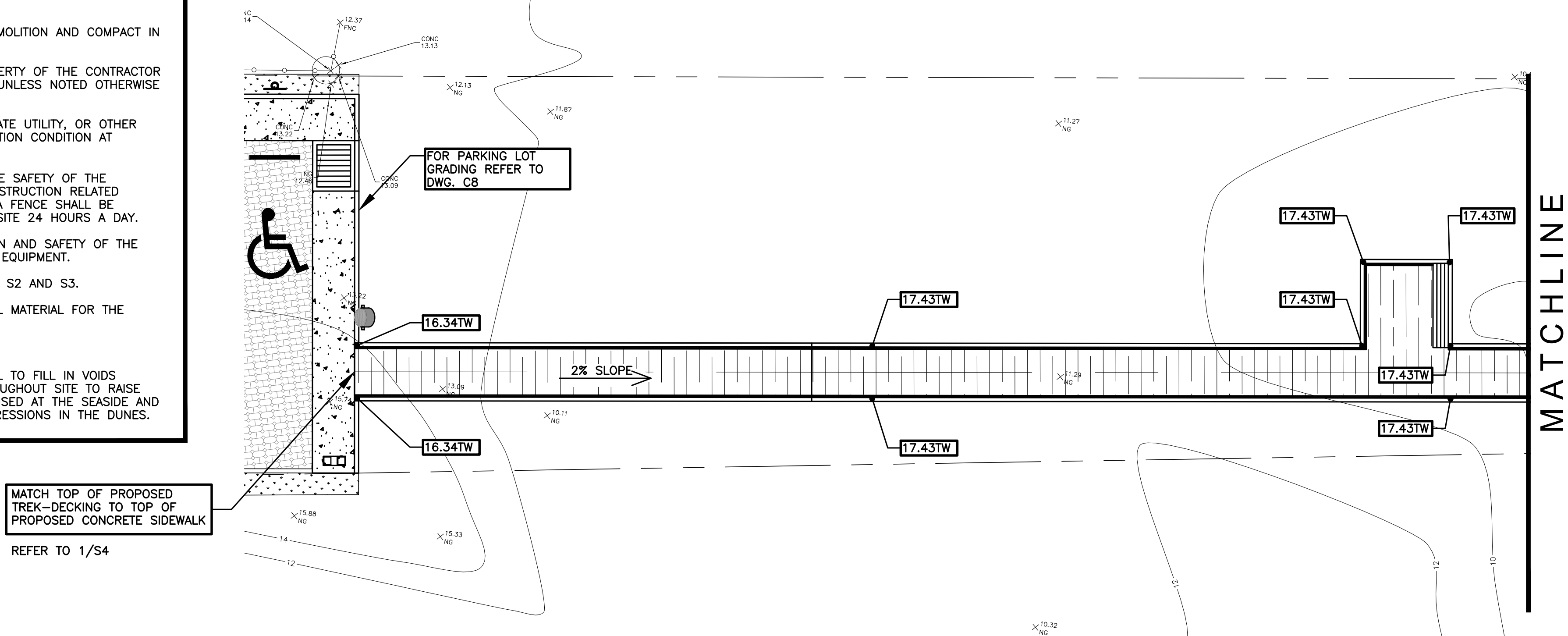
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7. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION AND SAFETY OF THE WORK, WORKERS, SUBCONTRACTORS, MATERIALS, AND EQUIPMENT.
8. FOR DUNE PROFILE AND GRADES, REFER TO DRAWING S2 AND S3.
9. CONTRACTOR SHALL USE EXCAVATED MATERIAL AS FILL MATERIAL FOR THE PARKING LOT AND SIDEWALK.
0. FOR TIMBER WALKOVER GRADING, REFER TO DRAWING C9.
1. CONTRACTOR SHALL USE EXCESS EXCAVATED MATERIAL TO FILL IN VOIDS UNDER THE PROPOSED PARKING LOT AS WELL AS TO SPREAD THROUGHOUT SITE TO RAISE THE DUNES. EXCAVATED MATERIAL SHALL ALSO BE USED AT THE SEASIDE AND MOONLIGHT CIRCLE PROJECT SITES AS FILL FOR DEPRESSIONS IN EXCAVATED MATERIAL MUST BE CLEAR OF VEGETATION & DEBRIS IN THE DUNES.

[illegible]

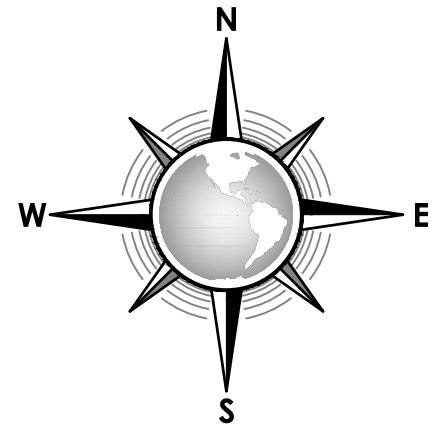
FILE NAME: F:\2015\City of South Padre Island\Ocean Circle Beach Access\Drawings\Civil\10-C9-WALKOVER GRADING PLAN.dwg LAYOUT NAME: Layout1 PLOTTED: Wednesday, February 01, 2017 - 5:28pm USER: Clemente

GENERAL NOTES:

1. CONTRACTOR SHALL COORDINATE ALL EXCAVATION WITH OTHER RELATED WORK SUCH AS NEW CONCRETE SIDEWALK, TIMBER RAMPS AND WALKWAYS, THAT SHOW EXTENT OF NEW CONSTRUCTION.
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8. FOR DUNE PROFILE AND GRADES, REFER TO DRAWING S2 AND S3.
9. CONTRACTOR SHALL USE EXCAVATED MATERIAL AS FILL MATERIAL FOR THE PARKING LOT AND SIDEWALK.
10. FOR PARKING LOT GRADING, REFER TO DRAWING C8.
11. CONTRACTOR SHALL USE EXCESS EXCAVATED MATERIAL TO FILL IN VOIDS UNDER THE WALKOVER AS WELL AS TO SPREAD THROUGHOUT SITE TO RAISE THE DUNES. EXCAVATED MATERIAL SHALL ALSO BE USED AT THE SEASIDE AND MOONLIGHT CIRCLE PROJECT SITES AS FILL FOR DEPRESSIONS IN THE DUNES.



PROPOSED LEGEND	
14.50TR	TOP OF RETAINING WALL ELEVATION
14.50SW	TOP OF CONCRETE SIDEWALK ELEVATION
17.00TW	TOP OF TIMBER WALKWAY ELEVATION
14.50PV	TOP OF PAVER ELEVATION
17.00TC	TOP OF CURB ELEVATION
17.00TF	TOP OF FENCE ELEVATION
00.0	FINISHED GRADE ELEVATION
[Pattern]	PROPOSED SODDING
[Pattern]	PROPOSED CONCRETE SIDEWALK
[Pattern]	PROPOSED TIMBER WALKOVER
[Pattern]	PROPOSED BRICK PAVERS PARKING LOT
↗	SLOPE DIRECTION
⊙	PROPOSED SIGN
—	PROPOSED WHEEL STOP



CONSULTANT'S SHEET	
PROJECT NO. 15450-04	
REVISION NO.	DESCRIPTION
11-21-16	CITY OF SOUTH PADRE ISLAND B) OCEAN CIRCLE BEACH ACCESS AND PARKING LOT BEACH ACCESS #2 WALKOVER GRADING PLAN
DRAWING NO. C9	
SHEET 27 of 36	

FILE NAME: F:\2015\City of South Padre Island\Ocean Circle Beach Access\Drawings\Civil\11-C10-UTILITY IMPROVEMENTS PLAN.dwg LAYOUT NAME: Layout1 PLOTTED: Wednesday, February 01, 2017 - 5:28pm USER: CMontalvo

PROPOSED 4" X 5/8" BRONZE
DOUBLE STRAP SADDLE WITH
TEFLON BALL CORPORATION AS PER
LAGUNA MADRE WATER DISTRICT
REFER TO DWG. C13

PROPOSED 3/4" X
90° COPPER BEND
REFER TO DWG. C13

PROPOSED 5/8" X 5/8" X 5/8"
TYPE "K" COPPER PIPE
AS PER LAGUNA MADRE
WATER DISTRICT
REFER TO DWG. C13

PROPOSED 5/8" X
COPPER TO 3/4" PVC
ADAPTER
REFER TO DWG. C13

PROPOSED 5/8" WATER
METER ASSEMBLY WITH BOX
& COVER AS PER LAGUNA
MADRE WATER DISTRICT
REFER TO DWG. C13

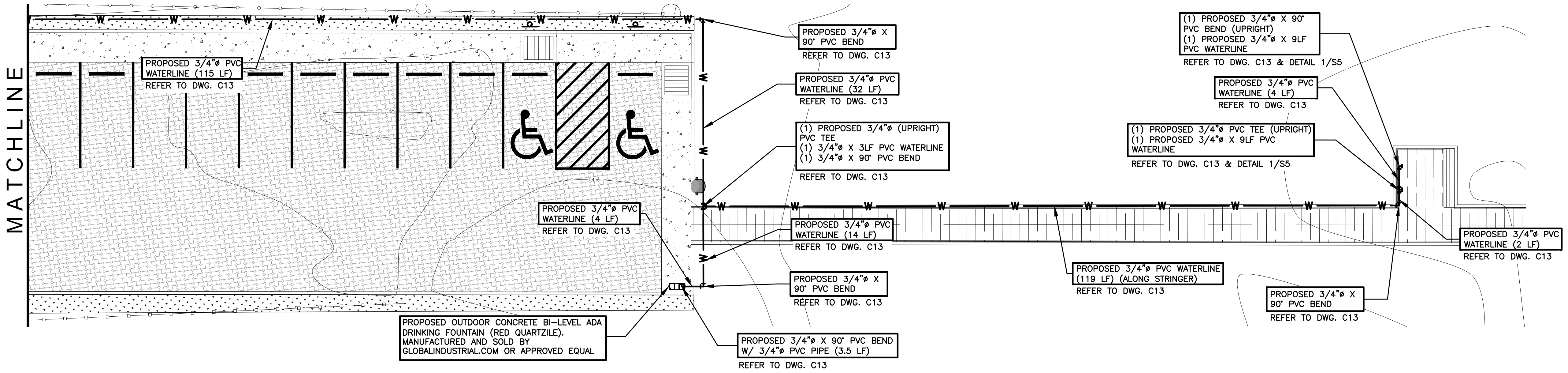
PROPOSED 4" PVC ELECTRICAL CONDUIT
AND STUB UP @ EACH END FOR FUTURE
LIGHTING (CAPPED W/PULL STRINGS)
(INSTALL WARNING TAPE ABOVE CONDUIT)
REFER TO DETAILS 1/C10 & 2/C10

PROPOSED 3/4" X
PVC WATERLINE (170 LF)
REFER TO DWG. C13

N: 16562732.29
E: 1422829.90

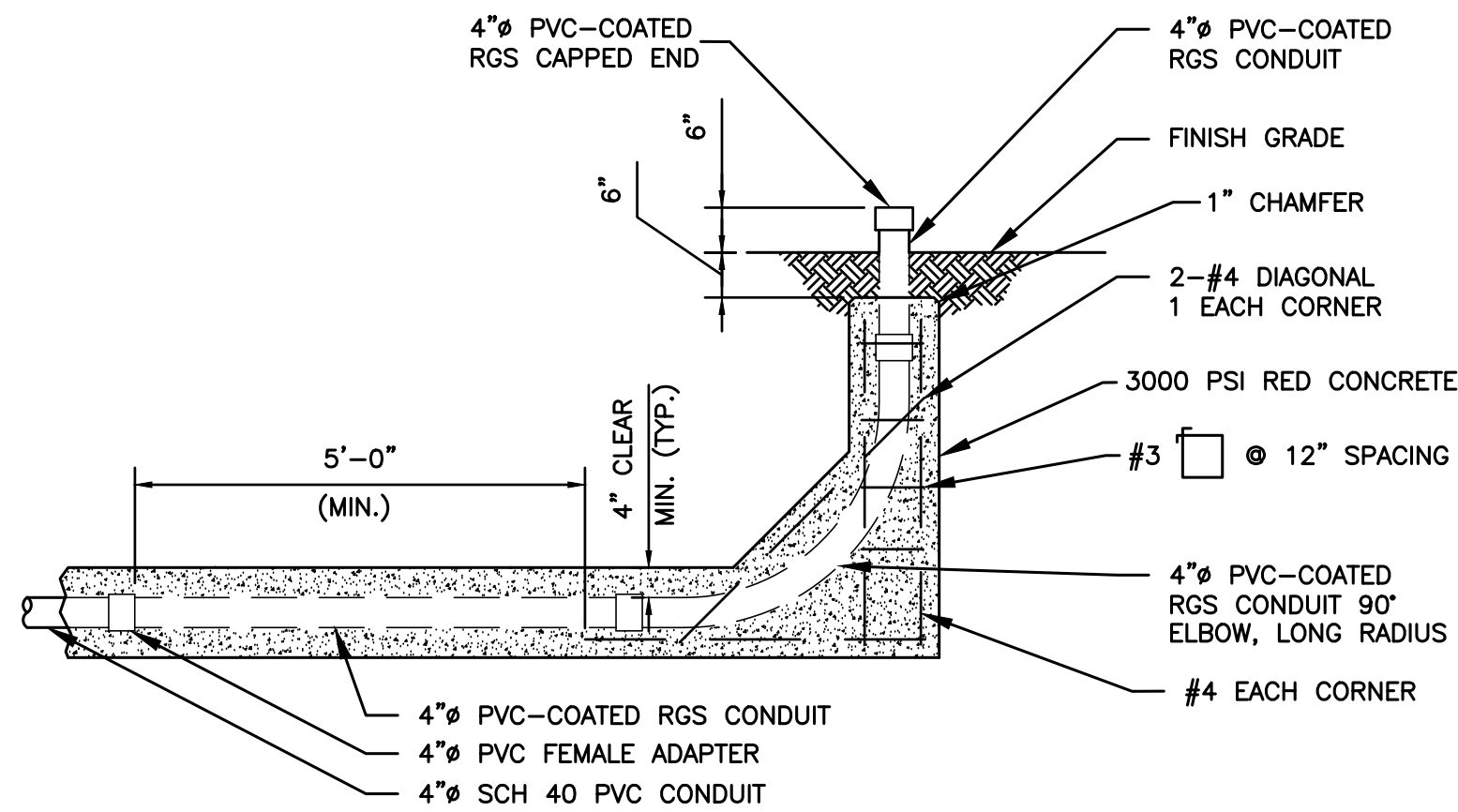


MATCHLINE

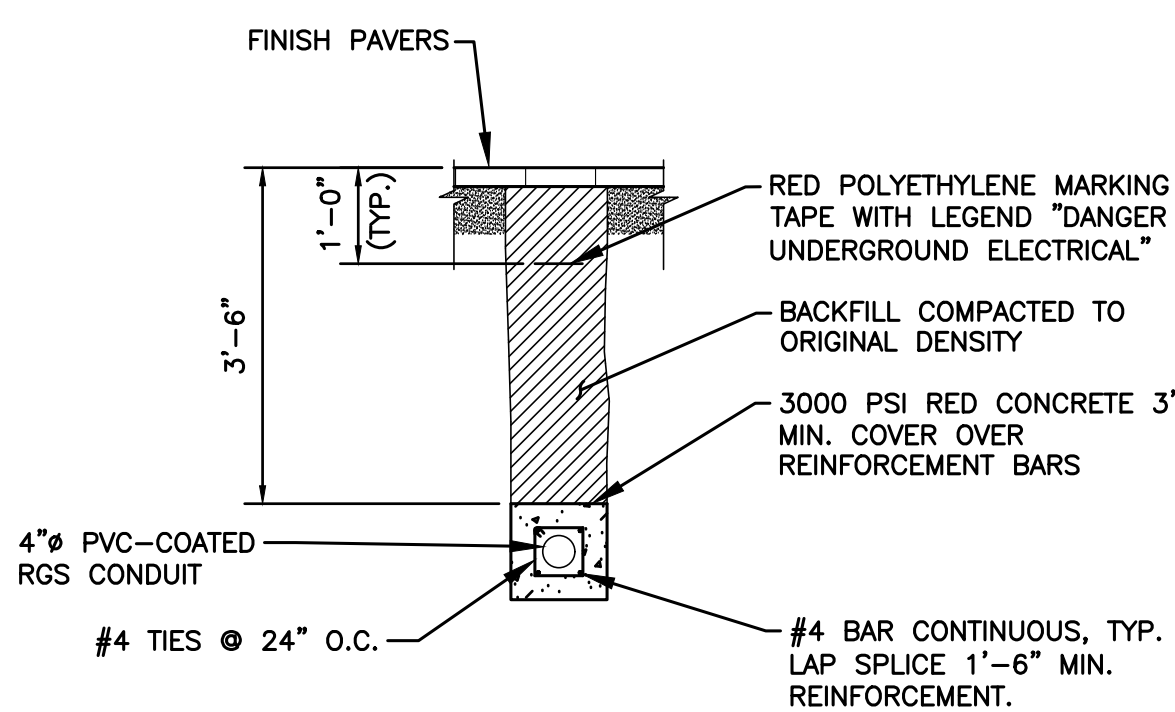


GENERAL NOTES:

- CONTRACTOR SHALL COMPLY WITH THE LATEST EDITION OF LAGUNA MADRE WATER DISTRICT STANDARDS AND GUIDELINES.
- CONTRACTOR SHALL NOTIFY LAGUNA MADRE WATER DISTRICT AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF WORK IN ORDER TO HAVE LAGUNA MADRE WATER DISTRICT AGENT PRESENT DURING WORK.
- CONTRACTOR TO VERIFY DEPTH OF EXISTING 2" WATERLINE. PROPOSED WATERLINE SHALL HAVE A MINIMUM 3'-0" COVER REQUIREMENT.
- CONTRACTOR SHALL COORDINATE ALL EXCAVATION WITH OTHER RELATED WORK SUCH AS NEW CONCRETE SIDEWALK, TIMBER RAMPS AND WALKWAYS, THAT SHOW EXTENT OF NEW CONSTRUCTION.
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- ALL DEMOLISHED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE PROMPTLY REMOVED FROM THE SITE UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- ANY DAMAGE TO EXISTING PAVEMENT, DRAINAGE, PRIVATE UTILITY, OR OTHER STRUCTURES SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITION AT CONTRACTOR'S EXPENSE.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THE SAFETY OF THE PEDESTRIANS AND ALL VEHICULAR TRAFFIC FROM CONSTRUCTION RELATED ACTIVITIES DURING THE COURSE OF THIS PROJECT. A FENCE SHALL BE PROVIDED WHICH COMPLETELY ENCLOSES THE WORK SITE 24 HOURS A DAY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION AND SAFETY OF THE WORK, WORKERS, SUBCONTRACTORS, MATERIALS, AND EQUIPMENT.
- ALL THE CONSTRUCTION STAKING AND TESTING SHALL BE PROVIDED BY THE CONTRACTOR.

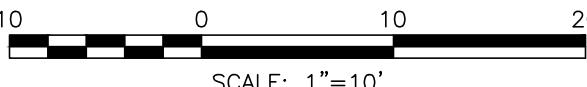


1 CONDUIT STUB-UP
SCALE: 1/2" = 1'-0"



2 TYPICAL UNDERGROUND CONDUIT SECTION
SCALE: 1/2" = 1'-0"

A UTILITY IMPROVEMENTS PLAN



PROPOSED LEGEND

- PROPOSED 3/4" WATERLINE
- PROPOSED SODDING
- PROPOSED CONCRETE SIDEWALK
- PROPOSED TIMBER WALKOVER
- PROPOSED BRICK PAVER PARKING LOT
- SLOPE DIRECTION
- PROPOSED SIGN
- PROPOSED WHEEL STOP

CONSULTANT'S SHEET
PROJECT NO. 15450-04



IE
INTERNATIONAL CONSULTING ENGINEERS
100765
555 N. CARANCAHUA ST. STE. 980
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I.C.E. FIRM REGISTRATION #F-10837



CITY OF SOUTH PADRE ISLAND
B) OCEAN CIRCLE BEACH ACCESS AND PARKING LOT
BEACH ACCESS #2

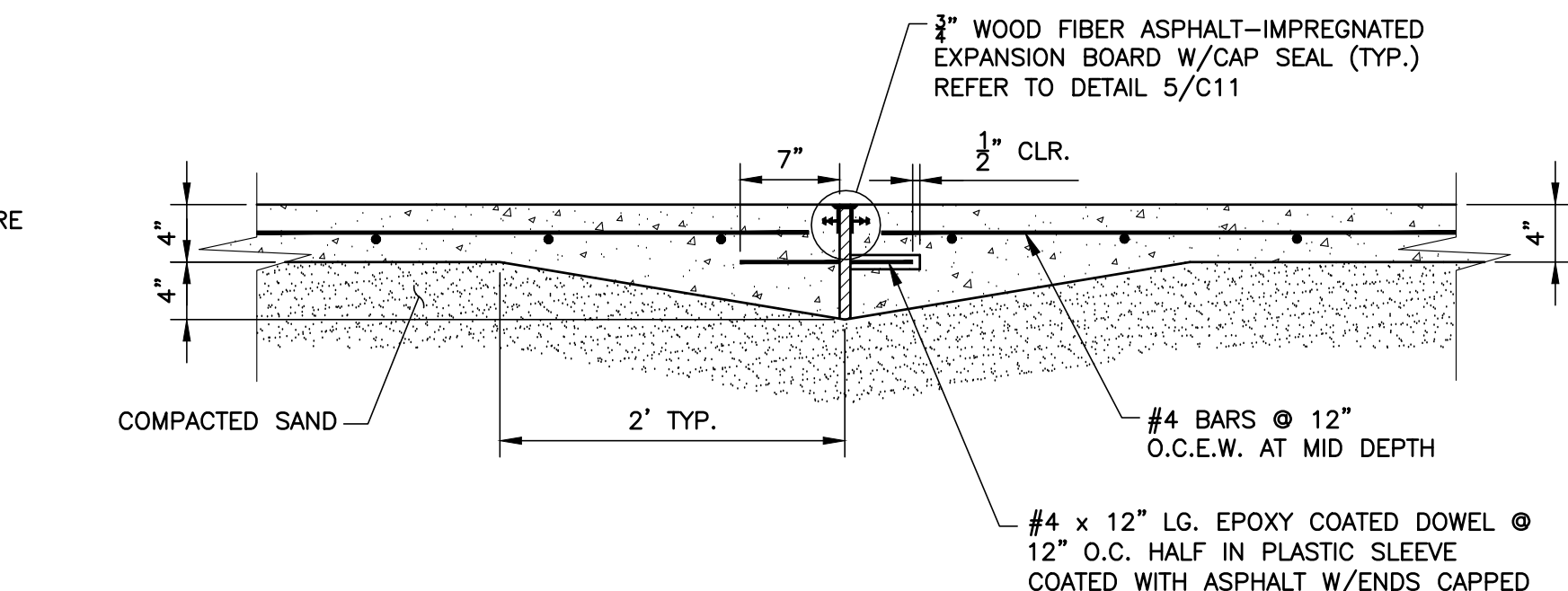
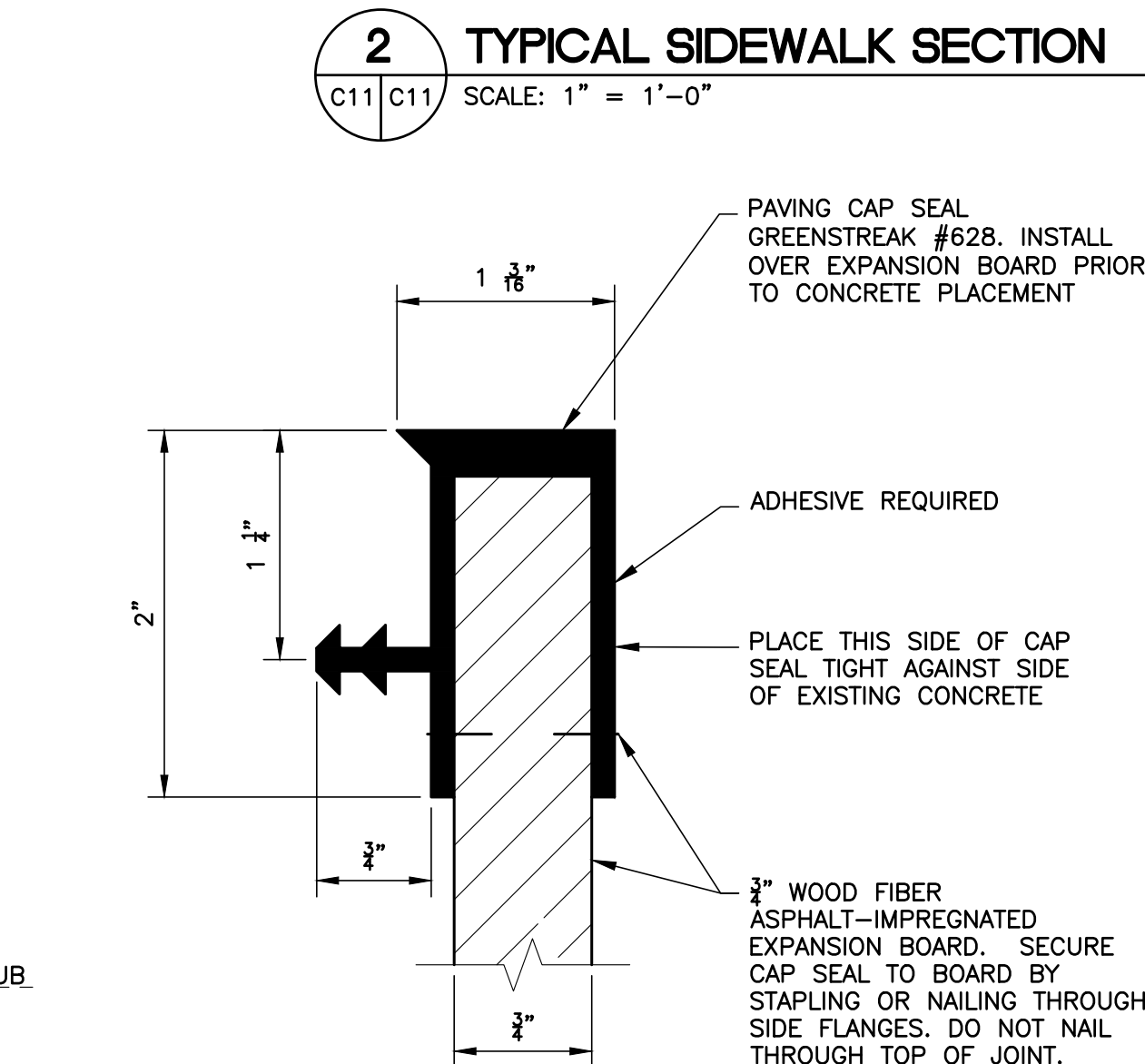
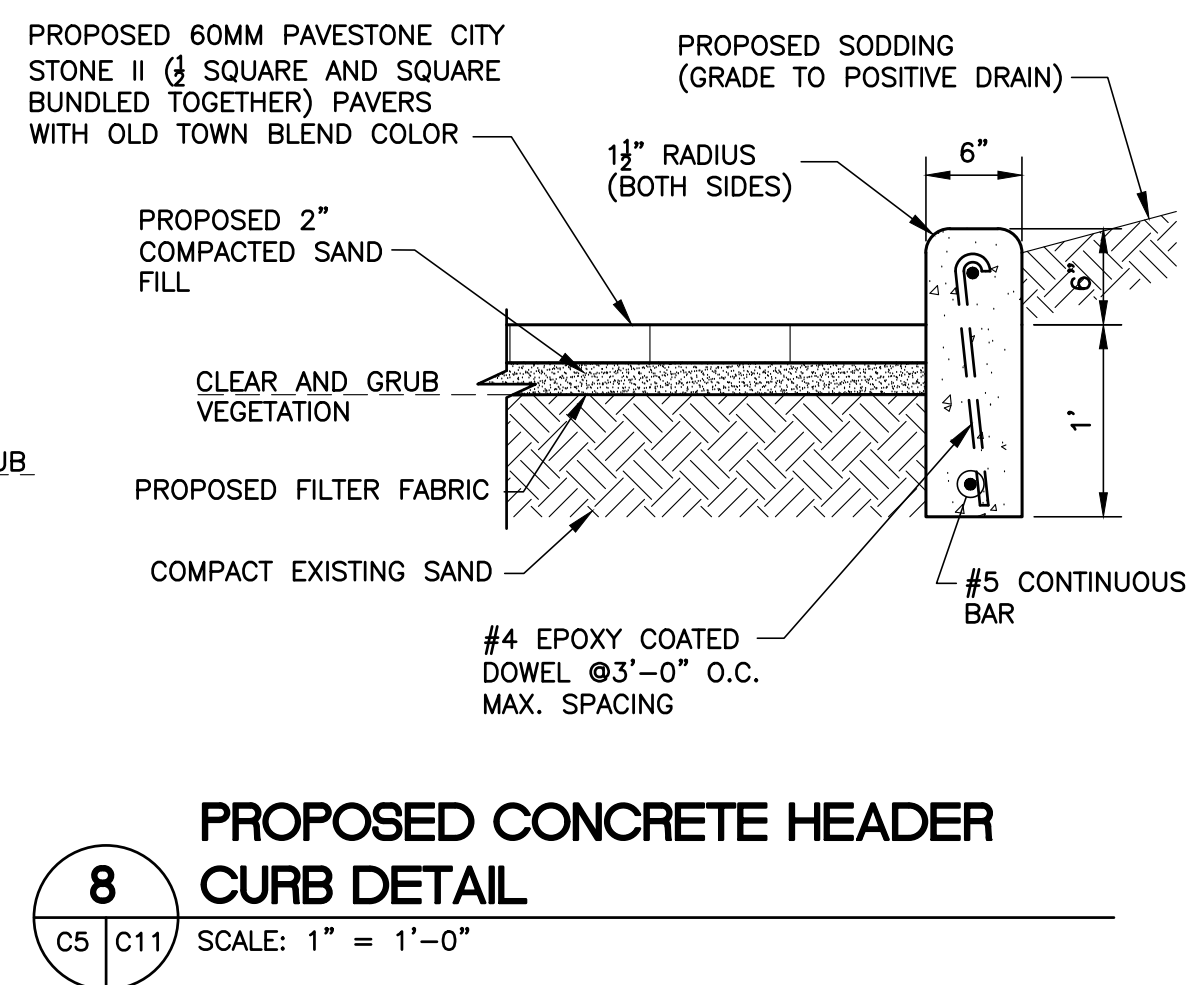
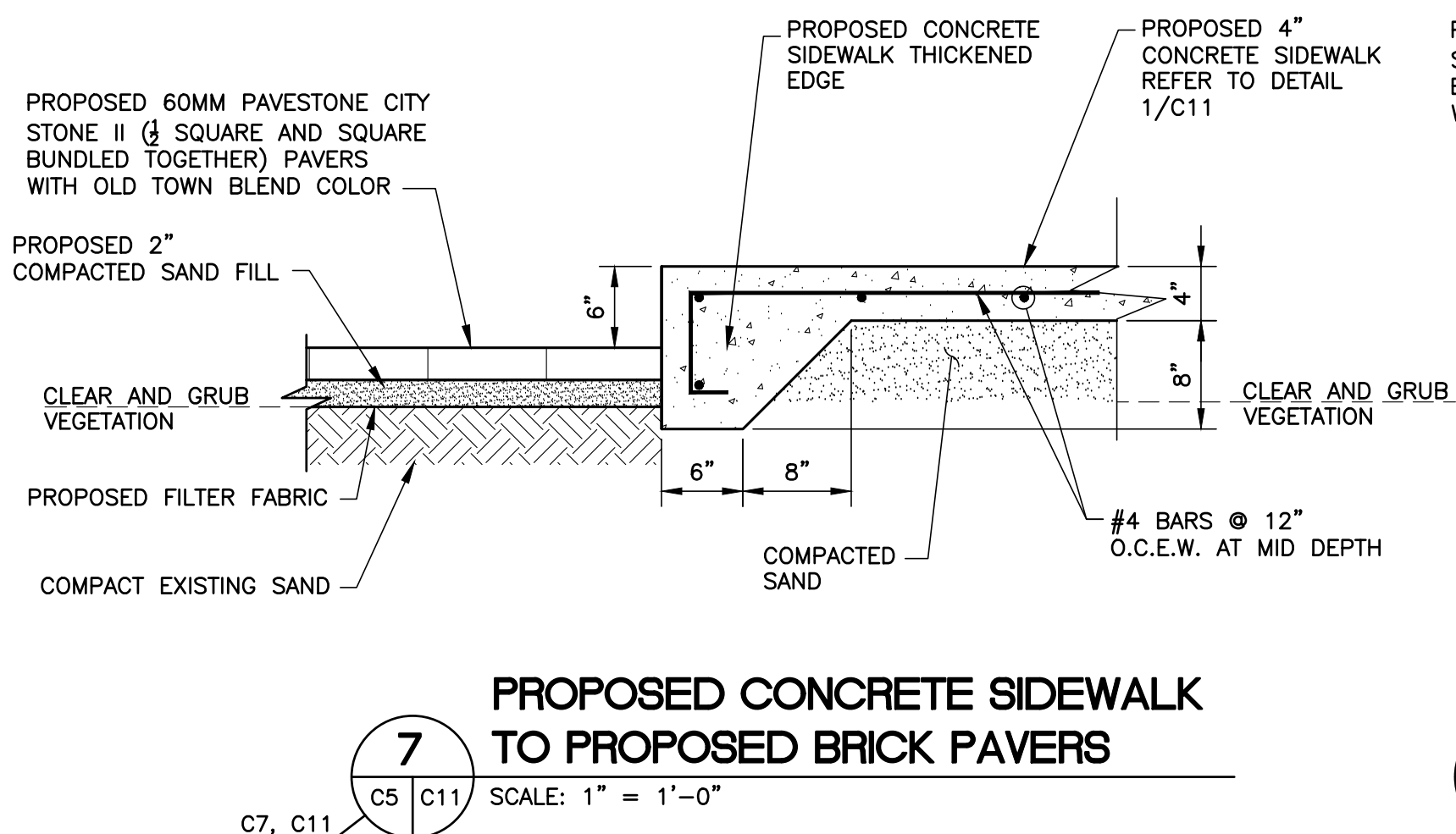
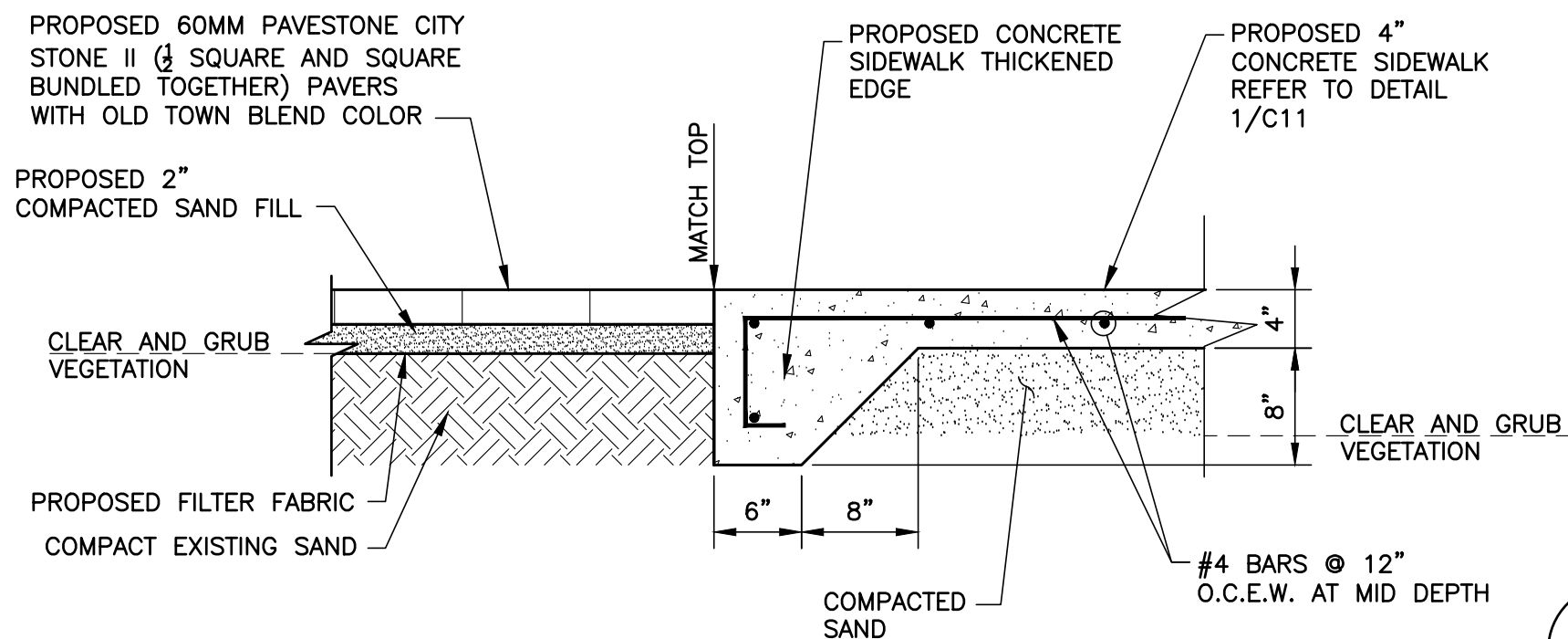
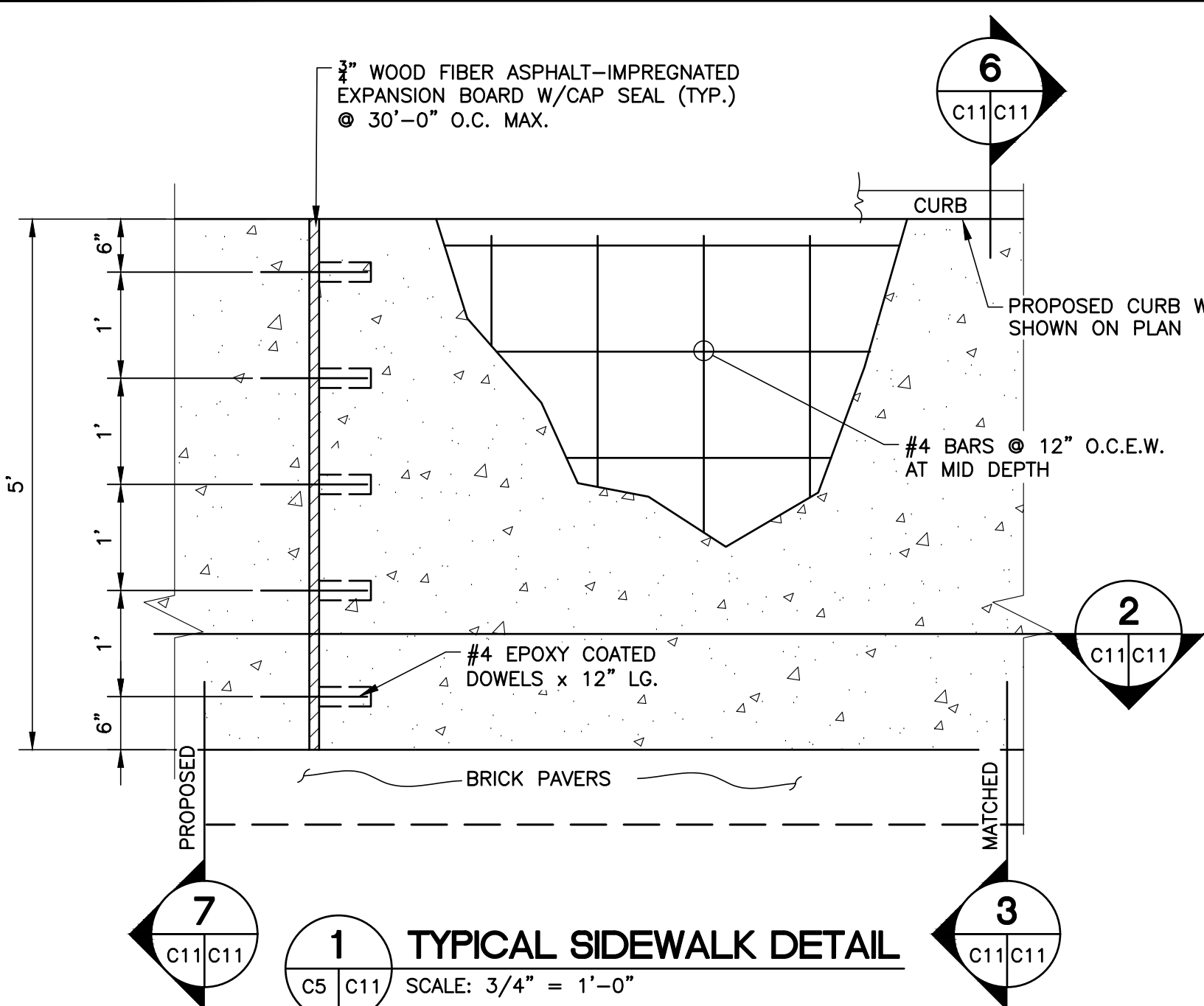
UTILITY IMPROVEMENTS PLAN

DRAWING NO.

C10

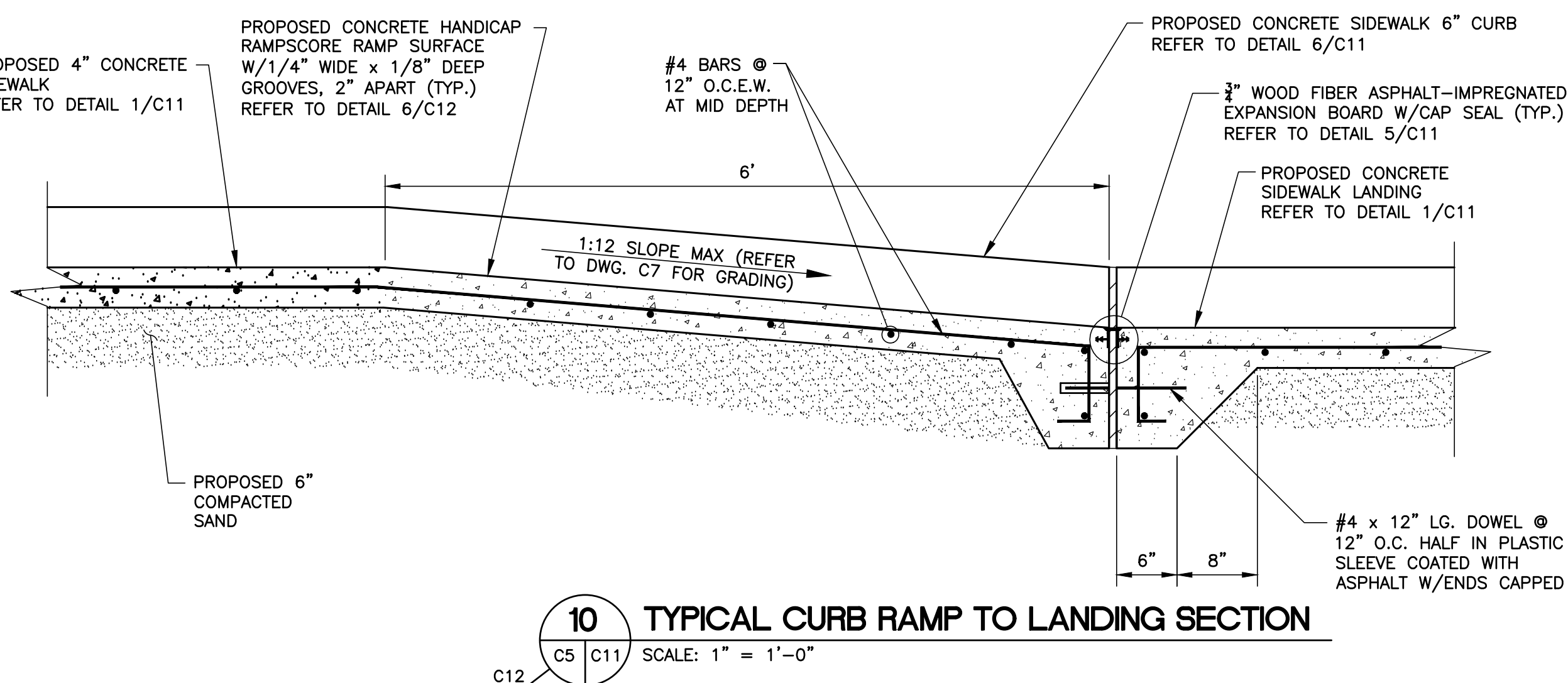
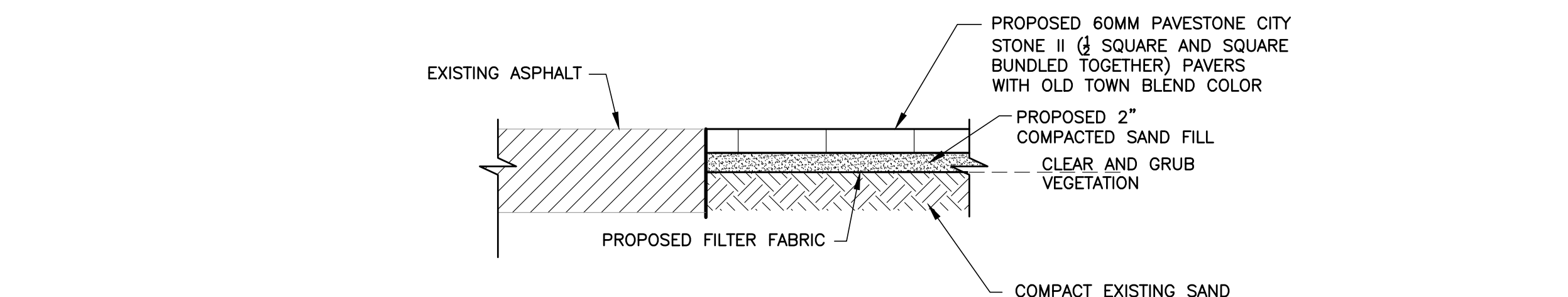
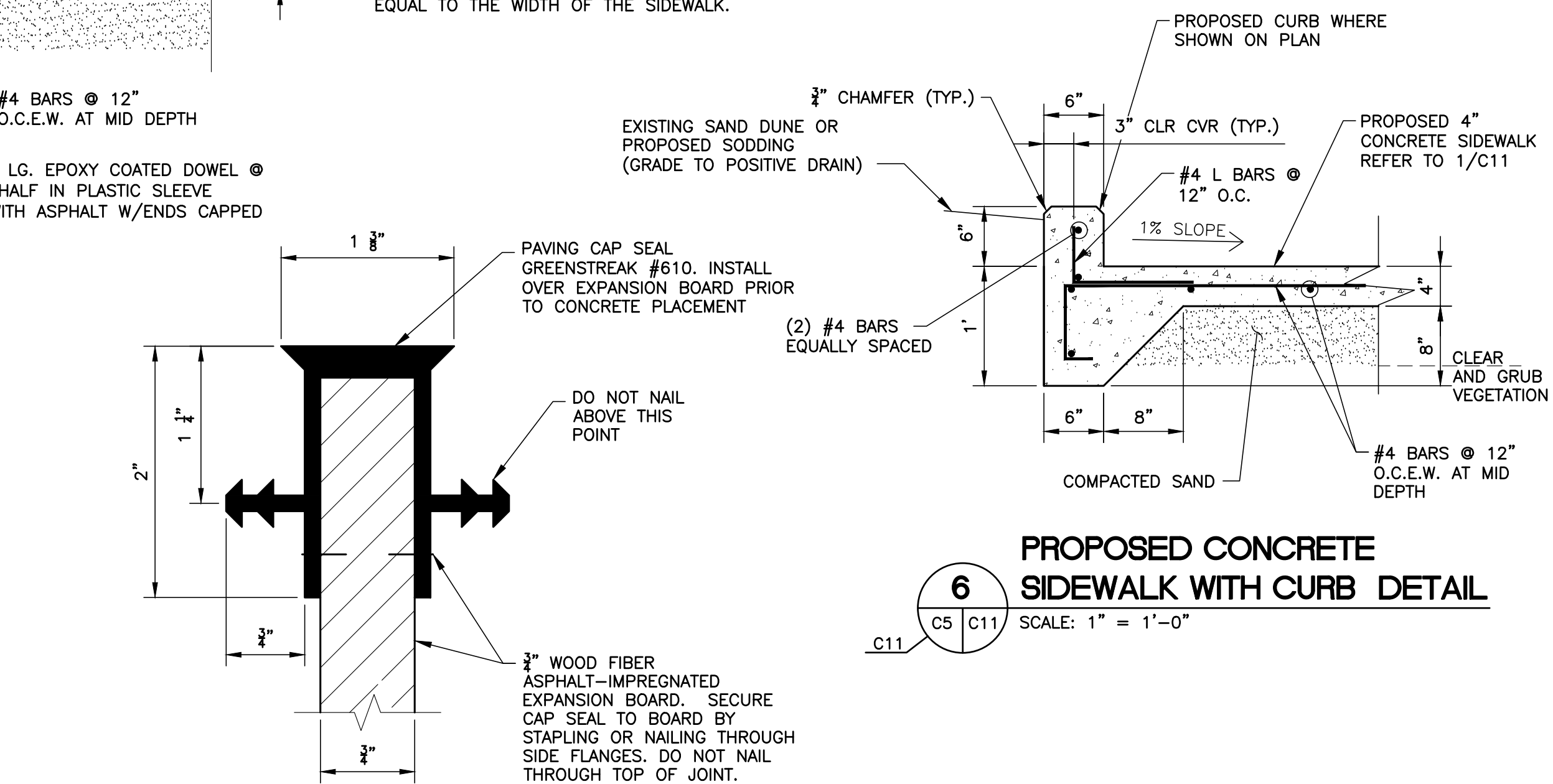
SHEET 28 of 36

FILE NAME: F:\2015\City of South Padre Island\Ocean Circle Beach Access\Drawings\Civil\12-C11-CONCRETE SW DETAILS.dwg LAYOUT NAME: Layout1 PLOTTED: Wednesday, February 01, 2017 - 5:29pm USER: CMontalvo



SIDEWALK NOTES:

- ALL EXPANSION JOINTS TO BE 3/4" WOOD FIBER ASPHALT-IMPREGNATED EXPANSION BOARD, FOR FULL DEPTH OF SIDEWALK, UNLESS NOTED OTHERWISE.
- ALL CONCRETE CLASS "A", 3,000 psi. @ 28 DAYS.
ALL STEEL, GRADE 60, fy = 60,000 psi.
- FINISHES FOR CONCRETE SIDEWALK TO BE BROOM FINISHED.
- CONTROL JOINTS OR PLANES OF WEAKNESS (DUMMY JOINTS) 1/2" DEEP SHALL BE TOOLED INTO SIDEWALK AT THE MAXIMUM SPACING EQUAL TO THE WIDTH OF THE SIDEWALK.



CONSULTANT'S SHEET
PROJECT NO. 15450-04



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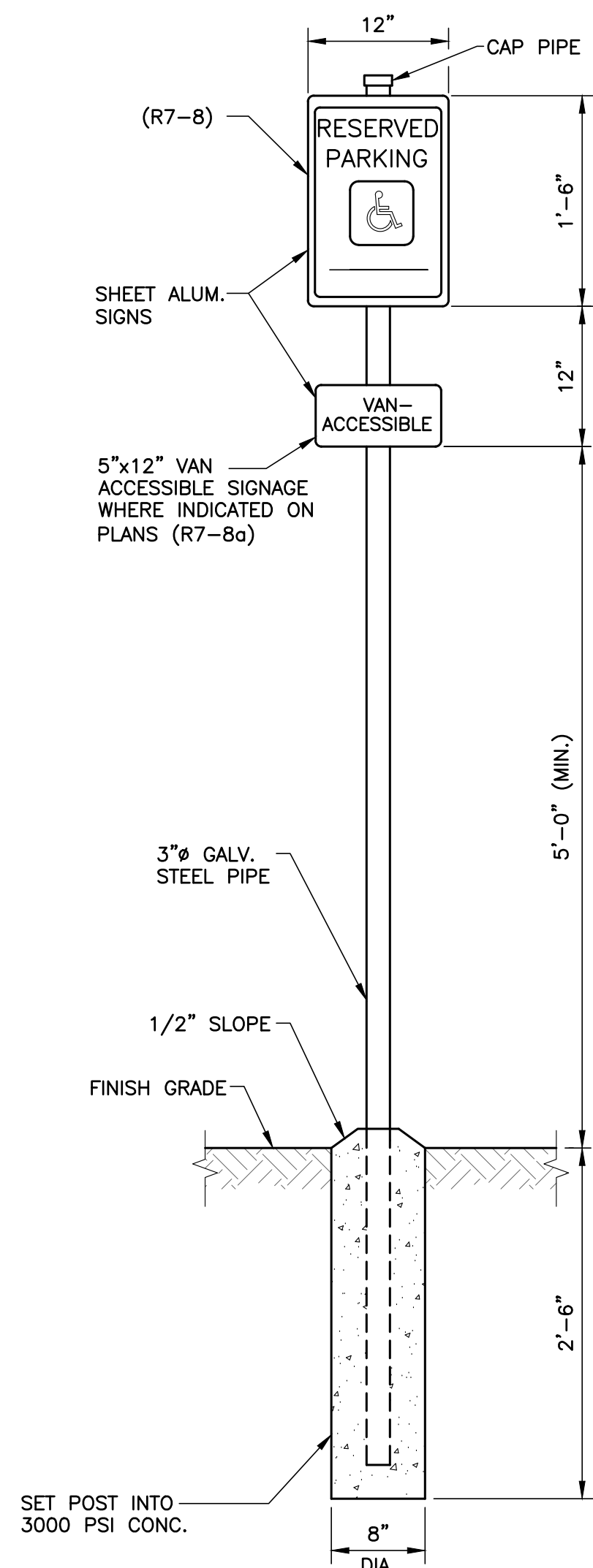
CITY OF SOUTH PADRE ISLAND
B) OCEAN CIRCLE BEACH ACCESS AND PARKING LOT
BEACH ACCESS #2

CONCRETE SIDEWALK DETAILS

DRAWING NO.
C11

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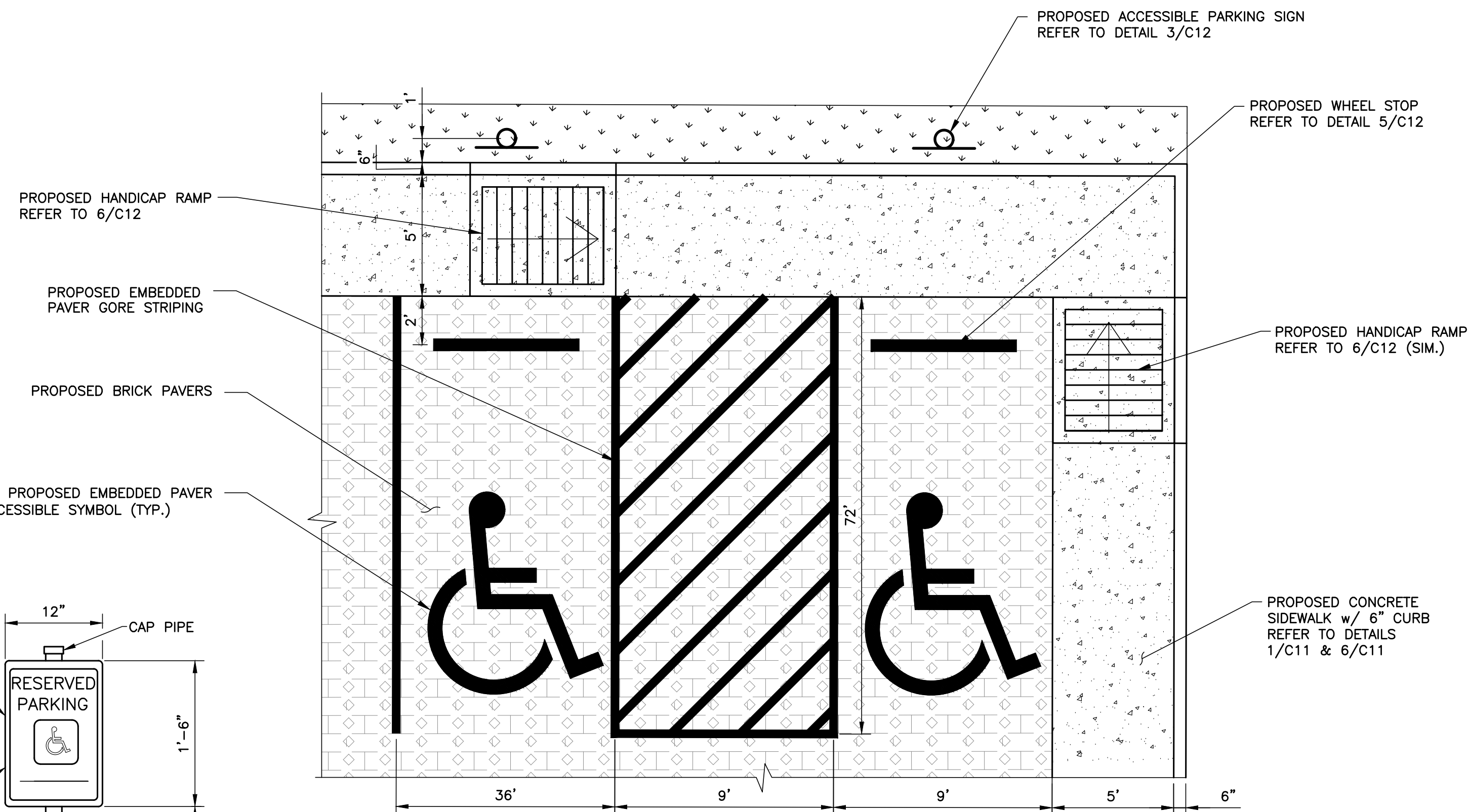
REVISION NO.		DATE	BY	DESCRIPTION
11-21-16				ADDED GENERAL NOTES AS PER G.L.O. COMMENTS



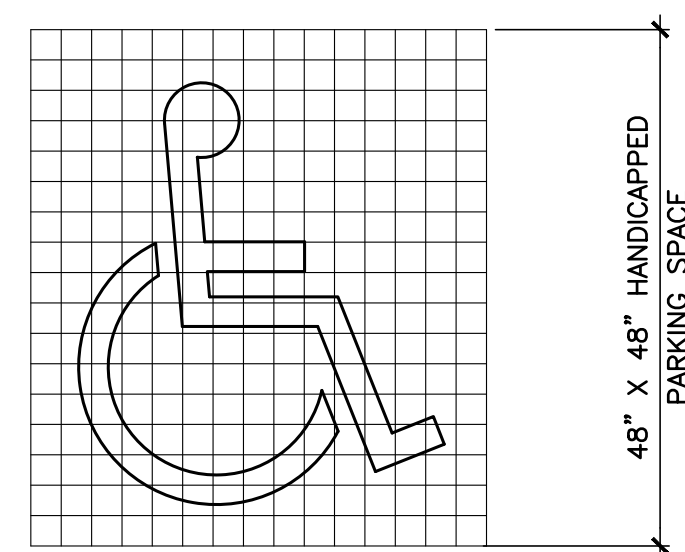
NOTE:
<ol style="list-style-type: none"> 1. SIGN FACE SHALL BE REFLECTORIZED FLAT SURFACE SHEETING. 2. SIGN SHALL HAVE WHITE LETTERS AND SYMBOLS ON A BLUE BACKGROUND. 3. SIGNS SHALL BE PROVIDED DIRECTLY IN FRONT OF PARKING SPACE.

3 ACCESSIBLE PARKING SIGN DETAIL

C5 C12 NOT TO SCALE



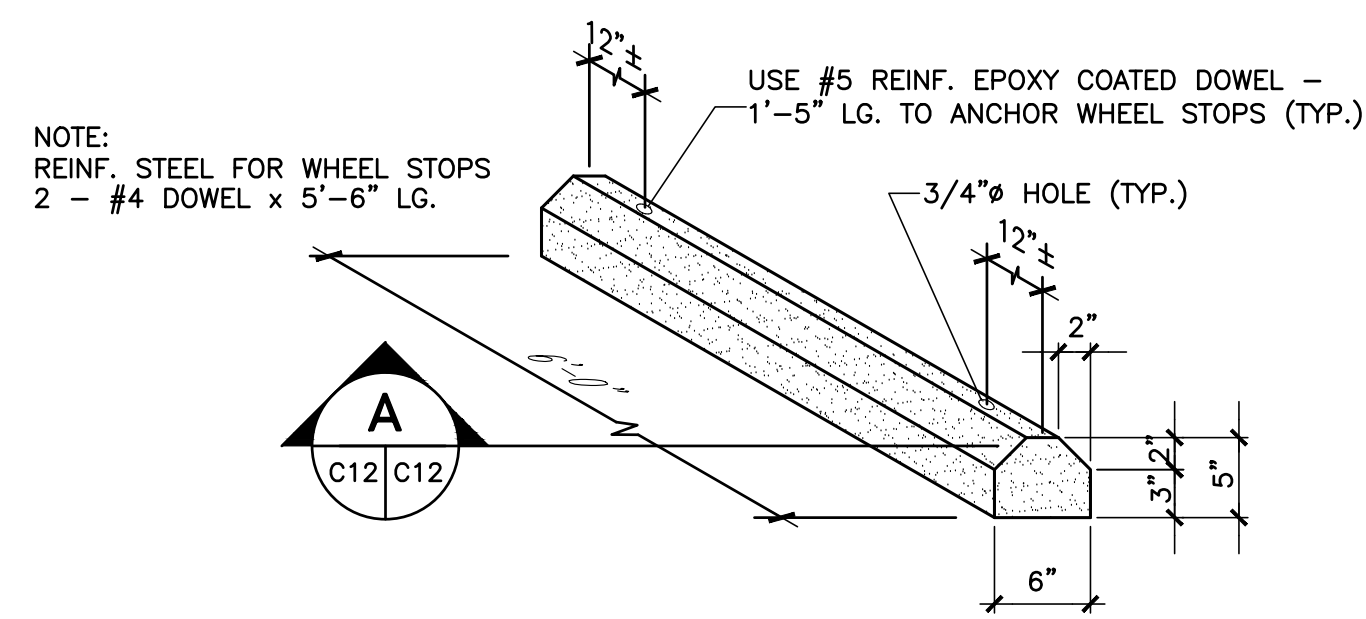
1 TYPICAL STRIPING DETAIL



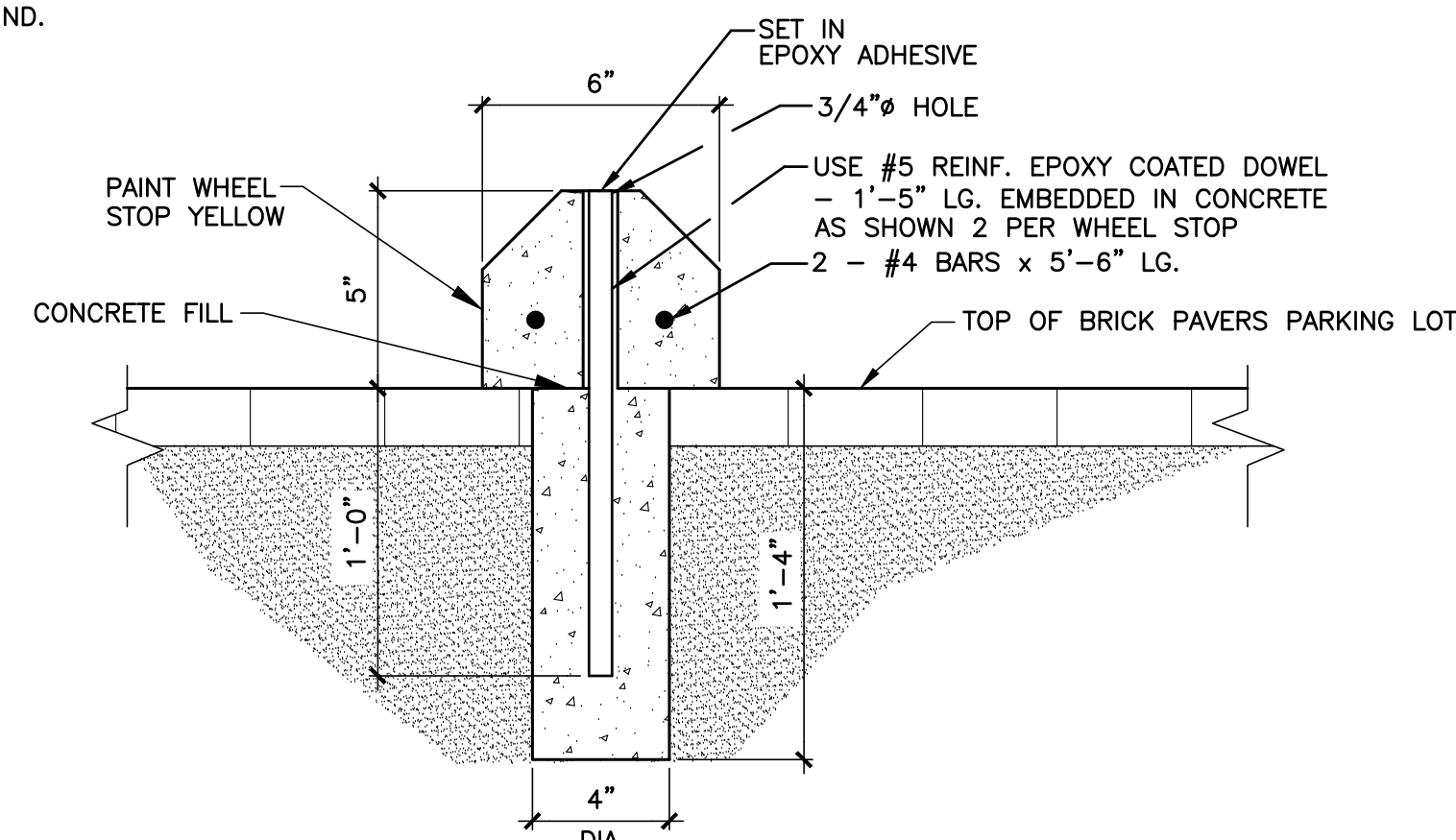
4 ACCESSIBLE SYMBOL DETAIL

C12 SCALE: N.T.S.

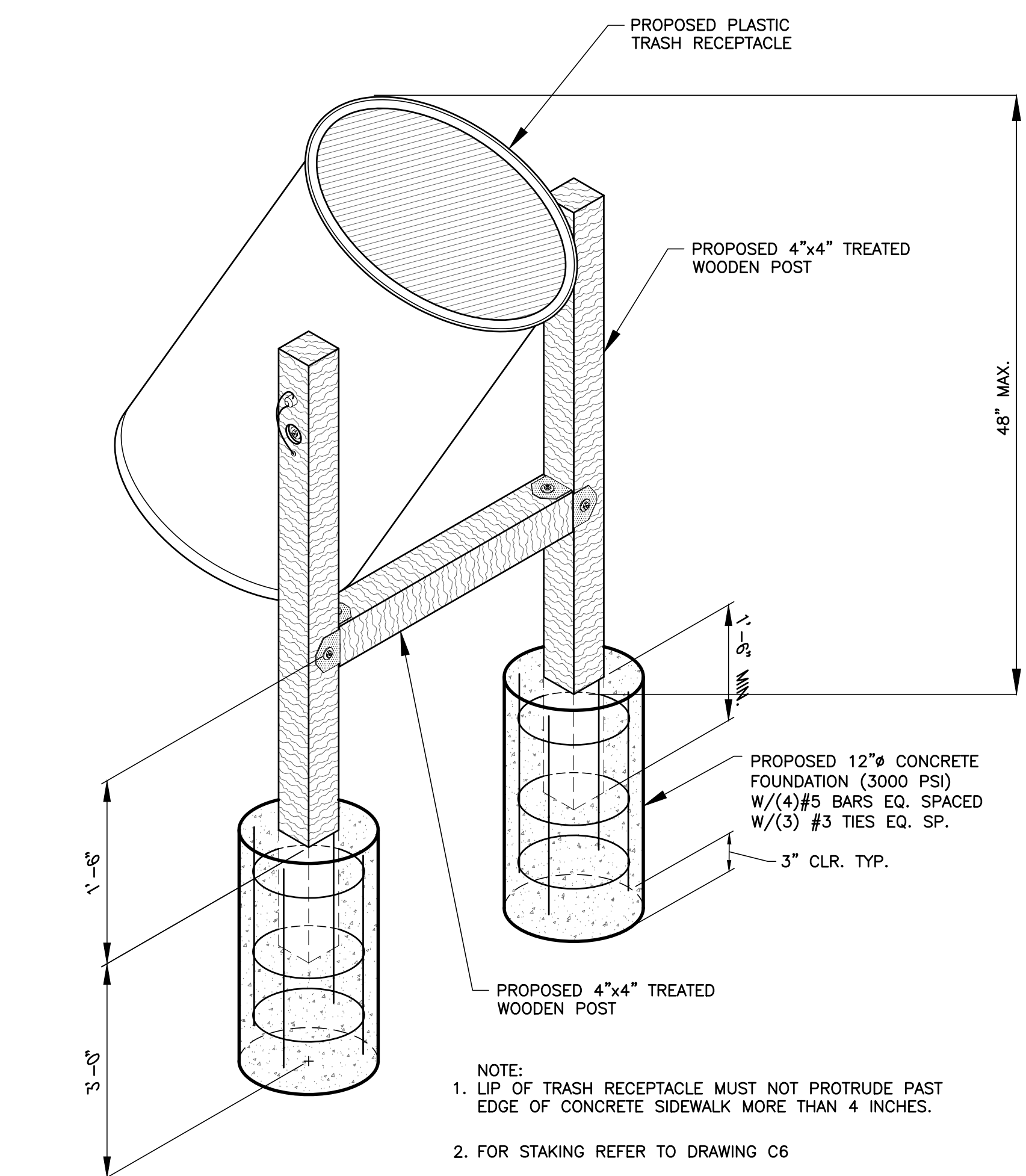
NOTE:
WHEELCHAIR SYMBOL SHALL BE EMBEDDED
PAVERS WHITE ON A BLUE BACKGROUND.



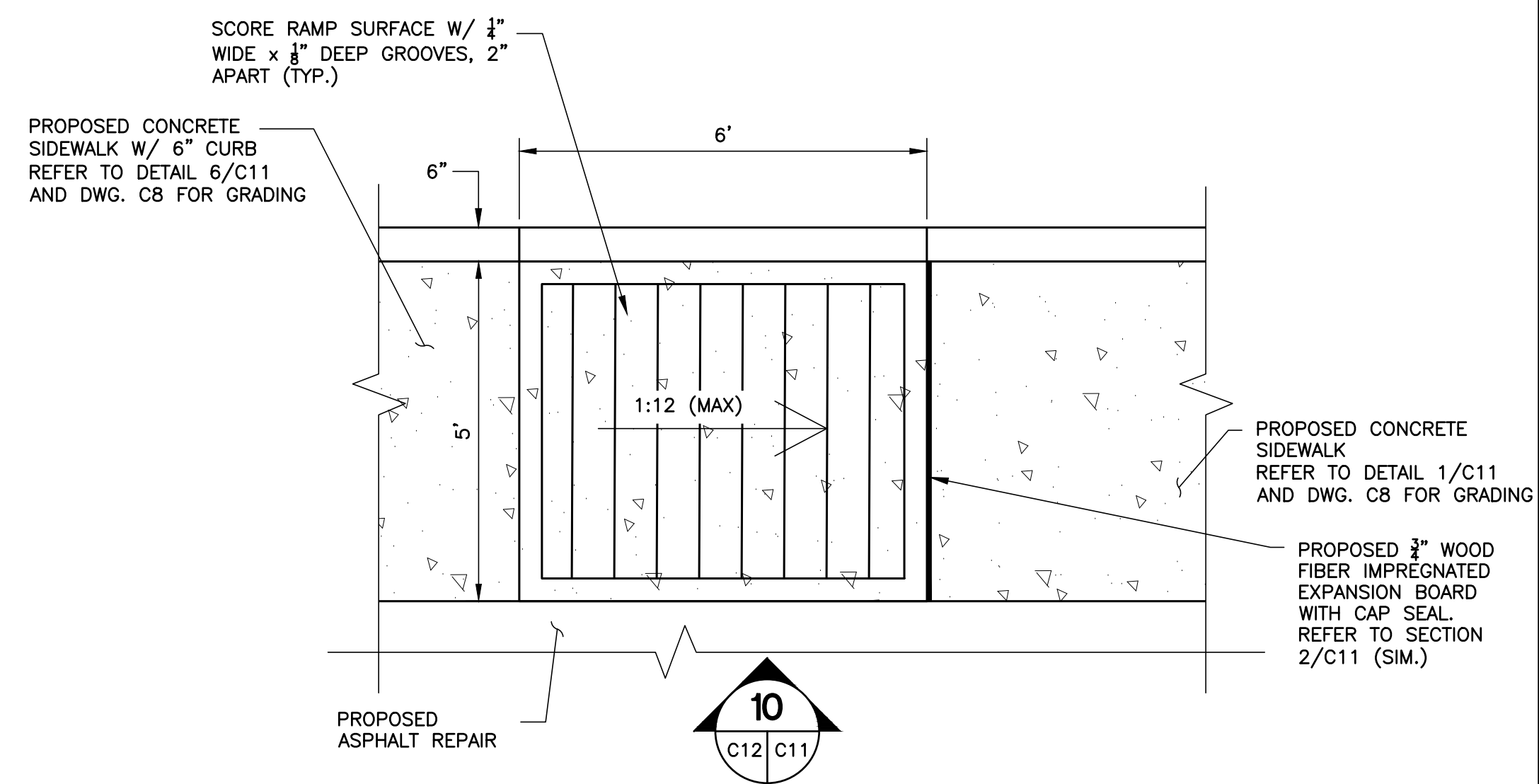
5 WHEEL STOP DETAIL
SCALE: N.T.S.



A **WHEEL STOP SECTION**
C12 C12 SCALE: N.T.S.



2 PROPOSED TRASH RECEPTACLE FOUNDATION
C6 C5 C12 SCALE: N.T.S.

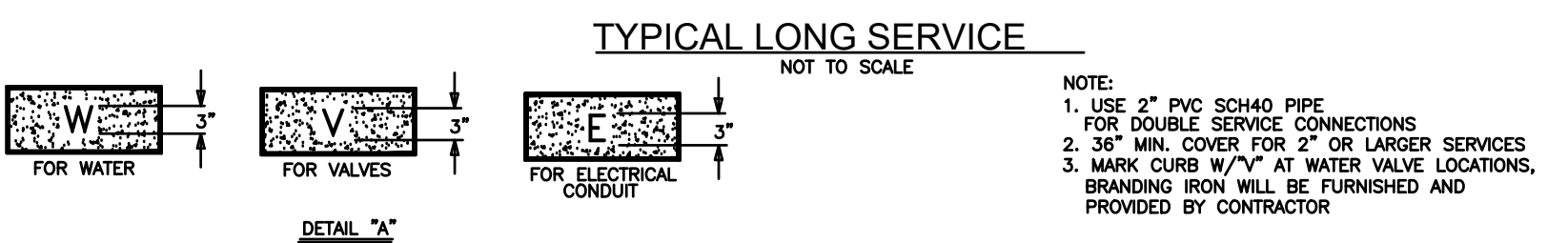
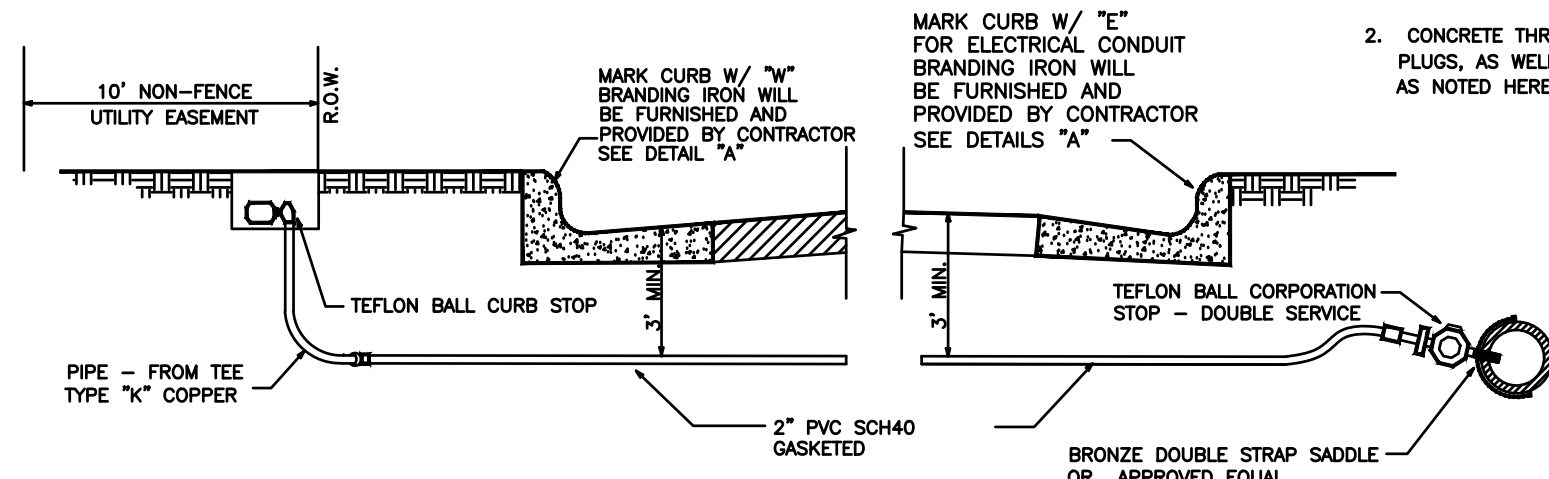
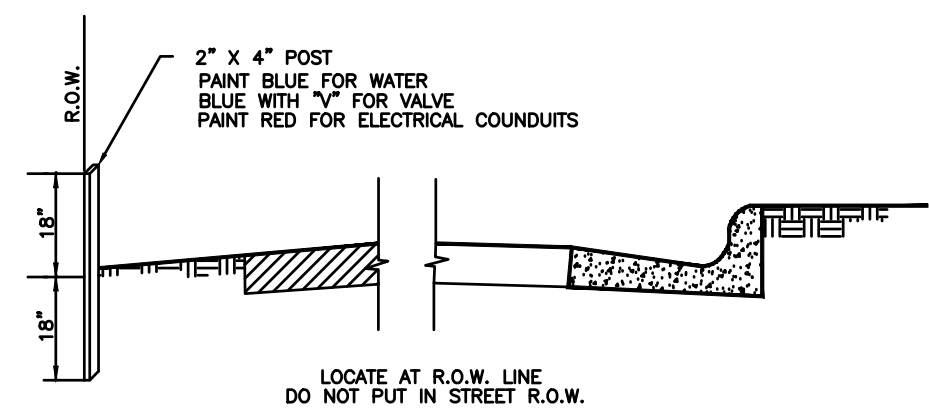
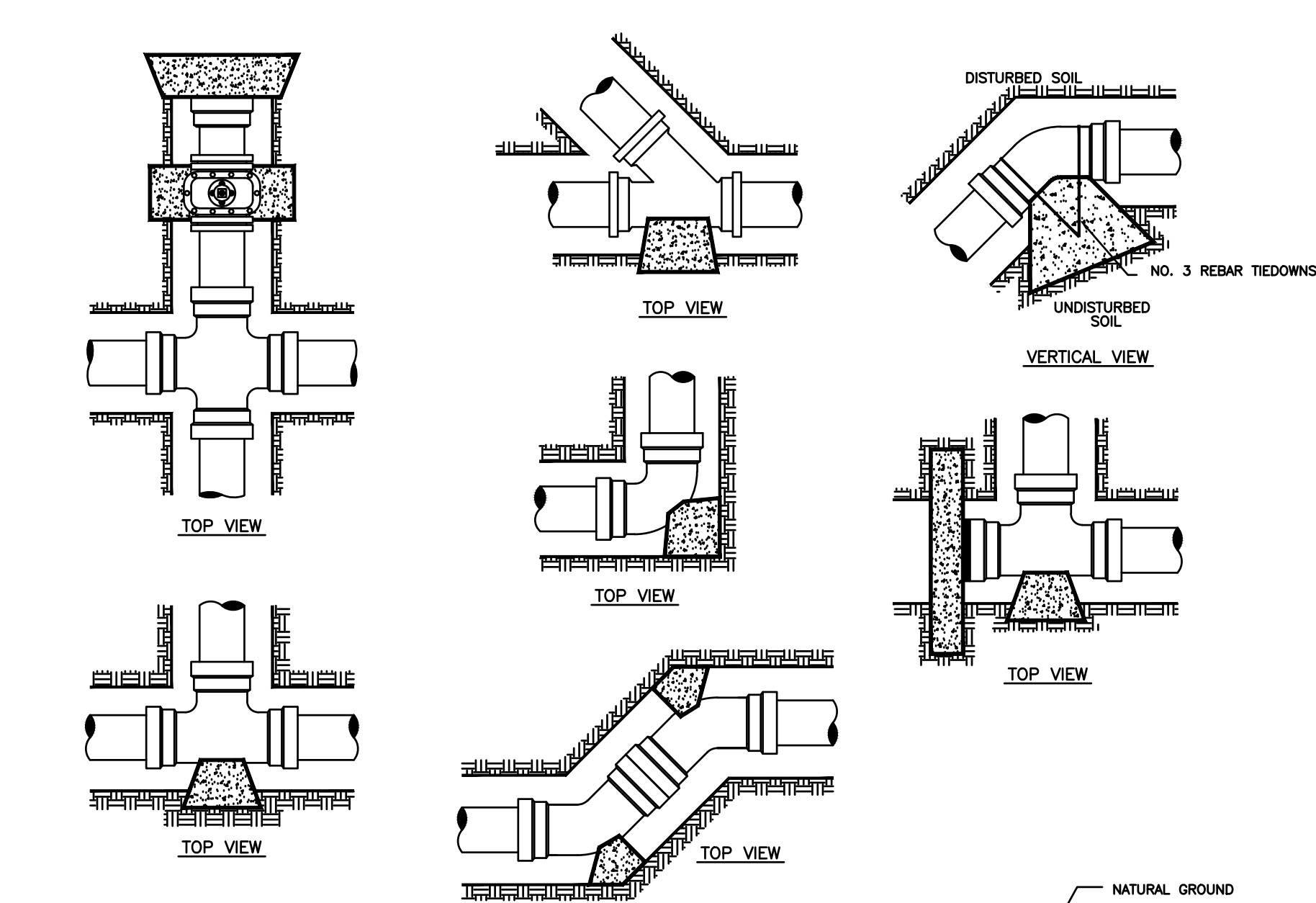


6 PROPOSED HANDICAP RAMP DETAIL

C12 C5 C12 SCALE: 1/2" = 1'-0"

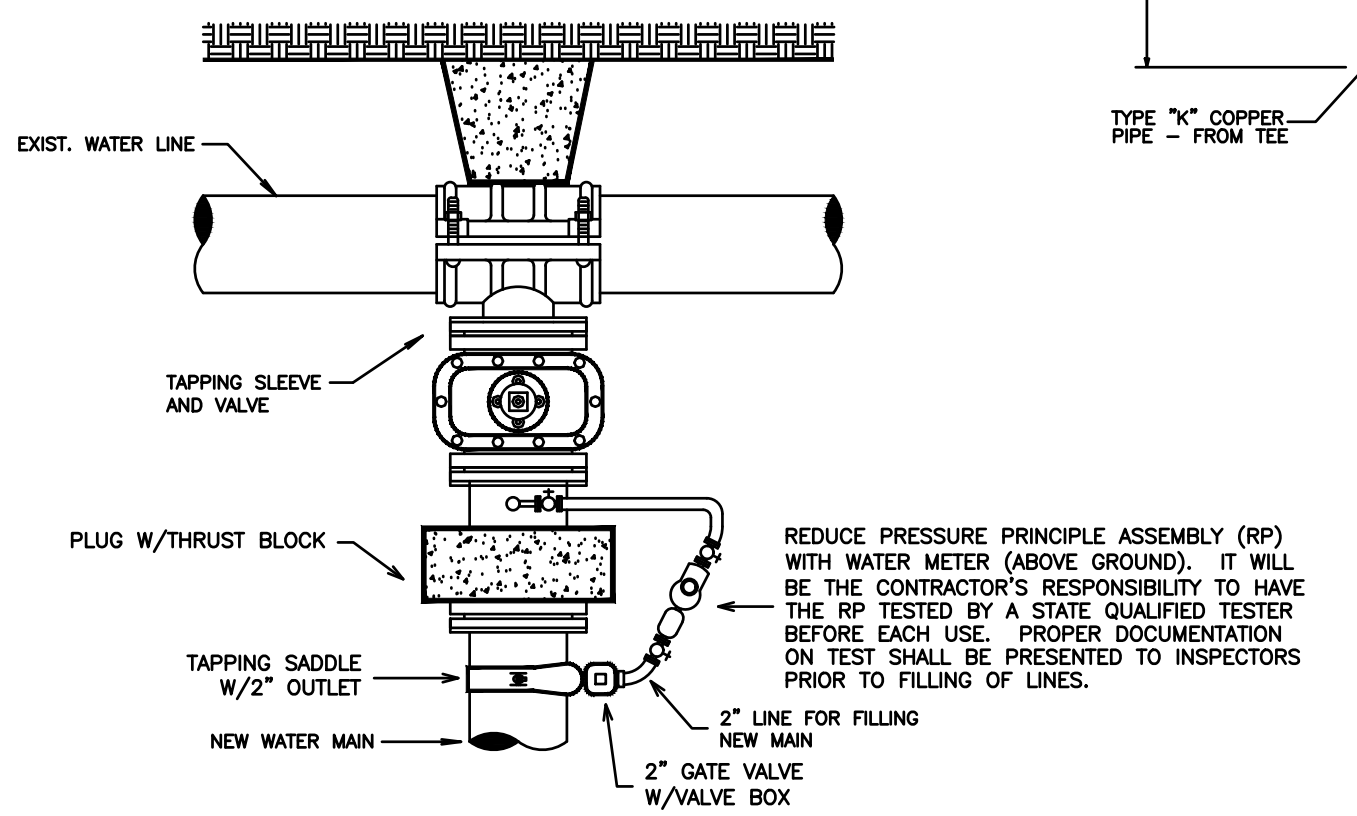
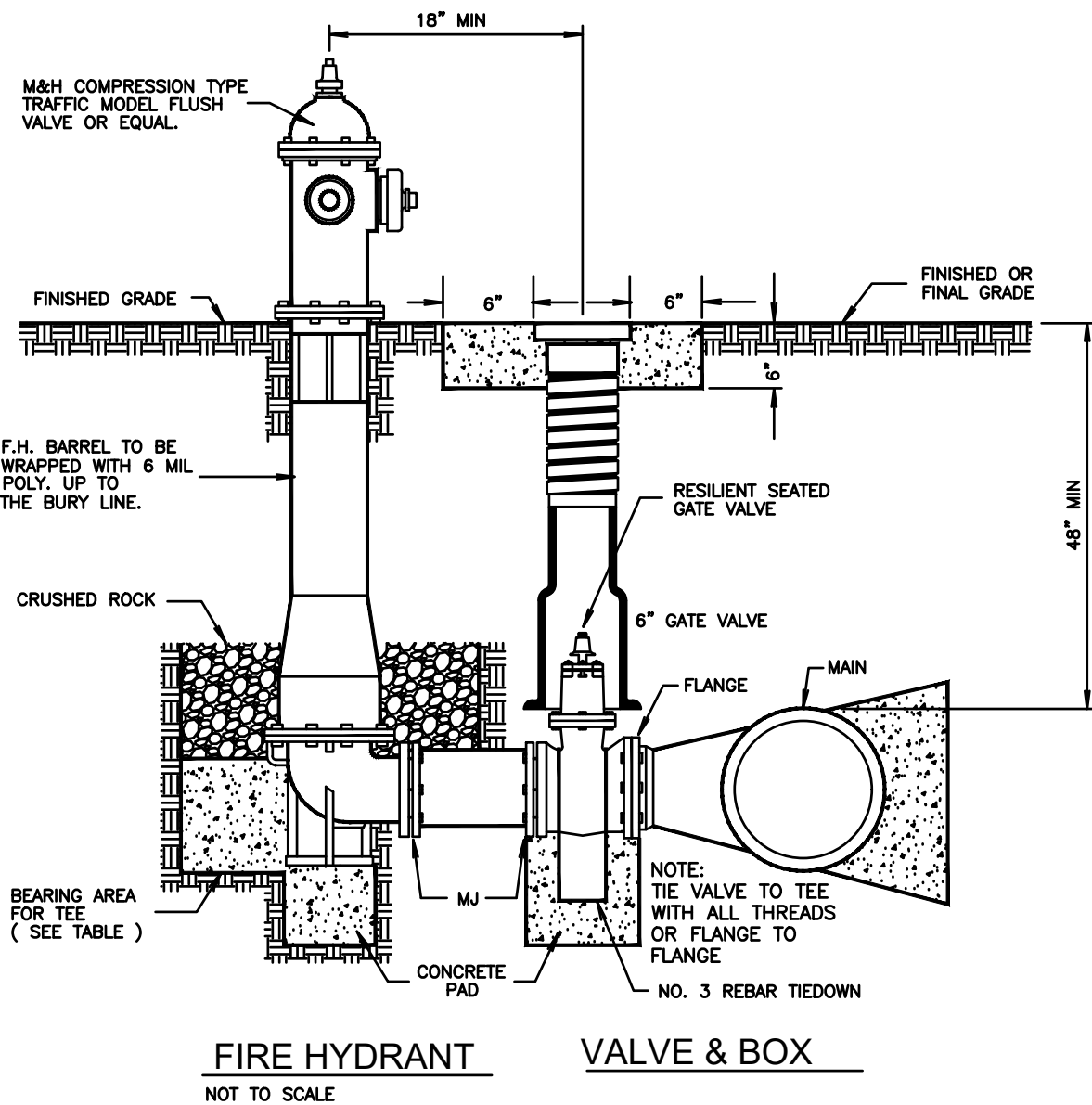
REVISION NO.	DATE	BY	DESCRIPTION	REVISION NO.	DATE	BY	DESCRIPTION
△	11-21-16	JJI, CM	ADDED GENERAL NOTES AS PER G.L.O. COMMENTS				
			CITY OF SOUTH PADRE ISLAND				
			B) OCEAN CIRCLE BEACH ACCESS AND PARKING LOT BEACH ACCESS #2				
			PAVEMENT DETAILS				
DRAWING NO.							
C12							
SHEET 30 of 36							

FILE NAME: F:\2015\City of South Padre Island\Ocean Circle Beach Access\Drawings\Civil\14)-C13-UTILITY DETAILS.dwg LAYOUT NAME: Layout1 PLOTTED: Wednesday, February 01, 2017 - 5:29pm USER: Okontelva



PIPE SIZE	6"		8"		10"		12"		16"	
	MIN. BEARING AREA FT.	RECOM'D DIMENSION FT. X FT.	MIN. BEARING AREA FT.	RECOM'D DIMENSION FT. X FT.	MIN. BEARING AREA FT.	RECOM'D DIMENSION FT. X FT.	MIN. BEARING AREA FT.	RECOM'D DIMENSION FT. X FT.	MIN. BEARING AREA FT.	RECOM'D DIMENSION FT. X FT.
TEE (OR TAPPING SLEEVE)	5.9	2.5'X2.5'	10.1	3.2'X3.2'	16.4	4.1'X4.1'	23.3	4.9'X4.9'	40.8	6.4'X6.4'
DEAD END	5.9	2.5'X2.5'	10.1	3.2'X3.2'	16.4	4.1'X4.1'	23.3	4.9'X4.9'	40.8	6.4'X6.4'
VALVE (OR TAPPING VALVE)	5.9	2.5'X2.5'	10.1	3.2'X3.2'	16.4	4.1'X4.1'	23.3	4.9'X4.9'	40.8	6.4'X6.4'
90° ELBOW	8.3	2.9'X2.9'	14.1	3.8'X3.8'	23.1	4.9'X4.9'	23.7	5.8'X5.8'	57.5	7.8'X7.8'
45° ELBOW	4.5	2.2'X2.2'	7.7	2.8'X2.8'	12.6	3.6'X3.6'	17.9	4.3'X4.3'	31.4	5.6'X5.6'
22-1/2° ELBOW	2.3	1.6'X1.6'	3.9	2.0'X2.0'	6.5	2.6'X2.6'	9.2	3.1'X3.1'	15.9	4.0'X4.0'

- NOTE:
1. MINIMUM BEARING SURFACE OF THRUST BLOCK SHALL BE AS NOTED IN TABLE.
 2. BEARING SURFACE SHALL BE UNDISTURBED SOIL.

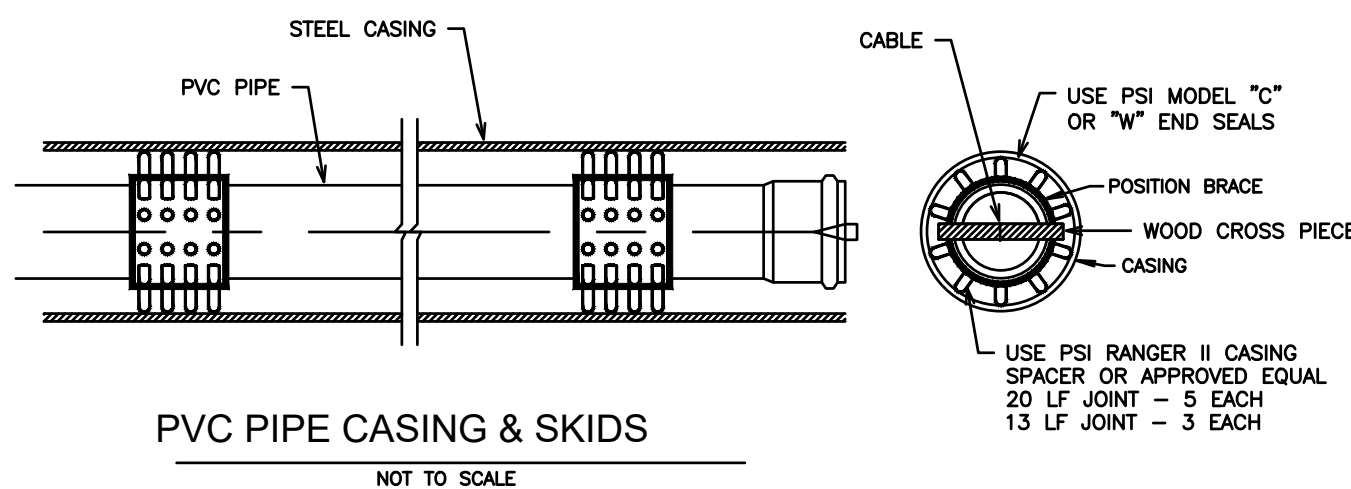


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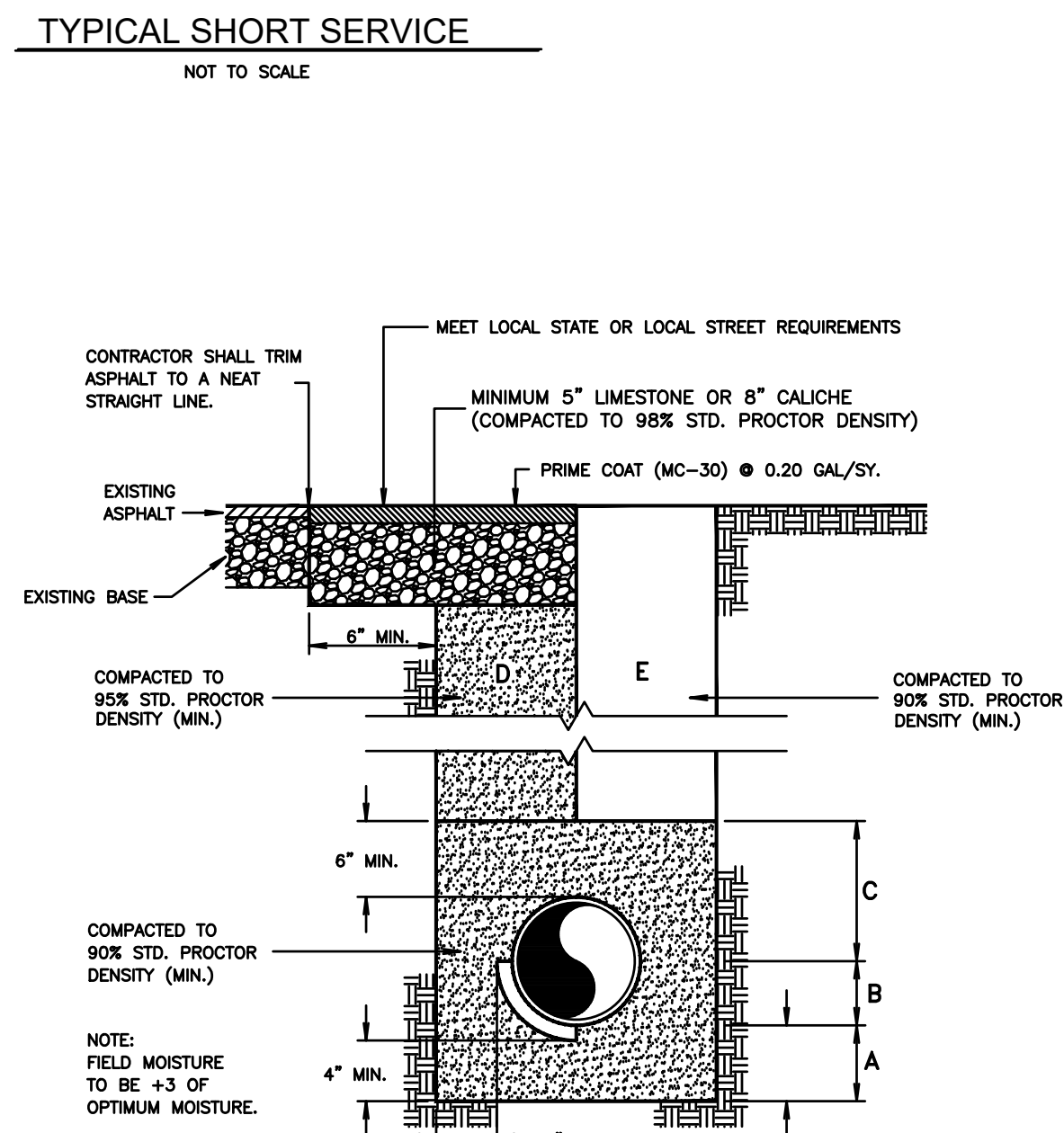
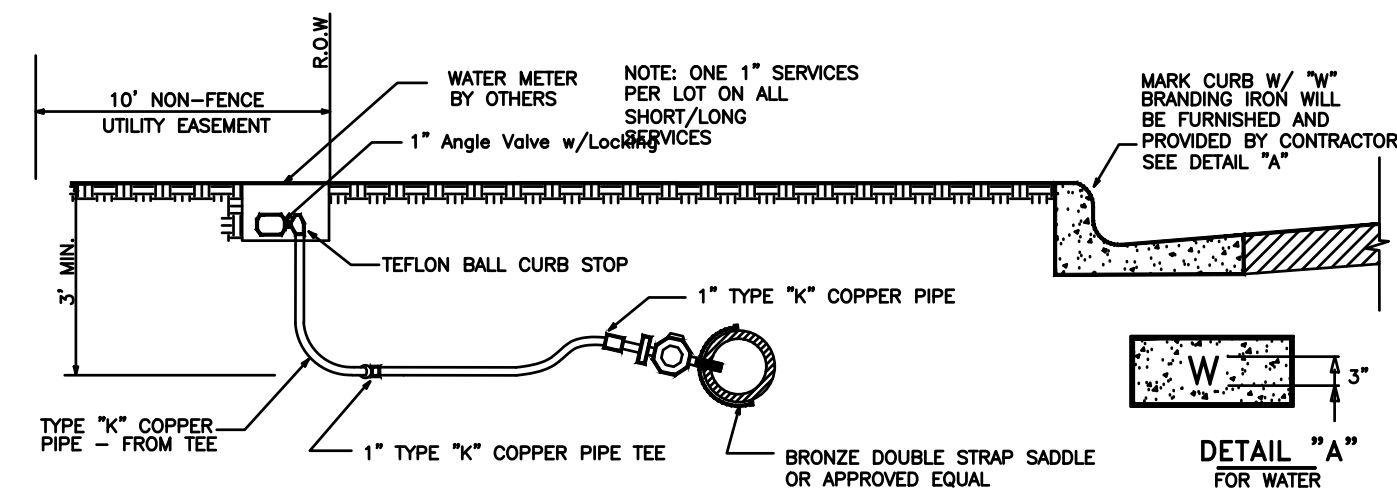
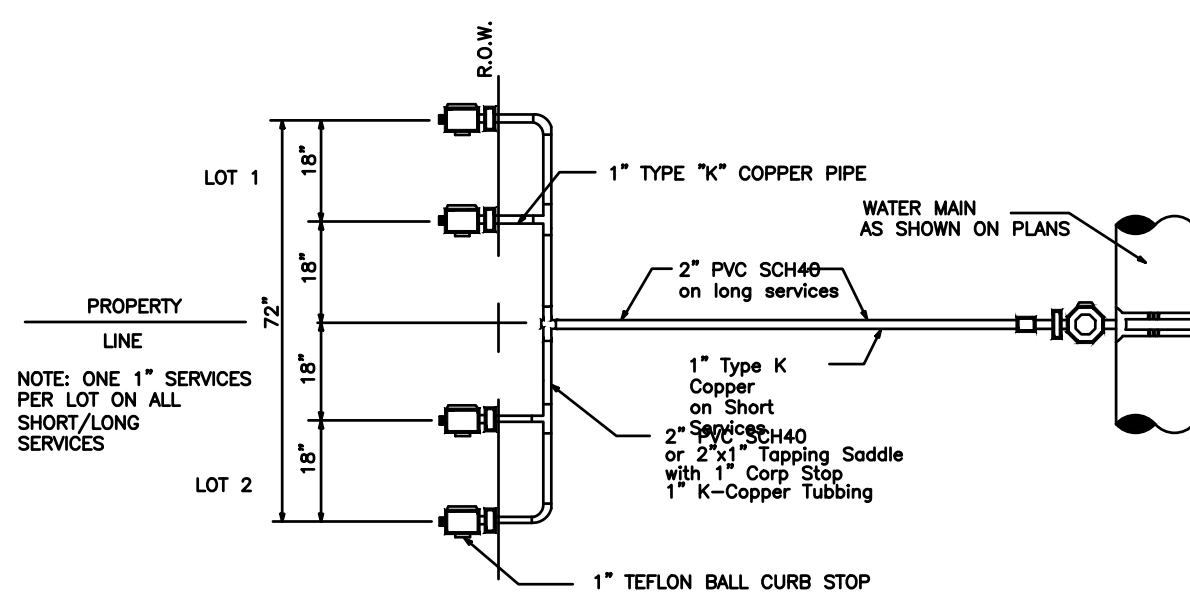
WATER USAGE FOR ALL INITIAL TESTING WILL NOT BE BILLED TO THE CONTRACTOR. ANY RE-TESTING NEEDED WILL BE THE RESPONSIBILITY OF THE CONTRACTOR INCLUDING PAYMENT OF ADDITIONAL WATER NEEDED. CONTRACTOR WILL BE ALLOWED TO FLUSH THE WATERLINE INITIALLY FOR A MAXIMUM OF 12-24 HRS. OR AS DETERMINED BY THE ENGINEER. IF FLUSHING IS DETERMINED TO BE LONGER, THE ENGINEER WILL BE REQUIRED TO SUPPLY THE PROPER DOCUMENTATION AND CALCULATIONS TO SUPPORT SUCH FINDINGS.

AMOUNT OF FLOW TO BE USED FOR FLUSHING WILL BE MONITORED AND REGULATED BY THE DISTRICT INSPECTORS. CONTRACTOR WILL NOT BE ALLOWED TO TIE-IN TO EXISTING WATER LINE UNTIL ALL TEST ON NEW LINES HAVE BEEN COMPLETED AND APPROVED.

STEEL CASING WALL THICKNESS CHART	
MINIMUM THICKNESS	DIAMETER OF CASING PIPE
1/4"	12" OR LESS
5/16"	OVER 12"-18"
3/8"	OVER 18"-22"
7/16"	OVER 22"-28"
1/2"	OVER 28"-34"
9/16"	OVER 34"-42"
5/8"	OVER 42"-48"
OVER 48" MUST BE APPROVED BY B.P.U.B.	
NOTE: THIS CHART IS ONLY FOR SMOOTH STEEL CASING PIPES WITH MINIMUM YIELD STRENGTH OF 35,000 PSI	

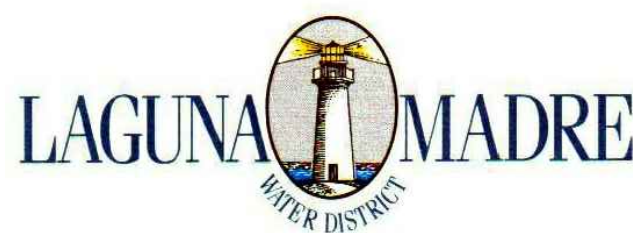


NOMINAL PIPE SIZE	CASING SIZE	NO. OF SKIDS
6"	12"	4
8"	16"	4
12"	20"	4
16"	24"	5



TYPICAL PIPE BEDDING AND TRENCH BACKFILL DETAIL

- NOT TO SCALE
- A SAND BEDDING PLACED BEFORE PIPE IS LAID UP TO FLOW LINE OF PIPE (MIN. THICKNESS = 6").
- B SAND BACKFILL PLACED AFTER PIPE IS LAID FROM BOTTOM OF PIPE TO SPRING LINE OF PIPE (4" LIFTS, HAND TAMPED).
- C SAND BACKFILL PLACED FROM SPRING LINE OF PIPE TO 6" ABOVE TOP OF PIPE (6" LIFTS, HAND TAMPED).
- D SAND BACKFILL, CLASS "A" (6" LIFTS, MECHANICAL COMPACTION).
- E EARTH BACKFILL, CLASS "B" (12" LIFTS, MECHANICAL COMPACTION).
- FOUNDATION PREPARATION (WELLPPOINTS, GRAVEL OR CEMENT STABILIZATION, OR APPROVED SUBSTITUTE) SHALL BE REQUIRED WHEN TRENCH BOTTOM IS UNSTABLE.
- BACKFILLING AT STRUCTURES SHALL BE PLACED IN UNIFORM LAYERS, MOISTENED AS REQUIRED TO APPROXIMATE OPTIMUM MOISTURE CONTENT, AND COMPACTED TO 95% STD. PROCTOR DENSITY. THE THICKNESS OF EACH LOOSE LAYER SHALL NOT EXCEED 6". STRUCTURE BACKFILL MATERIAL SHALL BE SAND, APPROVED SITE SOIL, OR OTHER APPROVED SUBSTITUTE.



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PROJECT NO. 15450-04



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I.C.E. FIRM REGISTRATION #F-10837



CITY OF SOUTH PADRE ISLAND
B) OCEAN CIRCLE BEACH ACCESS AND PARKING LOT
BEACH ACCESS #2

LAGUNA MADRE WATER DISTRICT UTILITY DETAILS

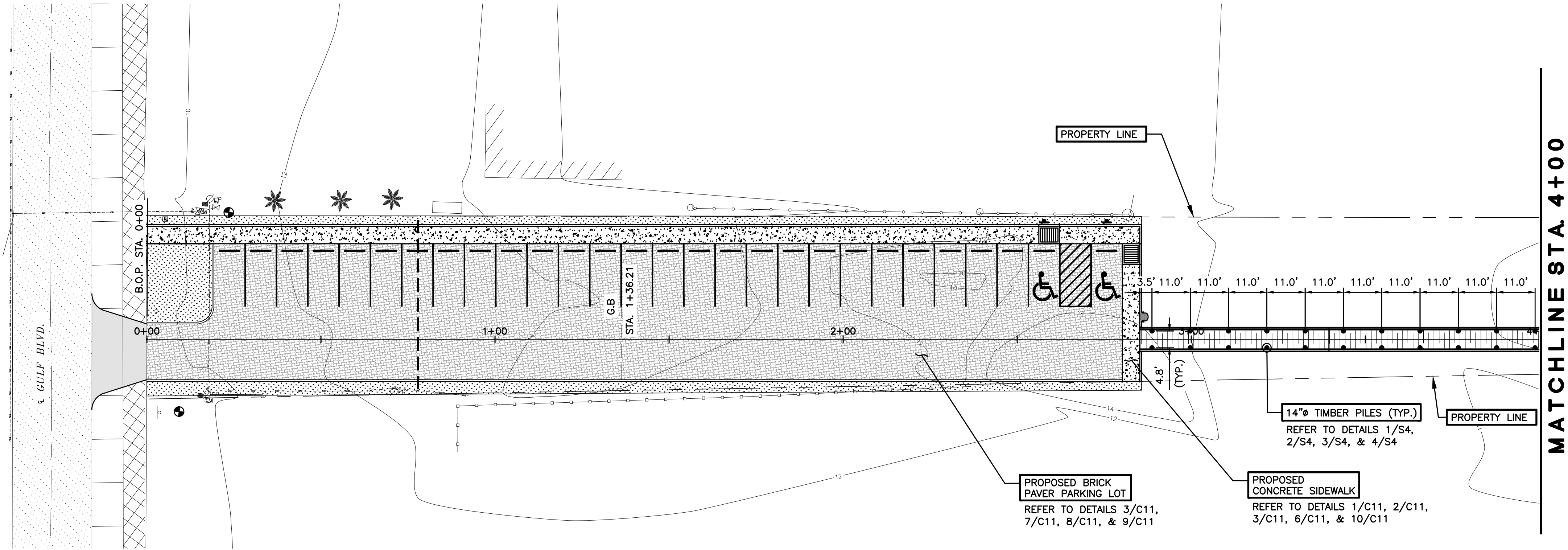
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C13

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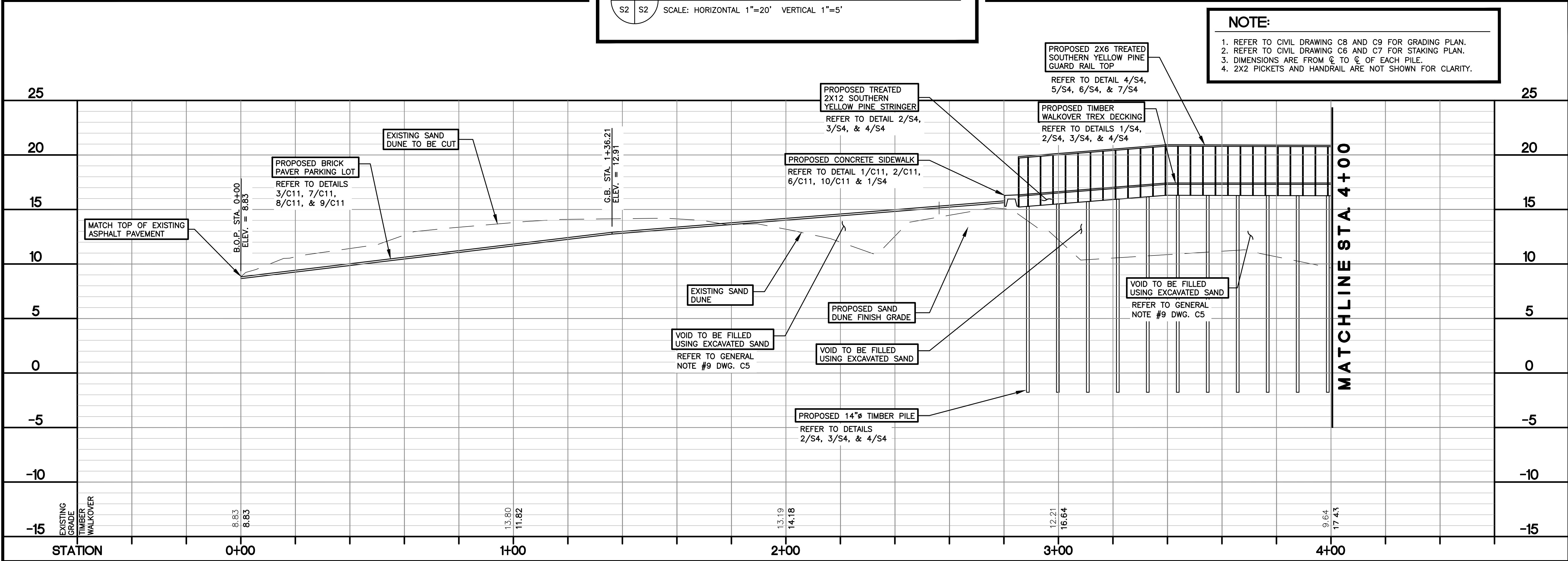
SYMBOLS		MATERIALS				DESIGN																																																																																																																																									
<div><div><div><div><div></div><div>SECTION NUMBER</div></div><div><div></div><div>SECTION CUT</div></div></div><div><div><div></div><div>SHEET NUMBER SECTION APPEARS ON</div></div><div><div></div><div>SHEET NUMBER SECTION IS TAKEN FROM</div></div></div><div><div><div></div><div>DETAIL NUMBER</div></div><div><div></div><div>DETAIL TITLE</div></div></div><div><div><div></div><div>ELEVATION TARGET</div></div></div><div><div><div></div><div>REVISIONS</div></div></div><div><div><div></div><div>COLUMN GRID</div></div></div></div><div><div>U.N.O.</div><div>UNLESS NOTED OTHERWISE</div></div><div><div>N.T.S.</div><div>NOT TO SCALE</div></div><div><div>O.C.</div><div>ON CENTER</div></div><div><div>E.W,</div><div>EACH WAY</div></div><div><div>T & B</div><div>TOP & BOTTOM</div></div></div>	<div>CONCRETE</div> <table><tr><th rowspan="2">ITEM</th><th colspan="3">28 DAY COMPRESSIVE CYLINDER STRENGTH</th><th rowspan="2">REMARKS</th></tr><tr><th>3000 PSI</th><th>3500 PSI</th><th>5000 PSI</th></tr><tr><td>ALL CONCRETE U.N.O.</td><td>●</td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td><td></td></tr></table> <div>STEEL</div> <table><tr><th rowspan="2">ITEM</th><th colspan="3">ASTM DESIGNATION MINIMUM YIELD STRESS</th><th rowspan="2">REMARKS</th></tr><tr><th>A36 36 KSI</th><th>A53 35 KSI</th><th>A992 50 KSI</th></tr><tr><td>BASE PLATES</td><td></td><td></td><td></td><td></td></tr><tr><td>COLUMNS</td><td></td><td></td><td></td><td></td></tr><tr><td>BEAMS</td><td></td><td></td><td></td><td></td></tr><tr><td>MISC. PL'S & SHAPES</td><td></td><td></td><td></td><td></td></tr><tr><td>TUBE STEEL</td><td></td><td></td><td></td><td>A500, GRADE B</td></tr><tr><td>PIPE</td><td></td><td></td><td></td><td>A53 TYPE E OR S GRADE B, 35 KSI</td></tr><tr><td>METAL DECK</td><td></td><td></td><td></td><td>A446, GRADE A</td></tr><tr><td>STRUCT. BOLTS U.N.O.</td><td></td><td></td><td></td><td>A325 N</td></tr><tr><td>ANCHOR BOLTS</td><td></td><td></td><td></td><td>A307</td></tr><tr><td>THREADED ROD</td><td></td><td></td><td></td><td>A307</td></tr><tr><td>ANCHOR RODS</td><td></td><td></td><td></td><td>A36 SMOOTH</td></tr><tr><td></td><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td><td></td></tr></table> <div>REINFORCING STEEL</div> <table><tr><td>ASTM-A615, GRADE 60, U.N.O.</td></tr></table>					ITEM	28 DAY COMPRESSIVE CYLINDER STRENGTH			REMARKS	3000 PSI	3500 PSI	5000 PSI	ALL CONCRETE U.N.O.	●																								ITEM	ASTM DESIGNATION MINIMUM YIELD STRESS			REMARKS	A36 36 KSI	A53 35 KSI	A992 50 KSI	BASE PLATES					COLUMNS					BEAMS					MISC. PL'S & SHAPES					TUBE STEEL				A500, GRADE B	PIPE				A53 TYPE E OR S GRADE B, 35 KSI	METAL DECK				A446, GRADE A	STRUCT. BOLTS U.N.O.				A325 N	ANCHOR BOLTS				A307	THREADED ROD				A307	ANCHOR RODS				A36 SMOOTH											ASTM-A615, GRADE 60, U.N.O.	<div>DESIGN LOADS</div> <table><tr><th rowspan="2">LOCATION</th><th>*DEAD LOAD</th><th>LIVE LOAD</th><th>TOTAL</th></tr><tr><th>PSF</th><th>PSF</th><th>PSF</th></tr><tr><td>WALKOVER</td><td>10</td><td>60</td><td>70</td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td></tr></table> <div>* SUPERIMPOSED DEAD LOAD IN ADDITION TO SELF WEIGHT ** REDUCIBLE PER ASCE 7-05</div> <div>WIND</div> <div>BASIC WIND SPEED - 140 MPH 3 SECOND GUST IN COMPLIANCE WITH ASCE 7-05</div> <div>EARTHWORK</div> <div>GEOTECHNICAL REPORT: GEOTECHNICAL STUDY OCEAN CIRCLE BEACH ACCESS IMPROVEMENTS GULF BOULEVARD SOUTH PADRE ISLAND, TEXAS PREPARED BY: RGV STRATA 717 WEST 2ND ST. MERCEDES, TEXAS 78570 APRIL 04, 2016 RGV STRATA PROJECT #: 161019</div> <div>DESIGN STD'S. & CODE OF PRACTICE</div> <div>BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE, ACI 318-02 BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES, ACI 530-05 INTERNATIONAL BUILDING CODE, IBC 2009 CRSI HANDBOOK, 1990 MINIMUM DESIGN LOADS FOR BUILDINGS & OTHER STRUCTURES, ASCE 7-05 STANDARD SPECIFICATIONS FOR HIGHWAY BRIDGES SIXTEENTH EDITION-1996, AASHTO</div>				LOCATION	*DEAD LOAD	LIVE LOAD	TOTAL	PSF	PSF	PSF	WALKOVER	10	60	70																
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LOCATION	*DEAD LOAD	LIVE LOAD	TOTAL																																																																																																																																												
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WALKOVER	10	60	70																																																																																																																																												

FILE NAME: F:\2015\City of South Padre Island\Ocean Circle Beach Access\Drawings\Structural\16)-S2-WALKOVER PLAN AND PROFILE.dwg LAYOUT NAME: PLAN AND PROFILE PLOTTED: Wednesday, February 01, 2017 - 5:29pm USER: OMontalvo



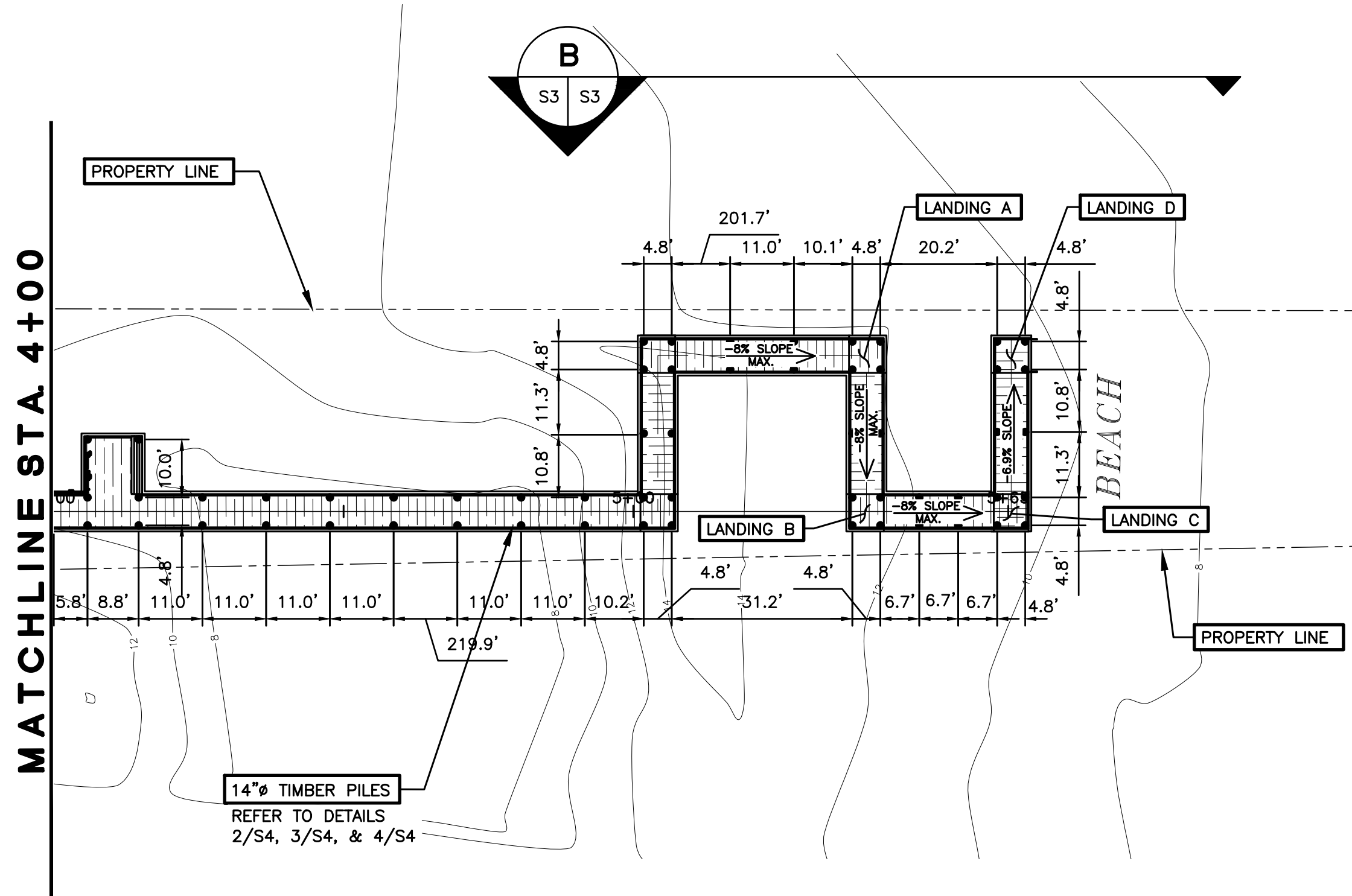
A
S2 S2
**PARKING LOT AND TIMBER WALKOVER
PLAN AND PROFILE STA. 0+00 TO 4+02.72**
SCALE: HORIZONTAL 1"=20' VERTICAL 1"=5'

NOTE:
1. REFER TO CIVIL DRAWING C8 AND C9 FOR GRADING PLAN.
2. REFER TO CIVIL DRAWING C6 AND C7 FOR STAKING PLAN.
3. DIMENSIONS ARE FROM C. TO C. OF EACH PILE.
4. 2X2 PICKETS AND HANDRAIL ARE NOT SHOWN FOR CLARITY.



CONSULTANT'S SHEET PROJECT NO. 15450-04	
DESCRIPTION	
REVISION NO.	DATE
BY	DATE
CITY OF SOUTH PADRE ISLAND B) OCEAN CIRCLE BEACH ACCESS AND PARKING LOT BEACH ACCESS #2	
DRAWING NO. S2	
SHEET 33 of 36	

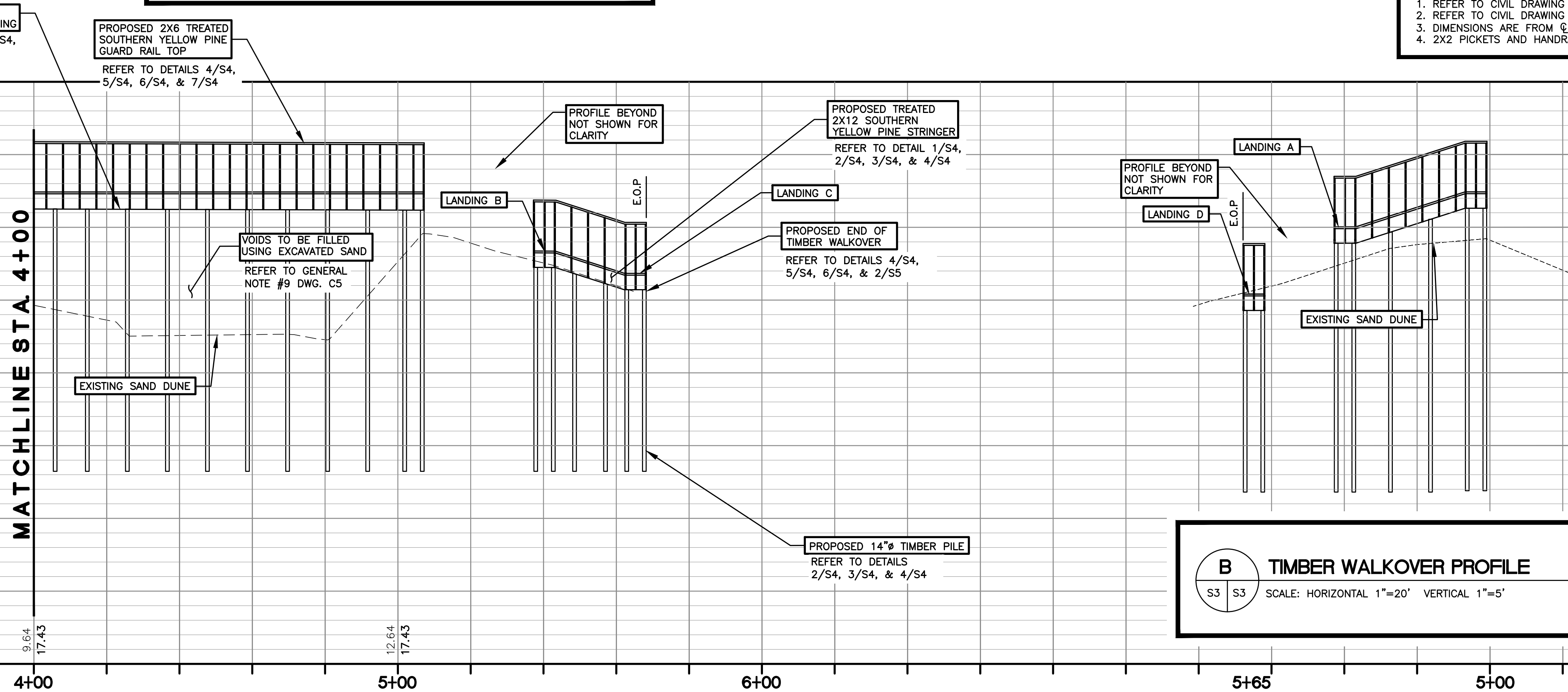
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A
S3 S3
**PARKING LOT AND TIMBER WALKOVER
PLAN AND PROFILE STA. 4+02.72 TO END**
SCALE: HORIZONTAL 1"=20' VERTICAL 1"=5'

NOTE:

1. REFER TO CIVIL DRAWING C8 AND C9 FOR GRADING PLAN.
2. REFER TO CIVIL DRAWING C6 AND C7 FOR STAKING PLAN.
3. DIMENSIONS ARE FROM ϕ TO ϕ OF EACH PILE.
4. 2X2 PICKETS AND HANDRAIL ARE NOT SHOWN FOR CLARITY.



B
S3 S3
TIMBER WALKOVER PROFILE
SCALE: HORIZONTAL 1"=20' VERTICAL 1"=5'

CONSULTANT'S SHEET
PROJECT NO. 15450-04



ICE
INTERNATIONAL CONSULTING ENGINEERS
PHONE: 361.926.5805 555 N. CARANCAHUA ST. STE. 980
FAX: 361.926.5806 CORPUS CHRISTI, TX 78401
I.C.E. FIRM REGISTRATION #F-10837

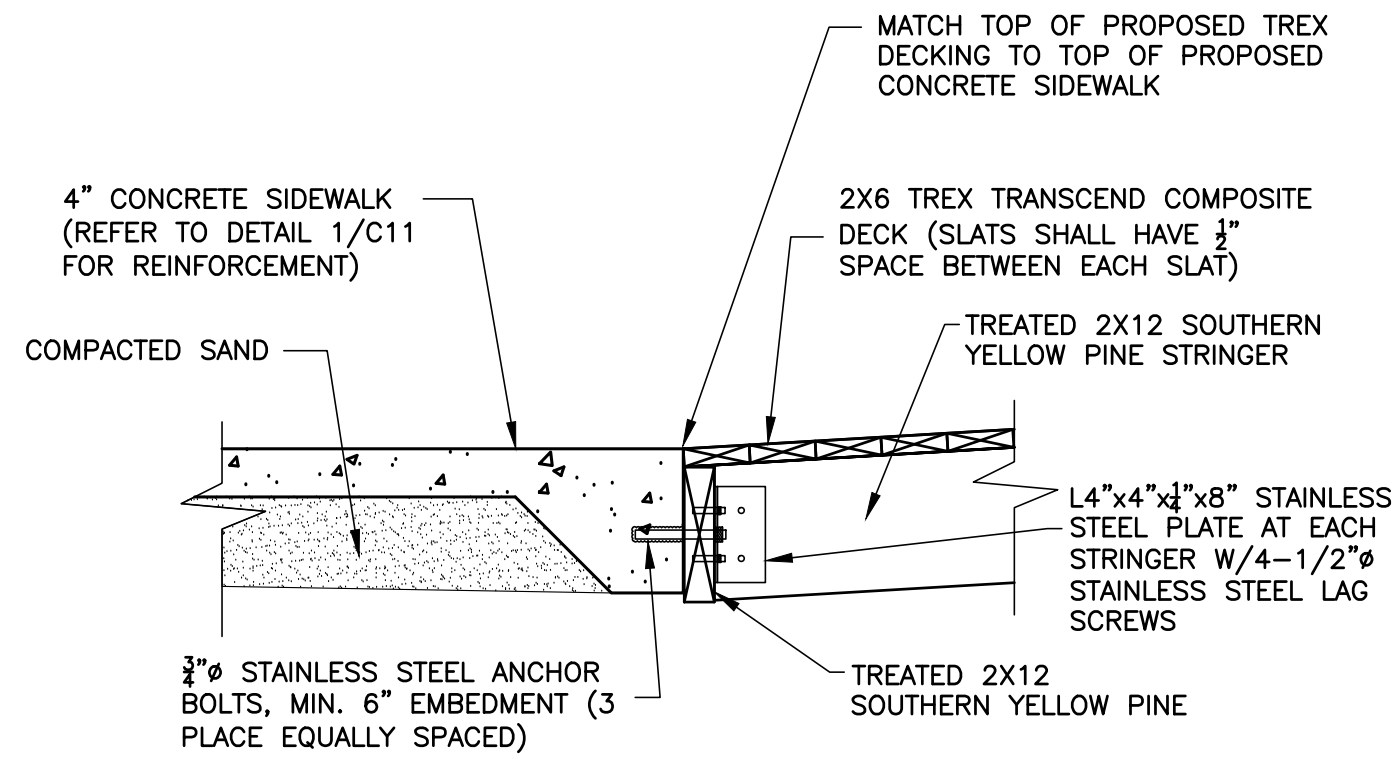


CITY OF SOUTH PADRE ISLAND
B) OCEAN CIRCLE BEACH ACCESS AND PARKING LOT
BEACH ACCESS #2
PARKING LOT AND TIMBER WALKOVER
PLAN AND PROFILE STA. 4+02.72 TO END

DRAWING NO.
S3

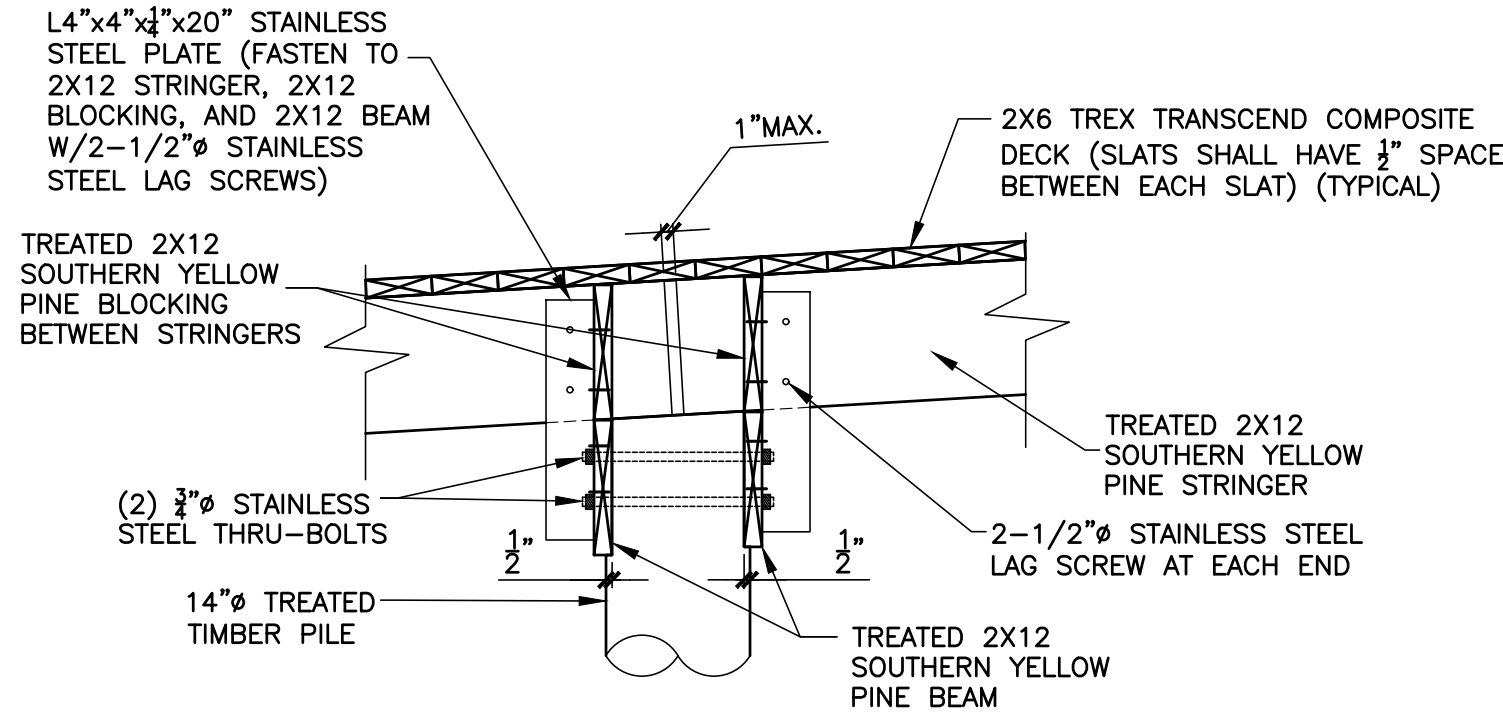
SHEET 34 of 36

FILE NAME: F:\2015\City of South Padre Island\Ocean Circle Beach Access\Drawings\Structural\18-S4-FRAMING DETAILS.dwg LAYOUT NAME: Layout1 PLOTTED: Wednesday, February 01, 2017 - 5:30pm USER: Clementino



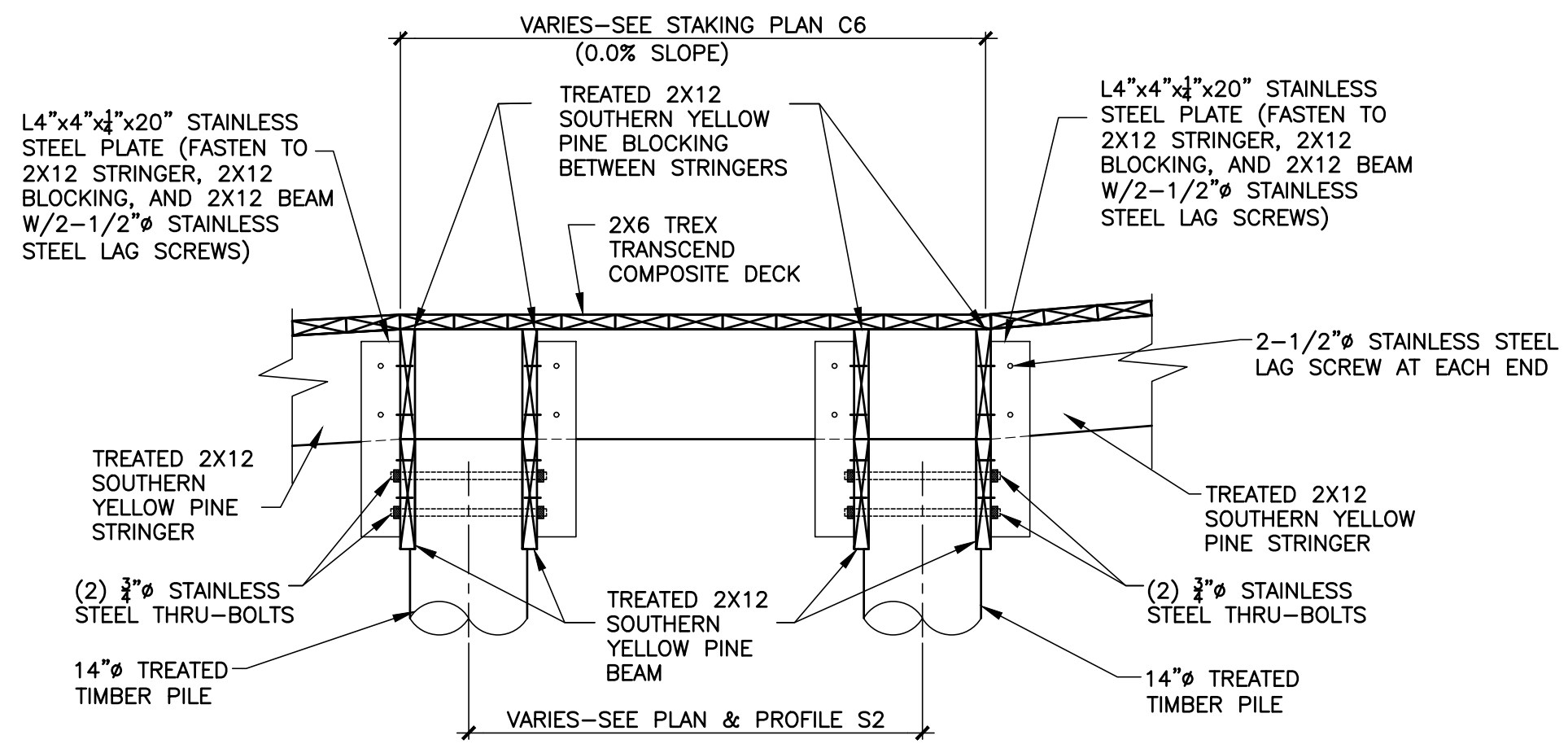
**1 CONCRETE SIDEWALK TO
TIMBER WALKWAY SECTION**

SCALE: 3/4" = 1'-0"



2 TIMBER PILE DETAIL AT RAMP

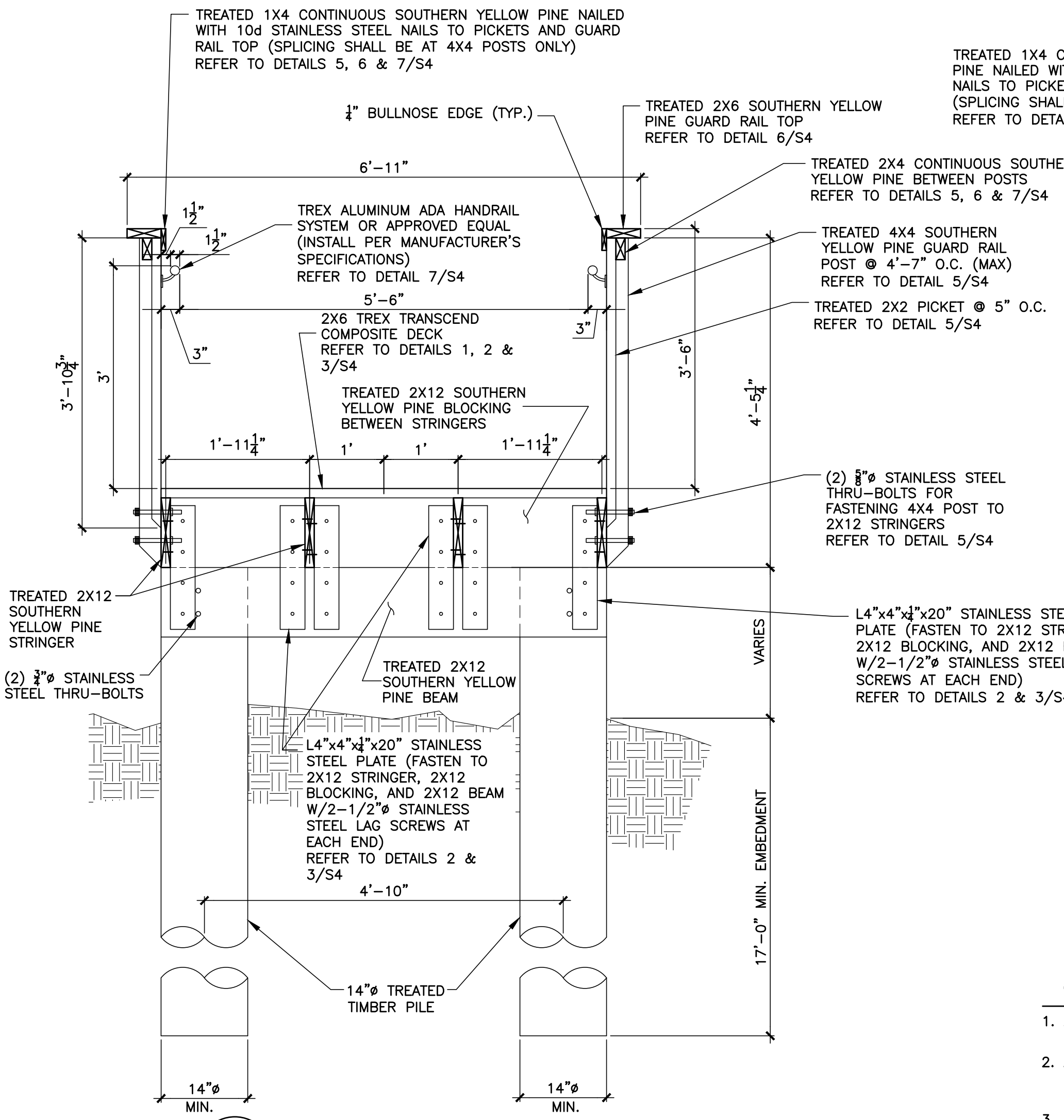
SCALE: 3/4" = 1'-0"



3 TIMBER PILE DETAIL AT LANDING

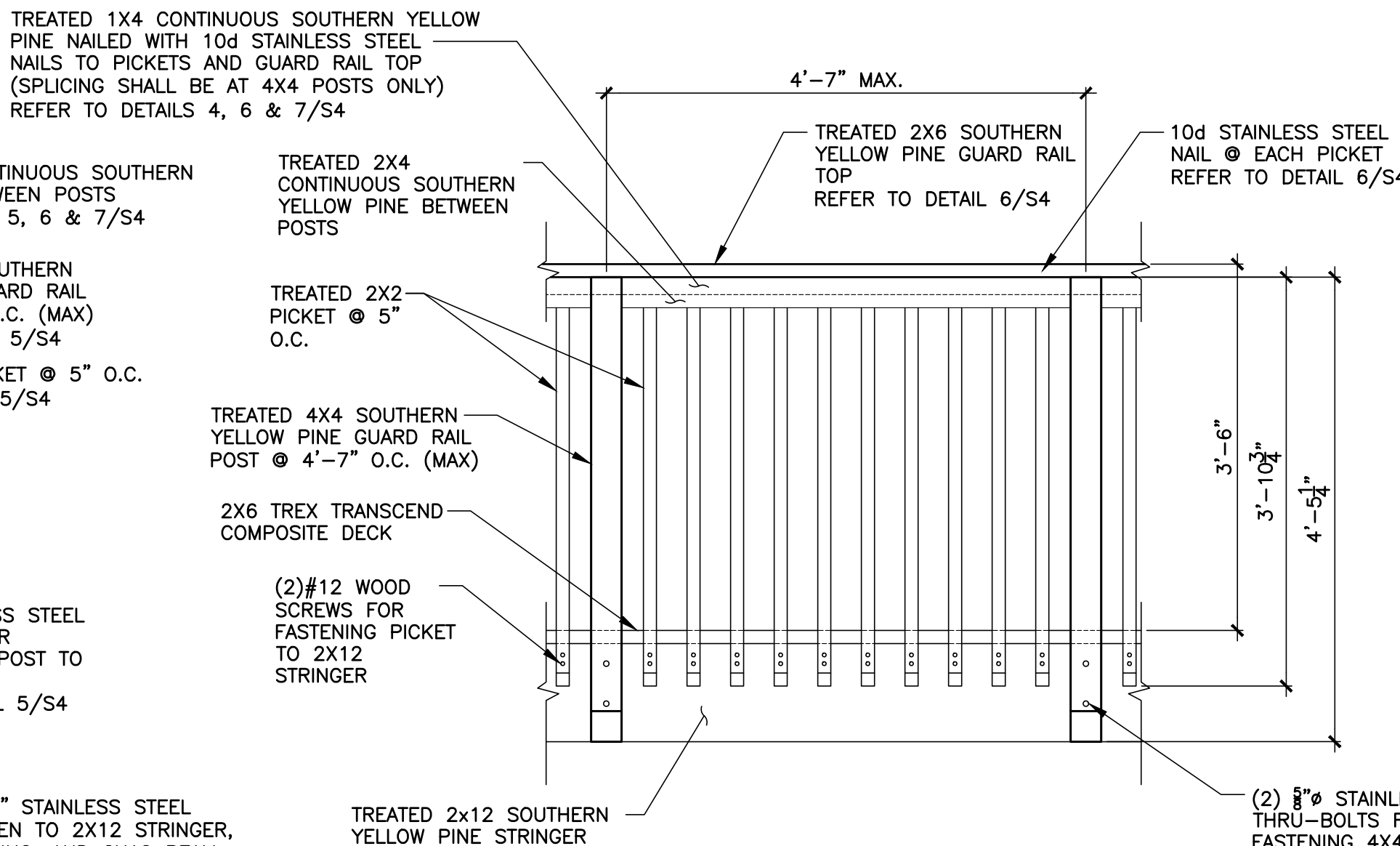
SCALE: 3/4" = 1'-0"

NOTE:
TREX TRANSCEND COMPOSITE DECKING SLATS
SHALL HAVE A 1/2" SPACE IN BETWEEN CONSECUTIVE
SLATS.



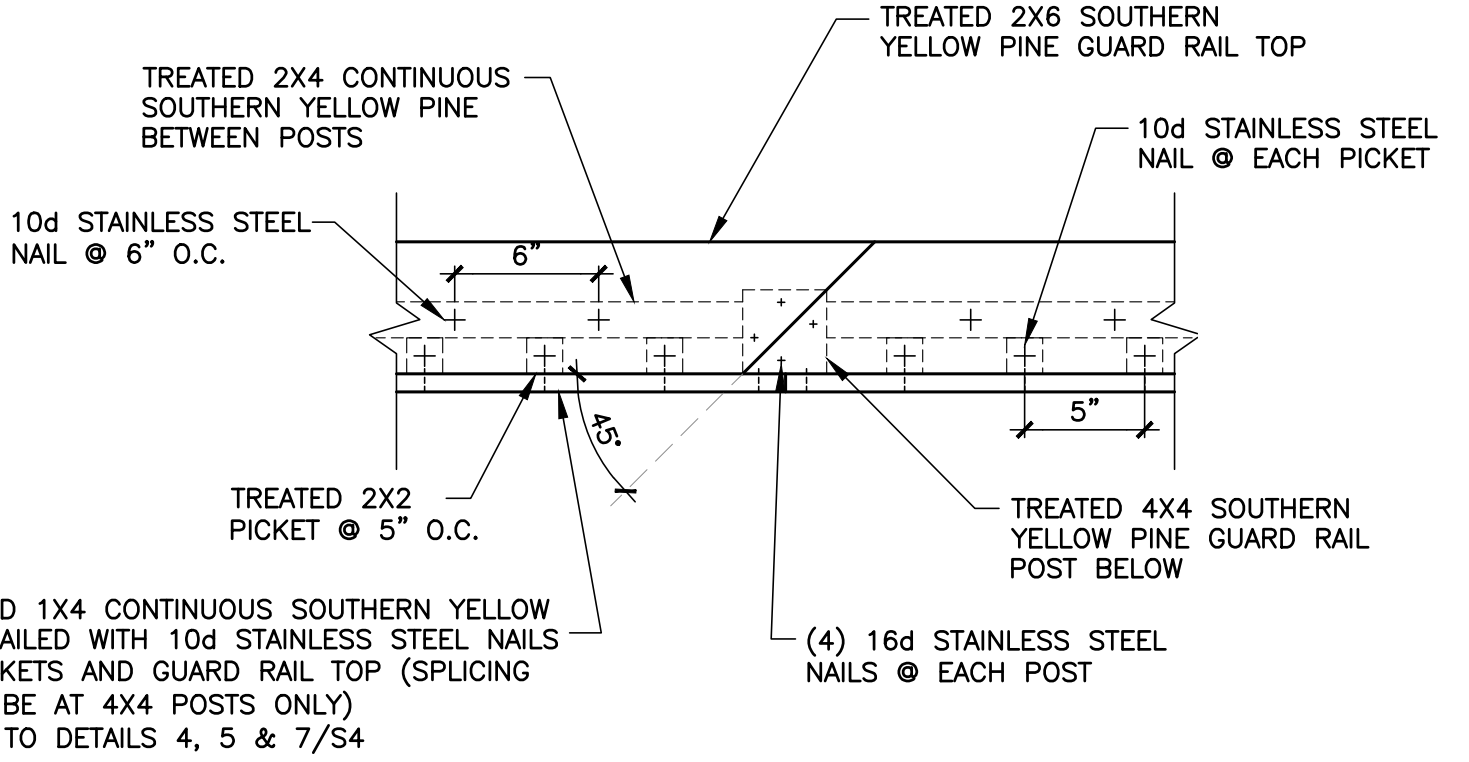
4 TYPICAL WALKOVER SECTION

SCALE: 3/4" = 1'-0"



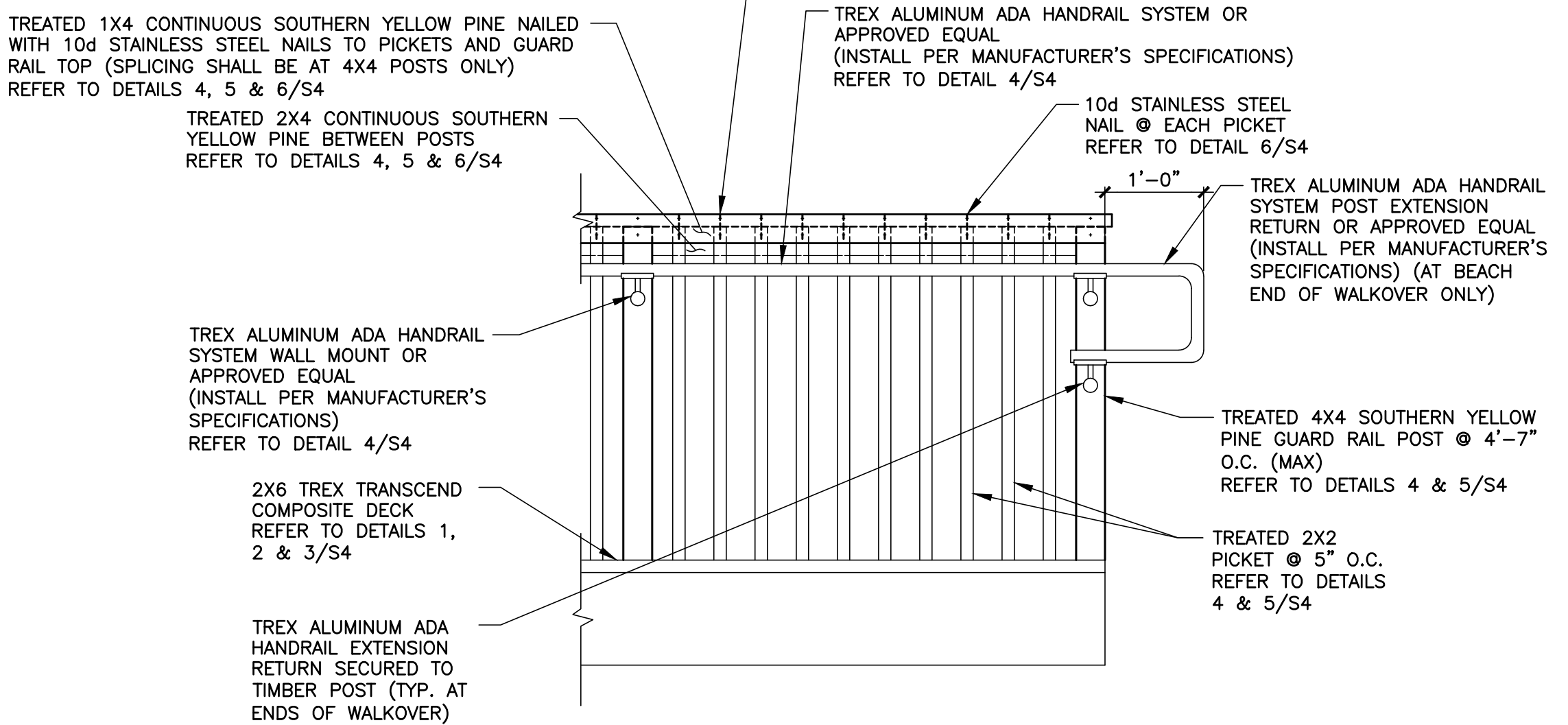
5 TYPICAL GUARD RAIL DETAIL

SCALE: 3/4" = 1'-0"



6 2X6 TOP GUARD RAIL SPLICE DETAIL (TYP.)

SCALE: 1-1/2" = 1'-0"



7 TYPICAL TREX ADA HANDRAIL DETAIL

SCALE: 3/4" = 1'-0"

GENERAL NOTES:

1. ALL TIMBER CONSTRUCTION INCLUDING PILING, DECKING AND RAILING SHALL BE IN STRICT ACCORDANCE WITH PROJECT SPECIFICATIONS.
2. ALL TIMBER PILING SHALL HAVE A MINIMUM ALLOWABLE COMPRESSIVE STRESS OF 1200 PSI AND BENDING STRESS OF 2400 PSI, IN CONFORMANCE WITH ASTM D25-79 CLASS B.
3. ALL PILES SHALL HAVE ENOUGH LENGTH TO ALLOW FOR THE REQUIRED 17 FT OF EMBEDMENT PLUS THE LENGTH NECESSARY TO REACH ITS DECK ELEVATION AS WELL AS HAVE A MINIMUM BUTT DIA. OF 14".
4. ALL CONNECTION HARDWARE SHALL BE STAINLESS STEEL.
5. NAILS, BOLTS, WASHERS AND ALL OTHER FASTENERS SHALL BE STAINLESS STEEL.
6. REFER TO DWG. C6 & C7 FOR SITE STAKING PLAN.
7. REFER TO DWG. C8 & C9 FOR SITE GRADING PLAN.
8. ALL TIMBER SHALL BE TREATED (REFER TO S1/TIMBER NOTE 11)
9. ALL TREX DECKING PLANKS SHALL BE INSTALLED WITH A 1/2" SPACE BETWEEN ADJACENT PLANKS.

CONSULTANT'S SHEET
PROJECT NO. 15450-04



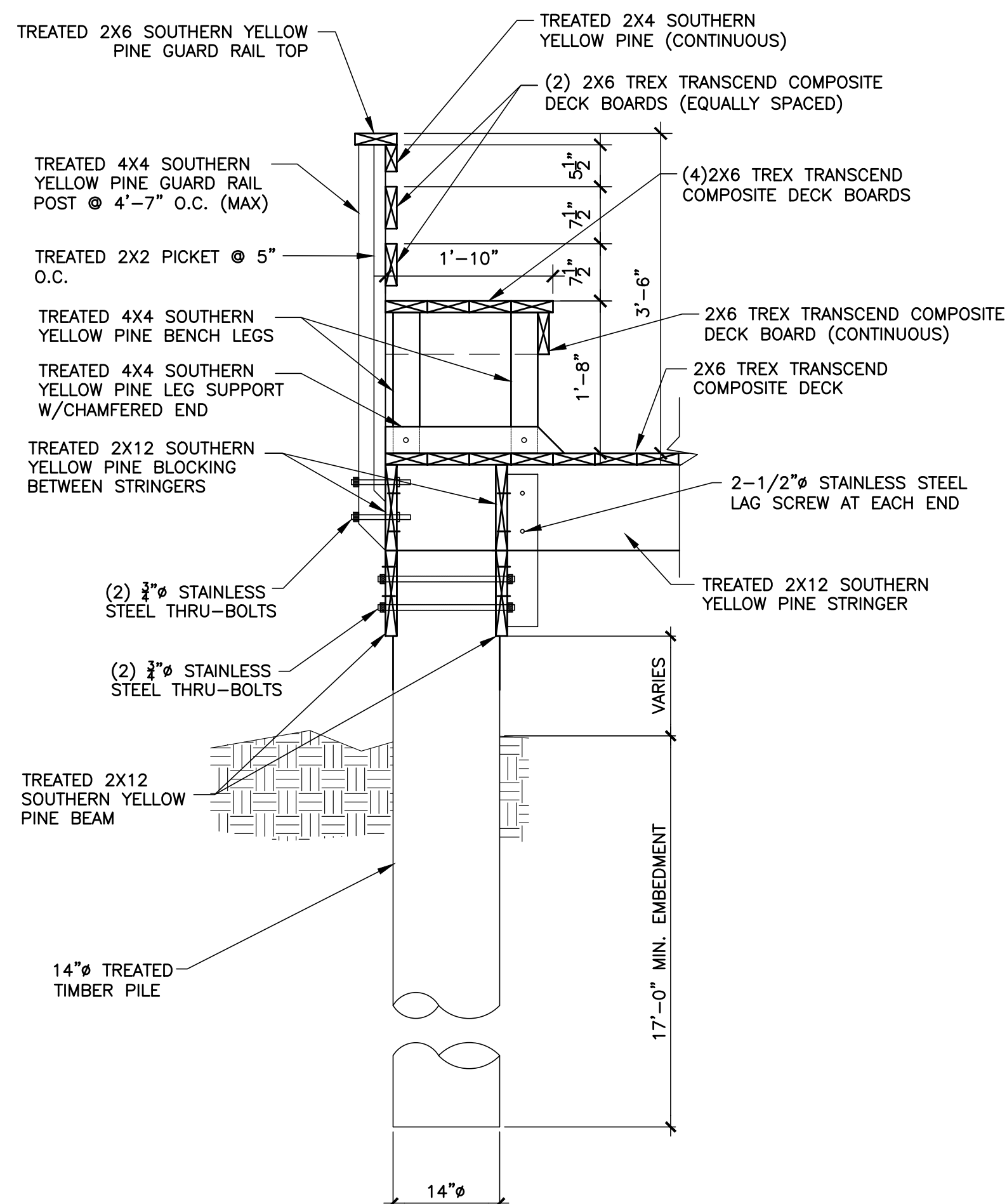
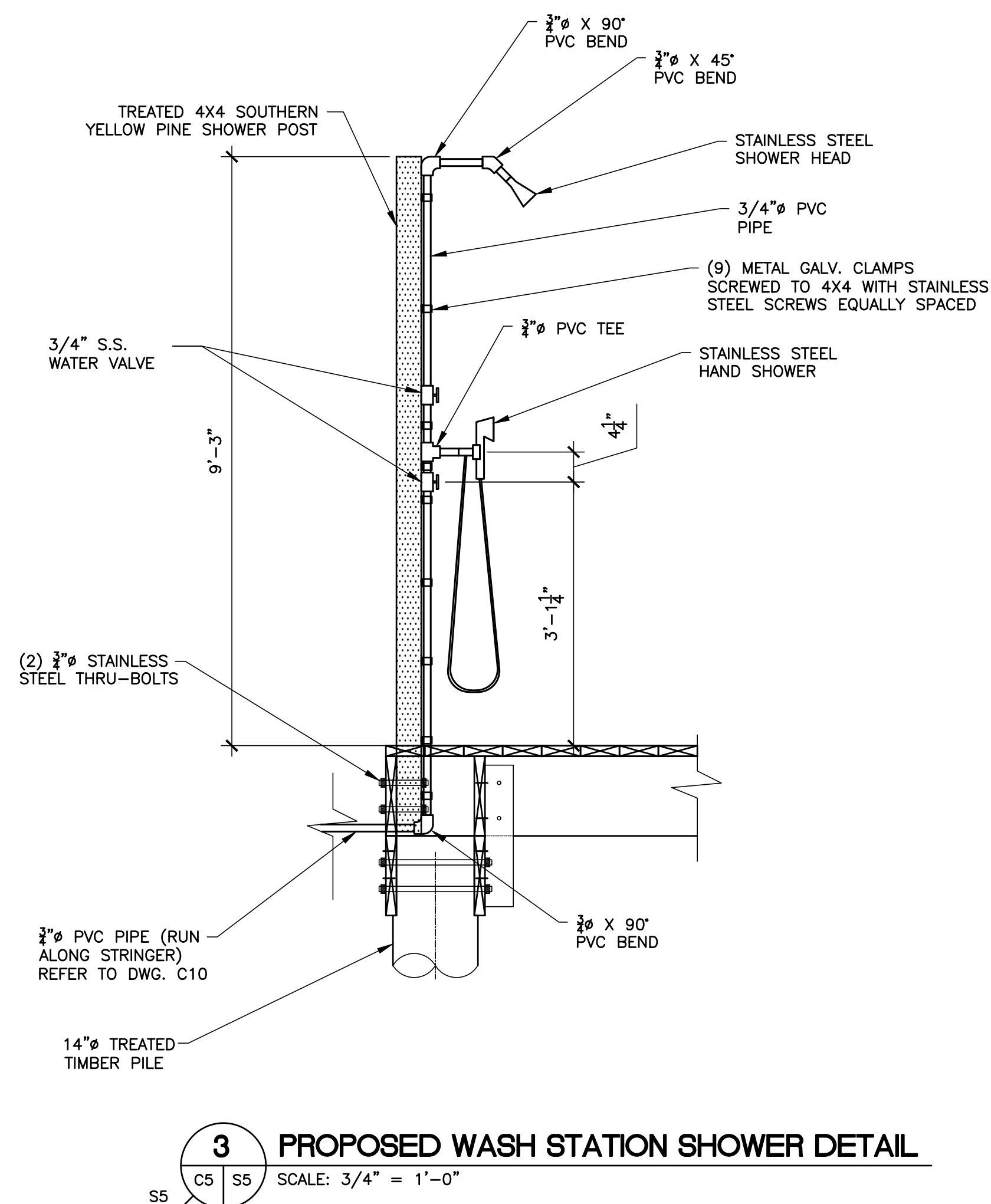
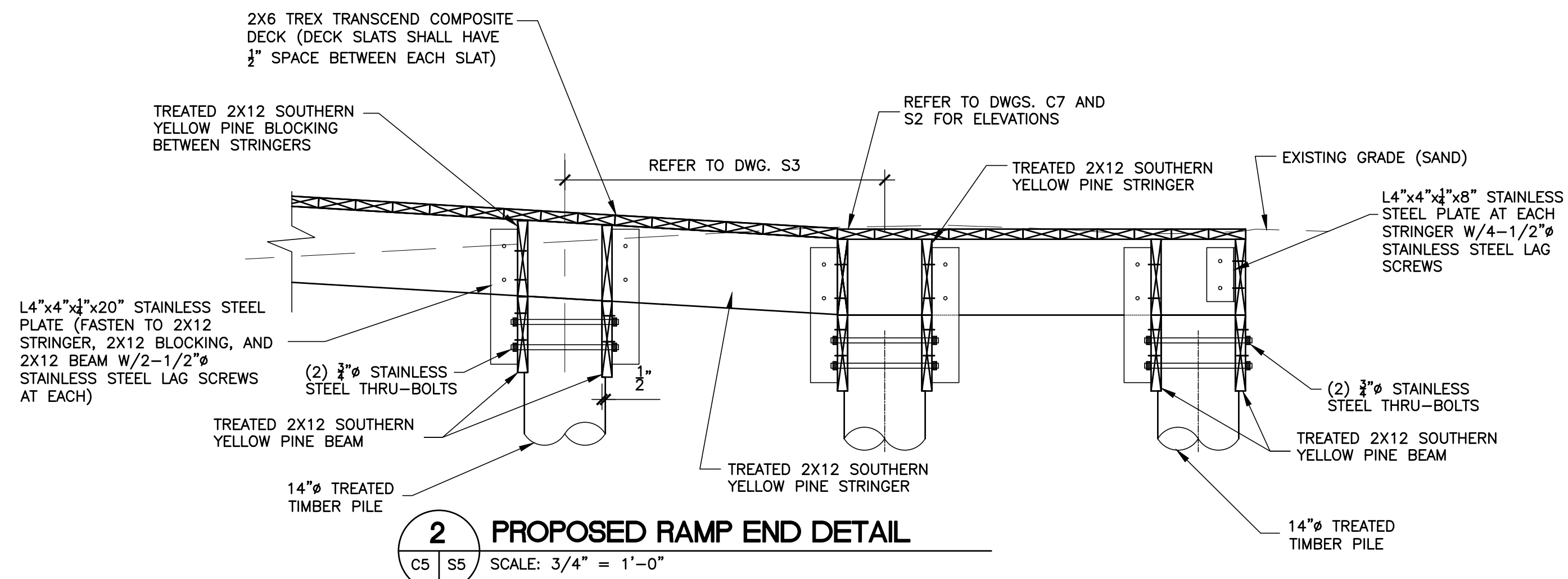
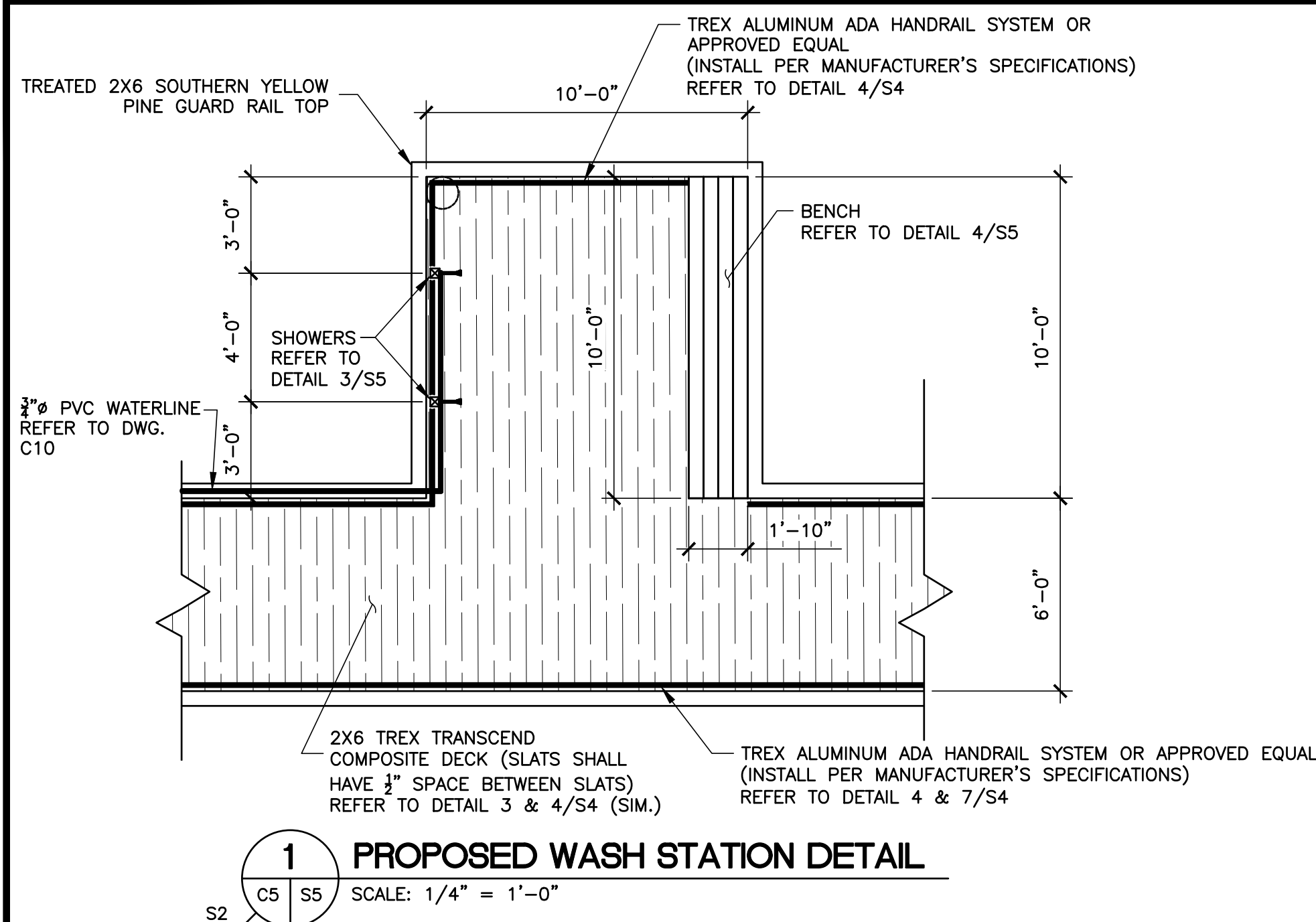
INTERNATIONAL CONSULTING ENGINEERS
PHONE: 361.926.5805
FAX: 361.926.5806
555 N. CARANCAHUA ST., STE. 980
CORPUS CHRISTI, TX 78401
I.C.E. FIRM REGISTRATION #F-10837



CITY OF SOUTH PADRE ISLAND
B) OCEAN CIRCLE BEACH ACCESS AND PARKING LOT
BEACH ACCESS #2

DRAWING NO.
S4

SHEET 35 of 36

[illegible]

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PHONE: 361.826.5805 **555 N. CARANCAHUA ST. STE. 860**
FAX: 361.826.5806 **CORPUS CHRISTI, TX 78401**

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CITY OF SOUTH PADRE ISLAND
B) OCEAN CIRCLE BEACH ACCESS AND PARKING LOT
BEACH ACCESS #2

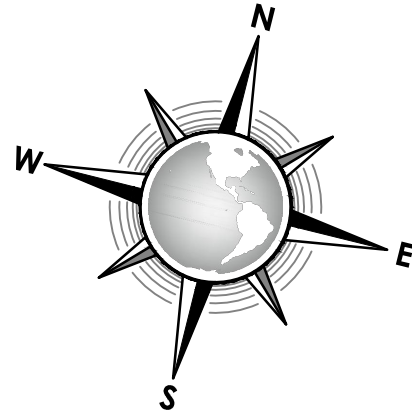
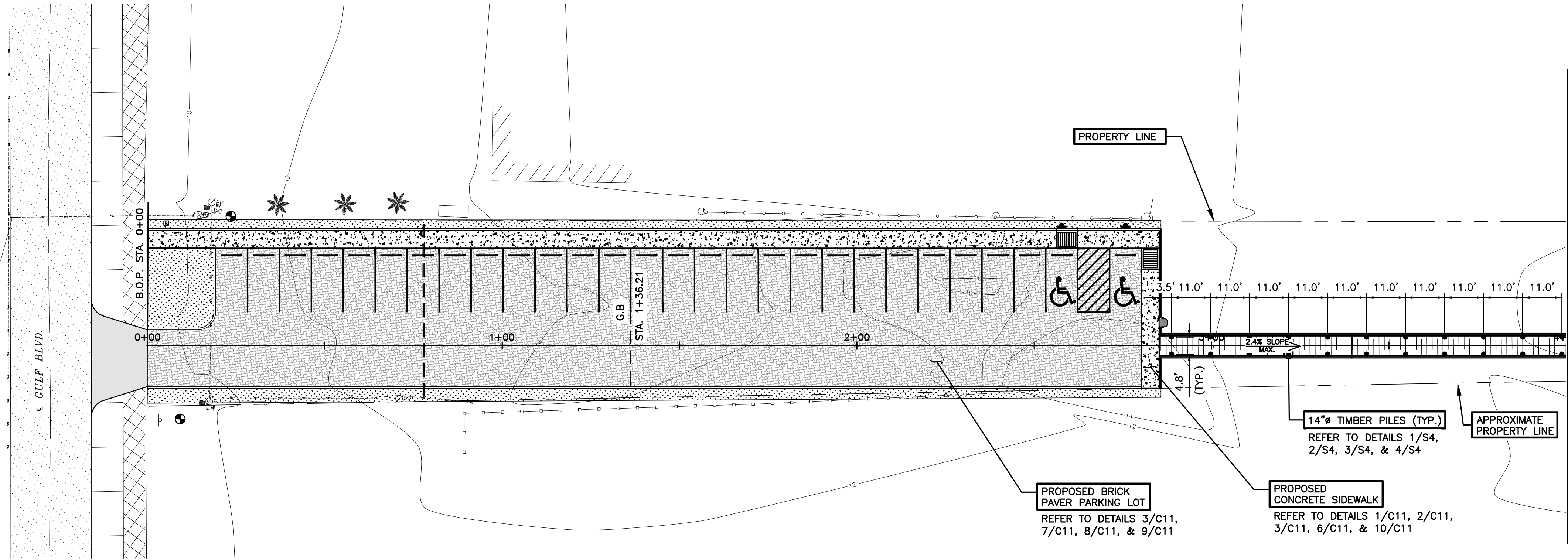
MISCELLANEOUS STRUCTURAL DETAILS

DRAWING NO.

S5

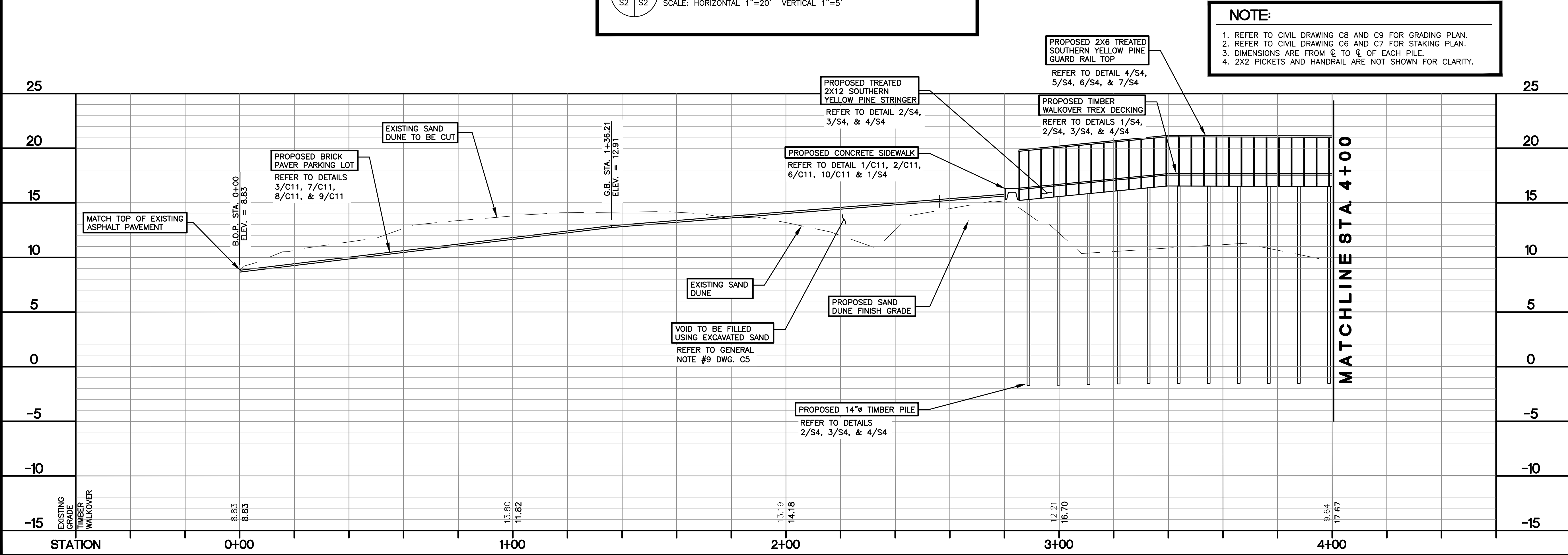
SHEET 36 of 36

FILE NAME: F:\2015\City of South Padre Island\Ocean Circle Beach Access\Drawings\Structural\16)-S2-WALKOVER PLAN AND PROFILE.dwg LAYOUT NAME: PLAN AND PROFILE PLOTTED: Monday, February 06, 2017 - 10:17am USER: Chontalva



A
PARKING LOT AND TIMBER WALKOVER
PLAN AND PROFILE STA. 0+00 TO 4+02.72
S2 S2 SCALE: HORIZONTAL 1"=20' VERTICAL 1"=5'

NOTE:
1. REFER TO CIVIL DRAWING C8 AND C9 FOR GRADING PLAN.
2. REFER TO CIVIL DRAWING C6 AND C7 FOR STAKING PLAN.
3. DIMENSIONS ARE FROM ϕ TO ϕ OF EACH PILE.
4. 2X2 PICKETS AND HANDRAIL ARE NOT SHOWN FOR CLARITY.



CONSULTANT'S SHEET
PROJECT NO. 15450-04

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UNDER THE AUTHORITY
OF JESUS J. JIMENEZ
P.E.# 100765
ON 2/06/17
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PURPOSE.

IE
INTERNATIONAL CONSULTING ENGINEERS
PHONE: 361.926.5805 555 N. CARANCAHUA ST. STE. 860
FAX: 361.926.5806 CORPUS CHRISTI, TX 78401
I.C.E. FIRM REGISTRATION #F-10837

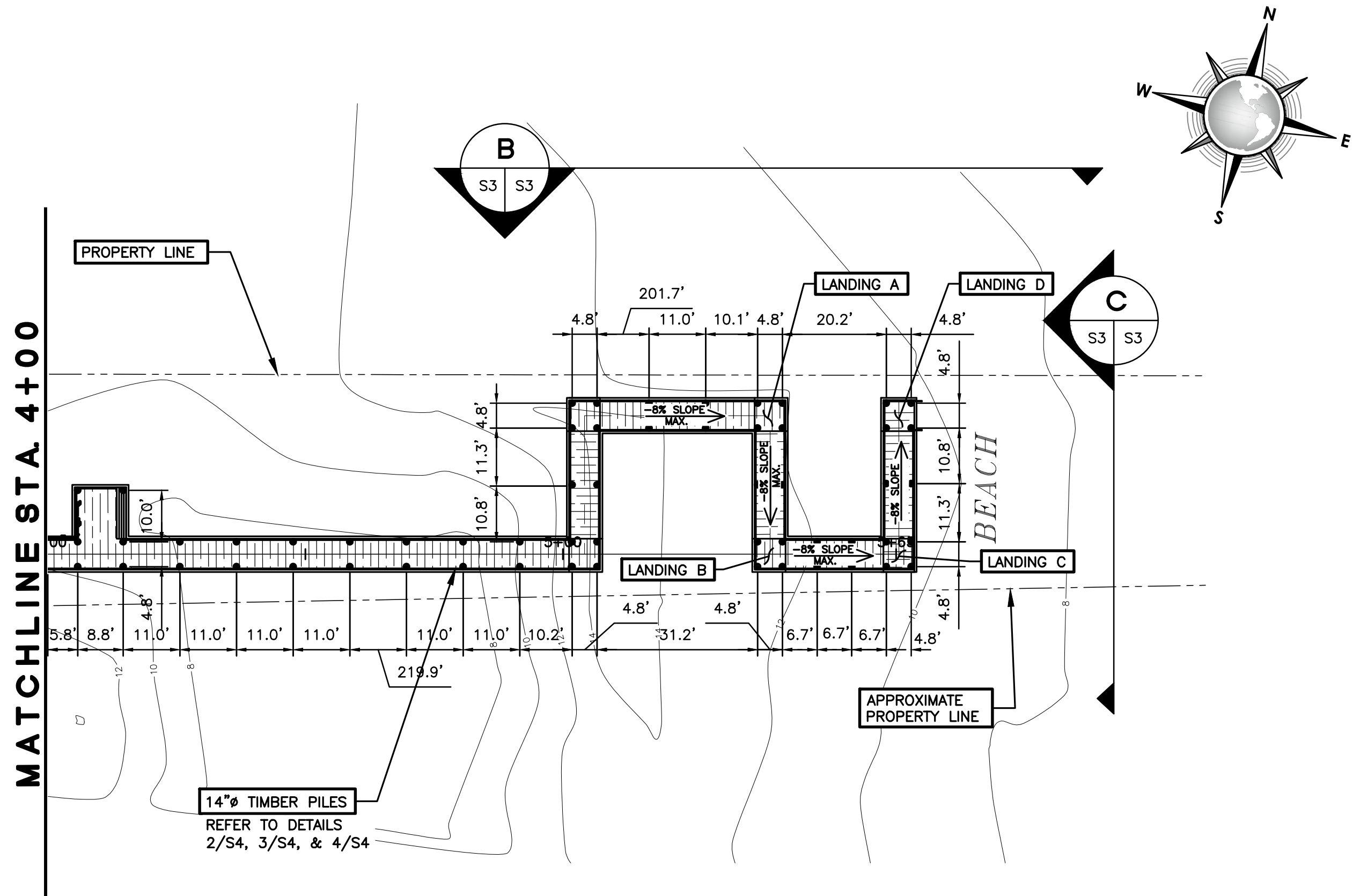


CITY OF SOUTH PADRE ISLAND
B) OCEAN CIRCLE BEACH ACCESS AND PARKING LOT
BEACH ACCESS #2
PARKING LOT AND TIMBER WALKOVER
PLAN AND PROFILE STA. 0+00 TO 4+02.72

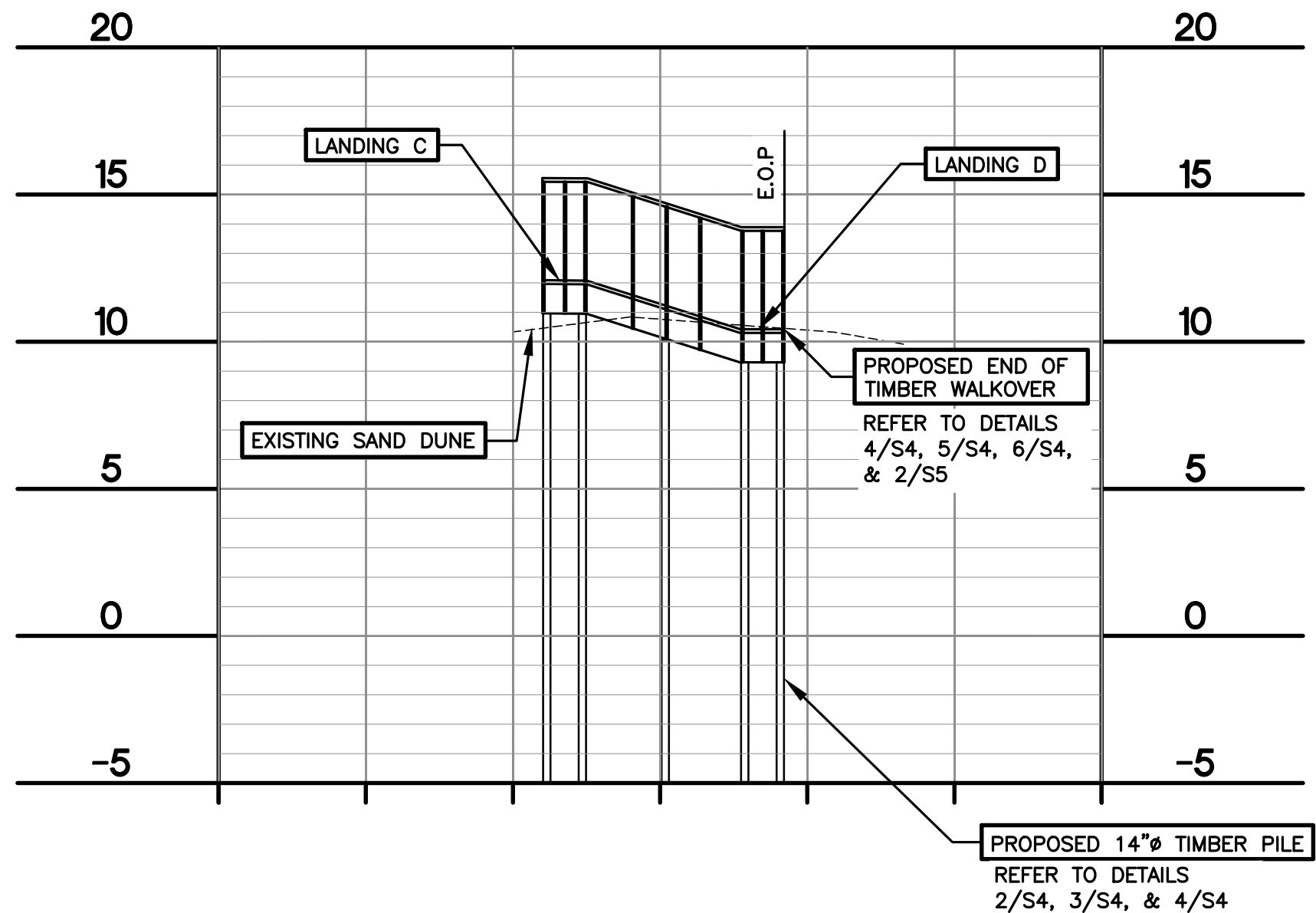
DRAWING NO.
S2
SHEET 33 of 36

REVISION NO.	DATE	BY	DESCRIPTION

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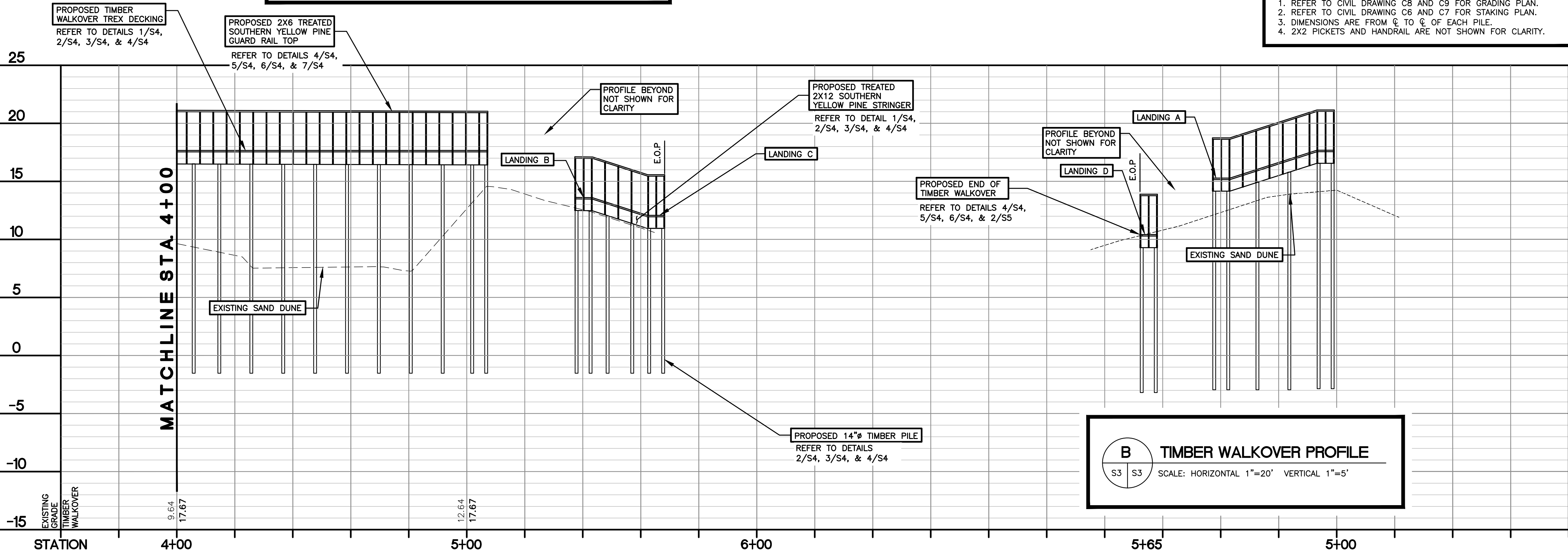
A PARKING LOT AND TIMBER WALKOVER
PLAN AND PROFILE STA. 4+02.72 TO END
S3 S3 SCALE: HORIZONTAL 1"=20' VERTICAL 1"=5'



C WALKOVER SECTION
S3 S3 SCALE: HORIZONTAL 1"=20' VERTICAL 1"=5'

NOTE:

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B TIMBER WALKOVER PROFILE
S3 S3 SCALE: HORIZONTAL 1"=20' VERTICAL 1"=5'

CONSULTANT'S SHEET
PROJECT NO. 15450-04

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P.E.# 100765
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INTERNATIONAL CONSULTING ENGINEERS
PHONE: 361.926.5805 555 N. CARANCAHUA ST. STE. 860
FAX: 361.926.5806 CORPUS CHRISTI, TX 78401
I.B.P.E. FIRM REGISTRATION #F-10837

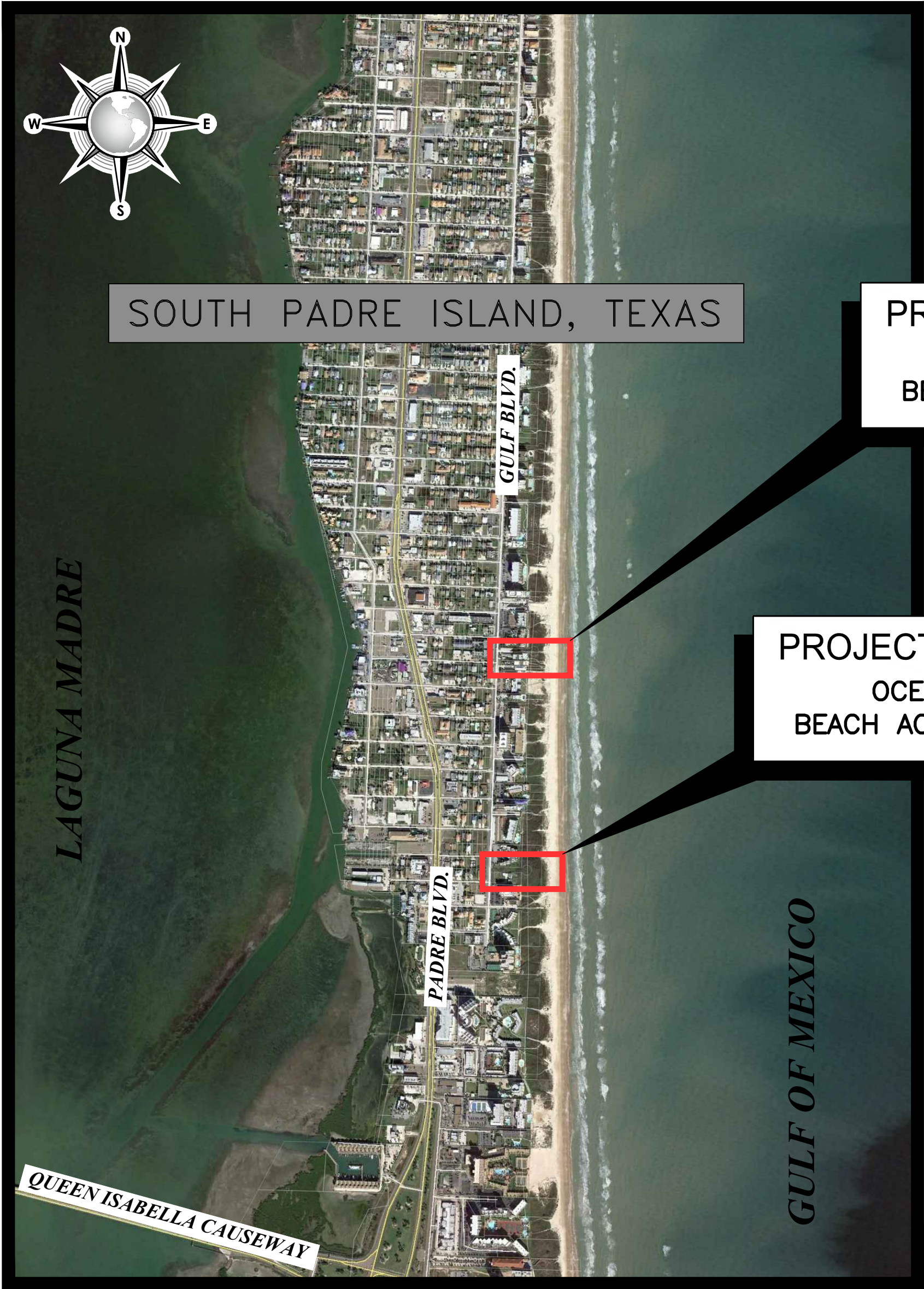
South Padre Island

CITY OF SOUTH PADRE ISLAND
B) OCEAN CIRCLE BEACH ACCESS AND PARKING LOT
BEACH ACCESS #2
PARKING LOT AND TIMBER WALKOVER
PLAN AND PROFILE STA. 4+02.72 TO END

DRAWING NO.
S3

SHEET 34 of 36

CITY OF SOUTH PADRE ISLAND
BEACH ACCESS IMPROVEMENT PROJECTS
A) SEASIDE CIRCLE B) OCEAN CIRCLE



SOUTH PADRE ISLAND, TEXAS

PROJECT A LOCATION
SEASIDE CIRCLE
BEACH ACCESS POINT #6

PROJECT B LOCATION
OCEAN CIRCLE
BEACH ACCESS POINT #2

LOCATION MAP
NOT TO SCALE

SHEET INDEX		
SHEET	DRAWING NO.	TITLE
1	T0	OVERALL TITLE SHEET/LOCATION MAP
PROJECT A SEASIDE CIRCLE		
1	T1	TITLE SHEET/LOCATION MAP
CIVIL		
2	C1	GENERAL NOTES
3	C2	ESTIMATED QUANTITIES AND LEGEND
4	C3	EXISTING TOPOGRAPHY & CONTROL DATA
5	C4	DEMOLITION AND SWPP PLAN
6	C5	OVERALL SITE IMPROVEMENTS PLAN
7	C6	STAKING PLAN
8	C7	GRADING PLAN
9	C8	UTILITY IMPROVEMENT PLAN
10	C9	CONCRETE SIDEWALK DETAILS
11	C10	PAVEMENT DETAILS
12	C11	MISCELLANEOUS CIVIL DETAILS
STRUCTURAL		
13	S1	STRUCTURAL NOTES
14	S2	TIMBER WALKOVER PLAN AND PROFILE
15	S3	FRAMING DETAILS
16	S4	MISCELLANEOUS STRUCTURAL DETAILS
PROJECT B OCEAN CIRCLE		
18	T1	TITLE SHEET/LOCATION MAP
CIVIL		
19	C1	GENERAL NOTES
20	C2	ESTIMATED QUANTITIES AND LEGEND
21	C3	EXISTING TOPOGRAPHY & CONTROL DATA
22	C4	DEMOLITION AND SWPP PLAN
23	C5	OVERALL SITE IMPROVEMENTS PLAN
24	C6	PARKING LOT STAKING PLAN
25	C7	WALKOVER STAKING PLAN
26	C8	PARKING LOT GRADING PLAN
27	C9	WALKOVER GRADING PLAN
28	C10	UTILITY IMPROVEMENT PLAN
29	C11	CONCRETE SIDEWALK DETAILS
30	C12	PAVEMENT DETAILS
31	C13	LAGUNA MADRE WATER DISTRICT UTILITY DETAILS
STRUCTURAL		
32	S1	STRUCTURAL NOTES
33	S2	PARKING LOT AND TIMBER WALKOVER PLAN AND PROFILE STA. 0+00 TO 4+02.72
34	S3	PARKING LOT AND TIMBER WALKOVER PLAN AND PROFILE STA. 4+02.72 TO END
35	S4	FRAMING DETAILS
36	S5	MISCELLANEOUS STRUCTURAL DETAILS

TEXAS DEPARTMENT OF LICENSING AND REGULATION

ARCHITECTURAL BARRIERS PROJECT REGISTRATION NUMBER:
EAB#: B6806872

TEXAS ACCESSIBILITY SOLUTIONS JUSTIN K. WALTON RAS#00001329 (940) 368-1989



THIS PROJECT IS FUNDED, IN PART, BY A TEXAS COASTAL MANAGEMENT PROGRAM GRANT APPROVED BY THE TEXAS LAND COMMISSIONER PURSUANT TO NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION AWARD NO. NA14NOS4190139.



CONSULTANT'S SHEET
PROJECT NO. 15450-02

INTERNATIONAL CONSULTING ENGINEERS
555 N. CARANCAHUA ST. STE. 980
CORPUS CHRISTI, TX 78401
PHONE: 361.926.5805
FAX: 361.926.5806
I.B.P.E. FIRM REGISTRATION #F-10837

DESCRIPTION

BY

DATE

REVISION NO.

ADDED GENERAL NOTES AS PER G.L.O. COMMENTS

11-21-16

DATE

11-21-16

BY

DESCRIPTION

CITY OF SOUTH PADRE ISLAND
A) SEASIDE CIRCLE BEACH ACCESS
B) OCEAN CIRCLE BEACH ACCESS

OVERALL TITLE SHEET/LOCATION MAP

DRAWING NO.
TO

SHEET 1 of 36

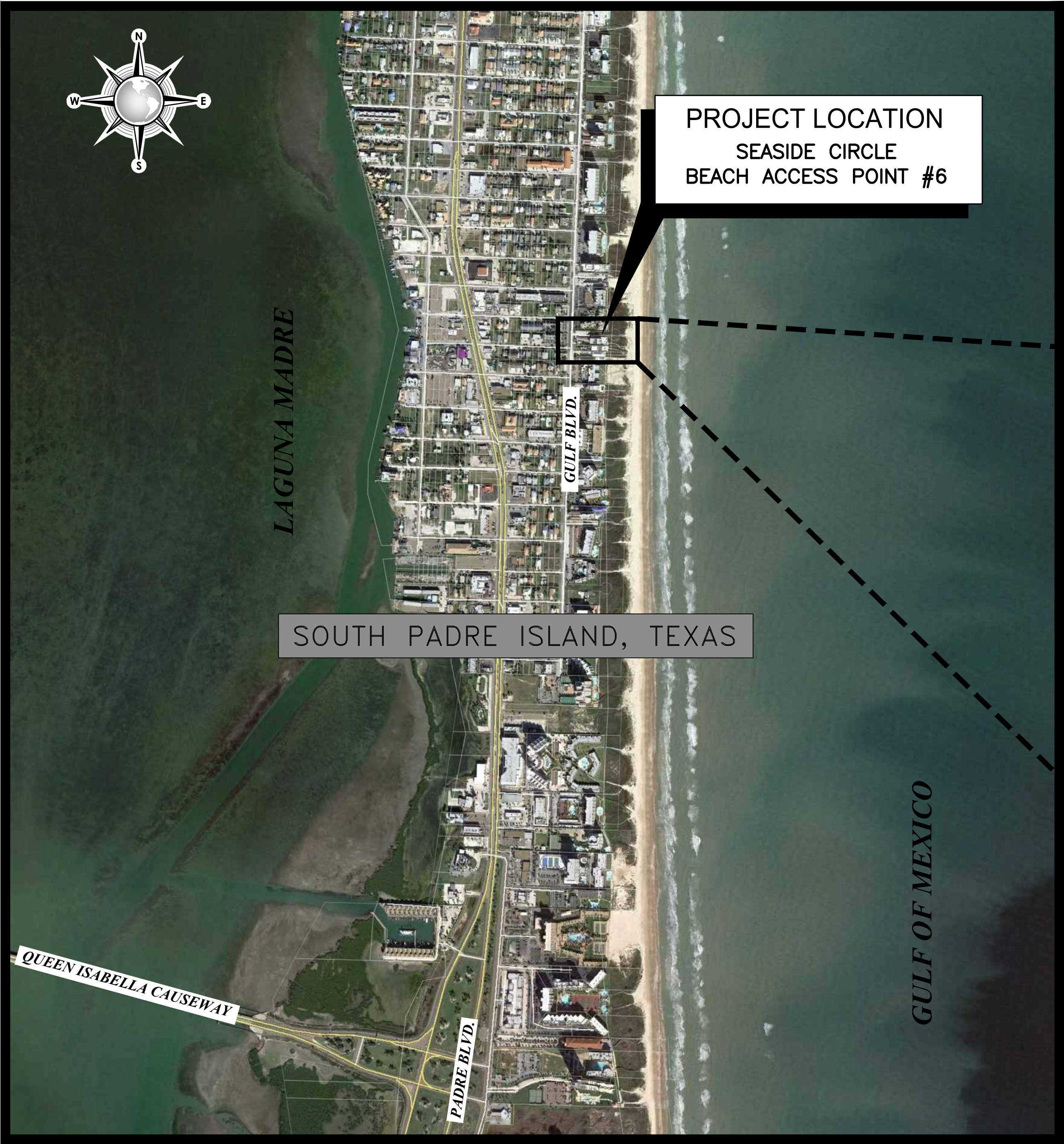
CITY OF SOUTH PADRE ISLAND

A) SEASIDE CIRCLE BEACH ACCESS IMPROVEMENTS

BEACH ACCESS POINT #6

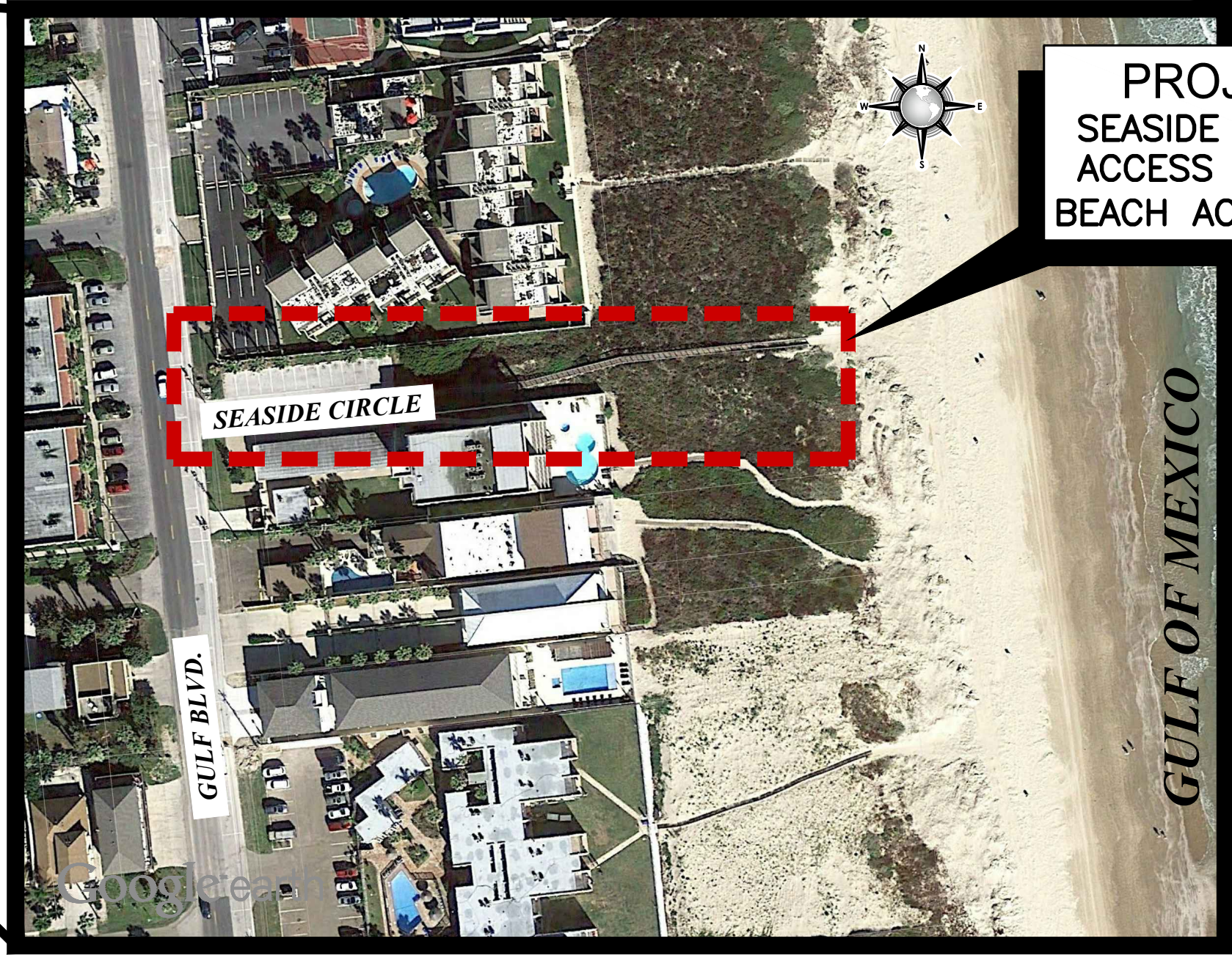
SHEET INDEX

SHEET	DRAWING NO.	TITLE
1	T1	TITLE SHEET/LOCATION MAP
CIVIL		
2	C1	GENERAL NOTES
3	C2	ESTIMATED QUANTITIES AND LEGEND
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STRUCTURAL		
13	S1	STRUCTURAL NOTES
14	S2	TIMBER WALKOVER PLAN AND PROFILE
15	S3	FRAMING DETAILS
16	S4	MISCELLANEOUS STRUCTURAL DETAILS



LOCATION MAP

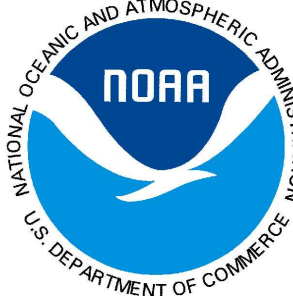
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VICINITY MAP

NOT TO SCALE

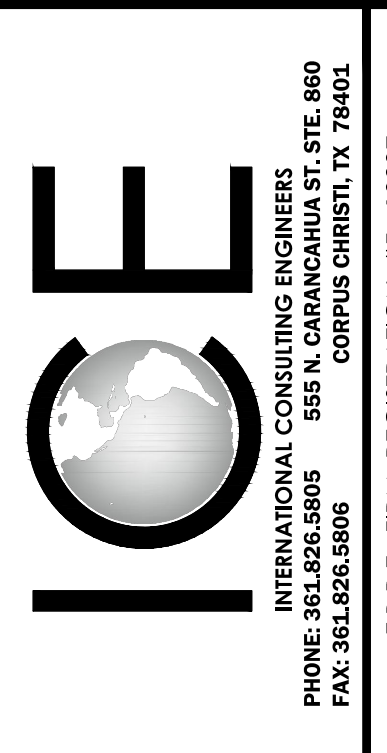
TEXAS DEPARTMENT OF LICENSING AND REGULATION		
ARCHITECTURAL BARRIERS PROJECT REGISTRATION NUMBER:		
EAB#: B6806872		
TEXAS ACCESSIBILITY SOLUTIONS	JUSTIN K. WALTON	RAS#00001329 (940) 368-1989



THIS PROJECT IS FUNDED, IN PART, BY A TEXAS COASTAL MANAGEMENT PROGRAM GRANT APPROVED BY THE TEXAS LAND COMMISSIONER PURSUANT TO NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION AWARD NO. NA14NOS4190139.



CONSULTANT'S SHEET
PROJECT NO. 15450-02



CITY OF SOUTH PADRE ISLAND
A) SEASIDE CIRCLE BEACH ACCESS
IMPROVEMENTS BEACH ACCESS POINT #6

TITLE SHEET/LOCATION MAP

DRAWING NO.
T1

SHEET 1 of 36

FILE NAME: F:\2015\City of South Padre Island\Seaside Circle Beach Access Point.#5\Drawings\Civil\02-C1-GENERAL NOTES.dwg LAYOUT NAME: Model PLOTTED: Wednesday, February 01, 2017 - 5:24pm USER: Chontalvo

1. GENERAL NOTES

1. CONTRACTOR SHALL NOT NOR HAVE EQUIPMENT OR MATERIALS ON DUNES AND VEGETATION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TRAINING HIS EMPLOYEES AND SUBCONTRACTORS IN THE RECOGNITION AND AVOIDANCE OF UNSAFE CONDITIONS, AND IN THE REGULATIONS AND HAZARDS WHICH APPLY TO THE AREA IN WHICH THE WORK WILL TAKE PLACE.
3. ALL SAFETY EXPOSURES OR VIOLATIONS SHALL BE RECTIFIED IMMEDIATELY BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING PROTECTION OF PERSONS AND PROPERTY, AND FOR PROVIDING SAFE WORKING CONDITIONS THROUGHOUT THE WORK PROGRESS. ALL AREAS ADJACENT TO THE CONSTRUCTION AREA OR AFFECTED BY THE CONSTRUCTION MUST BE PROTECTED FROM DAMAGE, CLEANED, AND RESTORED TO THE ORIGINAL CONDITION AT NO ADDITIONAL EXPENSE TO THE OWNER.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL CLEARANCES AND PERMITS AS NECESSARY, PRIOR TO THE COMMENCEMENT OF THE WORK.
5. WORK AREAS SHALL BE KEPT, AT ALL TIMES, FREE OF DEBRIS AND NON – HAZARDOUS MATERIAL TO THE SATISFACTION OF THE CITY OF SOUTH PADRE ISLAND. THE CONTRACTOR SHALL COORDINATE STORAGE OF MATERIALS, PARKING OF VEHICLES, AND RESTRICTIONS OF WORK WITH THE CITY OF SOUTH PADRE ISLAND. AFTER PROJECT COMPLETION, THE SITE SHALL BE CLEANED UP TO ITS CONDITION PRIOR TO THE START OF THE PROJECT TO THE SATISFACTION OF THE CITY OF SOUTH PADRE ISLAND.
6. THE SEQUENCE OF CONSTRUCTION SHALL BE SCHEDULED AND COORDINATED WITH THE CITY OF SOUTH PADRE ISLAND
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF EXISTING CONDITIONS, AND SHALL PERFORM FIELD MEASUREMENTS PRIOR TO FABRICATION AND / OR PURCHASE OF ANY MATERIAL AND SHALL CONTACT THE ENGINEER SHOULD EXISTING CONDITIONS BE DIFFERENT FROM THE DESIGN DRAWINGS FOR THIS PROJECT. CONFLICTS ARISING DUE TO LACK OF COORDINATION SHALL BE THE RESPONSIBILITY AND AT THE EXPENSE OF THE CONTRACTOR.
8. THE CONTRACTOR SHALL NOT FABRICATE OR INSTALL MEMBERS AS SHOWN ON THE DRAWINGS IF THERE ARE DISCREPANCIES OR CONFLICTS BETWEEN THE EXISTING CONDITIONS AND THE INFORMATION SHOWN ON THE DRAWINGS, UNTIL SUCH DISCREPANCIES HAVE BEEN RESOLVED. PRIOR TO FABRICATION OR INSTALLATION, THE CONTRACTOR SHALL IMMEDIATELY CALL SUCH DISCREPANCIES OR CONFLICTS TO THE ATTENTION OF THE ENGINEER.
9. ANY REQUIRED CHANGES TO THE DRAWINGS RESULTING FROM THE ACCEPTANCE OF ALTERNATES AND / OR SUBSTITUTIONS ARE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE SUBMITTED TO THE OWNER AND THE ENGINEER FOR APPROVAL.
10. ALL CONTRACT WORK IN THESE DRAWINGS SHALL BE CARRIED OUT IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FOLLOWING NATIONAL CODES AND STANDARDS:

- A. INTERNATIONAL BUILDING CODES, 2012 (IBC2012)
- B. AMERICAN SOCIETY OF CIVIL ENGINEERS (ASCE) 7-05
- C. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA)
- D. NATIONAL FIRE PROTECTION ASSOCIATION (NFPA)
- E. INTERNATIONAL FIRE CODE (IFC)

11. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS REMOVED WHICH ARE NOT TO BE REINSTALLED OR SALVAGED ON THE PROJECT. DISPOSAL OF MATERIALS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
12. EXCAVATIONS SHALL NOT BE MADE DURING INCLEMENT WEATHER. WATER ACCUMULATION IN EXCAVATIONS EXCEEDING 1 INCH SHALL BE PUMPED OUT BEFORE ANY CONCRETE IS PLACED.
13. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF TRENCH SAFETY PROGRAM. THE CONTRACTOR SHALL APPOINT A TRENCH SAFETY FOREMAN WHO WILL BE ON SITE AT ALL TIMES WHILE TRENCHING OR EXCAVATION IS BEING PERFORMED. ALL EXCAVATIONS AND BACKFILL OPERATIONS SHALL BE IN ACCORDANCE WITH THE LATEST OSHA EXCAVATIONS SAFETY STANDARDS, OSHA 2226 AND 29 CFR PART 1926 SUBPART P. THE CONTRACTOR SHALL PROVIDE AN EXCAVATION PLAN PREPARED BY AN ENGINEER REGISTERED IN THE STATE OF TEXAS. THE EXCAVATION PLAN SHALL INDICATE THE PROCEDURES TO BE USED BY THE CONTRACTOR TO COMPLY WITH THE OSHA REQUIREMENTS. THE EXCAVATION PLAN SHALL IDENTIFY THE 'COMPETENT PERSON' AS REQUIRED BY PARAGRAPH 1926.651 (K) (1) THAT WILL WORK WITH EACH CREW.
14. PERMITTING ASSOCIATED WITH THE PROJECT INCLUDES BUT ARE NOT LIMITED TO THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ) CONSTRUCTION SITE STORM WATER PERMIT NOTICE OF INTENT (NOI) FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES UNDER THE TIDES CONSTRUCTION GENERAL PERMIT (TGR 150000). THIS PERMIT IS REQUIRED FOR CONSTRUCTION ACTIVITIES INCLUDING CLEARING, GRADING, AND EXCAVATION ACTIVITIES THAT DISTURB GREATER THAN THE TOTAL LAND AREA WITHIN THE PROJECT LIMITS.
15. CONTRACTOR SHALL MARK ALL AS-BUILT CONDITIONS FOR UTILITIES AND STORM SEWER ON THE PLAN AND SUBMIT TO THE ENGINEER AT END OF PROJECT.
16. THE CONTRACTOR SHALL VISIT THE PROJECT SITE IN ORDER TO BECOME FAMILIAR WITH THE SITE CONDITIONS PRIOR TO COMMENCING ANY WORK. THE CONTRACTOR IS TO RESEARCH THE EXISTING CONDITIONS AND PROPOSED WORK TO BECOME FULLY AWARE OF THE INTENT OF THE WORK. THE CONTRACTOR WILL BE REQUIRED TO ACQUIRE ALL NECESSARY PERMITS AND PAY ASSOCIATED FEES.
17. THE DRAWING SHOWS AS MUCH INFORMATION AS CAN BE REASONABLY OBTAINED BY THE SURVEY CREWS AND FROM EXISTING RECORDS REGARDING THE LOCATION AND NATURE OF PIPELINES, STORM SEWER, WATERLINES, SANITARY SEWER, TELEPHONE CONDUITS, ETC. HOWEVER THE ACCURACY AND COMPLETENESS OF SUCH INFORMATION IS NOT GUARANTEED. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO LOCATE SUCH UNDERGROUND FEATURES SUFFICIENTLY IN ADVANCE OF OPERATIONS TO PRECLUDE DAMAGE TO SAME.
18. UNDERGROUND UTILITY LINES SHOWN ON THE PLANS CONSTITUTE AN ATTEMPT BY THE ENGINEER TO LOCATE THESE LINES FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR SHALL FIELD LOCATE ALL UNDERGROUND UTILITY LINES AND MAKE PROVISIONS FOR THEIR PROTECTION. IN THE EVENT OF DAMAGE TO UNDERGROUND UTILITIES, WHETHER SHOWN OR NOT ON THE DRAWINGS, THE CONTRACTOR SHALL MAKE THE NECESSARY REPAIRS TO PLACE THE FACILITIES BACK IN SERVICE. ALL SUCH REPAIRS SHALL CONFORM TO THE REQUIREMENTS OF THE COMPANY OR AGENCY OPERATING THE FACILITY. DAMAGE BY THE CONTRACTOR TO EXISTING UTILITIES SHALL BE REPORTED IMMEDIATELY TO THE OWNER OF THE UTILITY AND THE ENGINEER. THE COST OF DAMAGE AND / OR REPAIR TO SAID UTILITY SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. NO PAYMENT WILL BE MADE FOR DELAYS DUE TO UTILITY CONFLICTS.
19. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAKE CHANGES IN DRAINAGE, WATERLINE, AND SANITARY SEWER GRADES TO PERMIT THE LINES TO PASS ALL UNDERGROUND LINES, AS AUTHORIZED BY THE ENGINEER, AND IN ACCORDANCE WITH TCEQ'S 'TEXAS ADMINISTRATIVE CODE' CHAPTER 217, 217.53 (d) SEPARATION DISTANCES BETWEEN PUBLIC WATER SUPPLY PIPES AND WASTEWATER COLLECTION SYSTEM PIPES OR MANHOLES.
20. DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR MAY ENCOUNTER EXISTING PIPES WHICH ARE NO LONGER IN SERVICE. THE CONTRACTOR MUST EXPLORE AND RESEARCH THE SITUATION AND PROVIDE EVIDENCE TO THE OWNERS REPRESENTATIVE THAT THE EXISTING PIPE IS ABANDONED. ONCE IT IS AGREED THAT THE LINE IS ABANDONED, THEN THE CONTRACTOR SHALL REMOVE AND DISPOSE OF SAID PIPE. THIS GENERALLY APPLIES TO ALL WHEN REMOVING DRAINAGE CULVERTS. ACTIVE DRAINAGE CULVERTS MUST BE REINSTALLED IF THEY ARE REMOVED FOR THE PURPOSE OF CONSTRUCTION. ANY ABANDONED LINES TO REMAIN IN PLACE SHALL BE FULLY GROUTED.
21. TRENCH EXCAVATION SHALL NOT PRECEDE BACKFILL BY MORE THAN 200 FEET. NO TRENCH SHALL BE LEFT OPEN AFTER NORMAL WORKING HOURS.
22. PRIOR TO THE COMMENCEMENT OF ANY WORK AT PROJECT SITE, CONTRACTOR SHALL COORDINATE WITH THE CITY OF SOUTH PADRE ISLAND SO THAT PROPOSED CONSTRUCTION METHODS WILL NOT INTERFERE OR IMPEDE THE CITY'S DAILY ACTIVITIES.
23. CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION OF EXISTING IMPROVEMENTS ON SITE, INCLUDING ABOVE GROUND AND UNDERGROUND. CONTRACTOR SHALL REMOVE BELOW – GRADE STRUCTURES TO THREE FEET BELOW NATURAL GRADE OR TO SUCH DEPTH AS MAY BE REQUIRED TO MAINTAIN SUBSURFACE STABILITY OF THE SOIL.
24. CONTRACTOR SHALL BACKFILL ALL VOIDS LEFT BY DEMOLITION AND COMPACT IN A MANNER SUITABLE TO FINAL IMPROVEMENTS.
25. ALL DEMOLISHED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE PROMPTLY REMOVED FROM THE SITE UNLESS NOTED OTHERWISE ON THE DRAWINGS.
26. ANY DAMAGE TO EXISTING DRAINAGE, PRIVATE UTILITY, OR OTHER STRUCTURES SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITION AT CONTRACTOR'S EXPENSE.
27. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THE SAFETY OF THE PEDESTRIANS AND ALL VEHICULAR TRAFFIC FROM CONSTRUCTION RELATED ACTIVITIES DURING THE COURSE OF THIS PROJECT.
28. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNMENTAL ONE-CALL REQUIREMENTS AND OTHER REGULATIONS WITH REGARD TO EXISTING UNDERGROUND UTILITIES, PIPELINES, AND OTHER FACILITIES A MINIMUM OF 48 HOURS IN ADVANCE OF CONSTRUCTION.
29. ALL OPEN EXCAVATIONS SHALL BE ENCLOSED WITH ORANGE SAFETY FENCE AT ALL TIMES.
30. EXCESS EXCAVATED MATERIAL, MUCK, VEGETATION, BROKEN CONCRETE, RC PIPE, AND OTHER UNWANTED MATERIAL BECOMES THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR. THE COST OF ALL HAULING IS UNDERSTOOD TO BE THE RESPONSIBILITY OF THE CONTRACTOR. NO DIRECT PAYMENT TO THE CONTRACTOR.
31. THE QUANTITIES OF THE WORK AND MATERIALS SHOWN ON THE PLANS APPROXIMATELY REPRESENT THE WORK TO BE PERFORMED AND MATERIALS TO BE FURNISHED, AND ARE FOR THE PURPOSE OF AIDING THE CONTRACTOR WITH THE PROJECT. IT IS UNDERSTOOD THAT QUANTITIES MAY INCREASE OR DECREASE WITHOUT IN ANY WAY INVALIDATING THE LUMP SUM BID PRICE.
32. SEEDING FOR EROSION CONTROL SHALL BE APPLIED ON ALL NON – PAVED AREAS DISTURBED BY THE CONTRACTORS OPERATIONS, INCLUDING EMBANKMENTS, GRADED AREAS, LAYDOWN AREAS, ETC.,THE QUANTITY OF PURE LIVE SEED AND TYPE REQUIRED ARE INDICATED BELOW:

COMMON NAME	SCIENTIFIC NAME	LB/ACRE OF PURE LIVE SEED FOR MIXTURES		
		A	B	C
GREEN SPRANGLETOP	LEPTOCHLOA DUBIA	1.4	1.4	—
SIDEOTS GRAMA (PREMIER)	BOUTELOUA CURTIPENDULA	0.6	—	0.6
BERMUDA GRASS (HULLED)	CYNODON DACTYLON	7.0	7.4	—
BERMUDA GRASS (UNHULLED)	CYNODON DACTYLON	—	—	30.0
K-R BLUESTEM	ANDROPOGON ISCHAEUM	1.2	1.2	1.5
BUFFEL GRASS	PENNISETUM CILIARE	—	4.2	—
ANNUAL RYE GRASS	LOLIUM MULTIFLORUM	5.0	5.0	20.0

MIXTURE – A: RECOMMENDED FOR CLAY OR TIGHT SOILS PLANTED BETWEEN DECEMBER 1 THROUGH MAY 1.
MIXTURE – B: RECOMMENDED FOR SANDY SOILS PLANTED BETWEEN DECEMBER 1 THROUGH MAY 1.
MIXTURE – C: RECOMMENDED FOR ALL SOILS PLANTED BETWEEN MAY 2 THROUGH NOVEMBER 30.

THE FERTILIZING, SEEDING, AND WATERING OPERATIONS SHALL BE ACCOMPLISHED WITH EQUIPMENT SUITABLE FOR THE REQUIRED FUNCTION. CONTRACTOR SHALL FERTILIZE AND WATER TO ASSURE 95% OF THE SEEDD AREA HAS ESTABLISHED GROWTH WITHIN 45 CALENDAR DAYS. ESTABLISHED GROWTH IS DEFINED AS AT LEAST ONE PLANT PER SQUARE FOOT WITH NO BARE SPOTS LARGER THAN TEN (10) SQUARE FEET.

33. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING SUFFICIENT TRAFFIC CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD TO ASSURE A SAFE CONDITION AND TO PROVIDE A MINIMUM OF INCONVENIENCE TO MOTORISTS. ALL TRAFFIC CONTROL DEVICES SHALL COMPLY WITH THE "TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (LATEST EDITION).

2. SITE EXCAVATION AND GRADING (DUNE PROTECTION)

1. THE CONTRACTOR SHALL STRIVE TO AVOID ANY DAMAGE AND DESTRUCTION TO DUNES AND VEGETATION TO THE MAXIMUM EXTENT PRACTICAL.
2. NO CLEARING/STRIPPING SHALL BE DONE.
3. IF SITE IS TO BE CLEARED, THE CONTRACTOR SHALL RECEIVE PRIOR APPROVAL FROM THE CITY OF SOUTH PADRE ISLAND AND PROVIDE A MITIGATION ACTION PLAN AS OUTLINED IN THE CITY OF SOUTH PADRE ISLAND PLAN AND THE TAC.
4. ANY TEMPORARY IMPACTS TO VEGETATION WILL BE MITIGATED ON SITE.
5. NO FILL SHALL BE USED OR BROUGHT ONTO THE SITE. ONLY EXCAVATED MATERIAL MAY BE USED AS FILL FOR THE SIDEWALK TO REACH ELEVATION.
6. DAMAGE AND DESTRUCTION TO BACKDUNES THAT ACTIVELY EXCHANGE SAND WITH AND EXTEND VEGETATION TO FOREDUNES AND THE FOREDUNE RIDGE SHALL BE AVOIDED TO THE MAXIMUM EXTENT PRACTICABLE.
7. UNAVOIDABLE DAMAGE TO DUNES AND DUNE VEGETATION SHALL BE COMPENSATED FOR BY THE CREATION OF NEW DUNES, THE ENHANCEMENT OF EXISTING DUNES, AND/OR THE REPAIR OF THE DAMAGED DUNES AS WELL AS THE PLANTING OF INDIGENOUS VEGETATION.
8. THE NEW, ENHANCED, AND/OR REPAIRED DUNES SHALL STRIVE TO BE SUPERIOR OR EQUAL TO THE DAMAGED DUNES IN THEIR ABILITY TO PROTECT ADJACENT BEACH FROM EROSION.
9. COMPENSATION EFFORTS SHALL BE CONTINUOUS AND CONCURRENT WITH THE CONSTRUCTION UNTIL THE NEW, ENHANCED AND/OR REPAIRED DUNES AND DUNE VEGETATION IS EQUAL OR SUPERIOR TO THE DAMAGED DUNE AND DUNE VEGETATION.
10. ON COMPLETION OF COMPACTION, THE SURFACE SHALL BE SMOOTH AND CONFORM TO LINES, GRADES, AND SECTIONS SHOWN ON THE PLANS.
11. COMPLETE ALL GRADING NECESSARY TO BRING THE ENTIRE AREA SHOWN ON THE DRAWINGS TO THE SUBGRADE LEVELS INDICATED ON THE PLANS AND DETAILS. GRADES NOT OTHERWISE INDICATED SHALL BE UNIFORM LEVELS OR SLOPES BETWEEN POINTS WHERE ELEVATIONS ARE GIVEN, OR BETWEEN SUCH POINTS AND EXISTING FINISH GRADES. ROUND OFF ABRUPT CHANGES IN SLOPES.

3. ARCHEOLOGICAL DISCOVERIES AND CULTURAL RESOURCES

1. NO ACTIVITY WHICH MAY AFFECT PROPERTIES LISTED OR PROPERTIES ELIGIBLE FOR LISTING IN THE NATIONAL REGISTER OF HISTORIC PLACES OR ELIGIBLE FOR DESIGNATION AS A STATE ARCHEOLOGICAL LANDMARK IS AUTHORIZED UNTIL THE OWNER HAS COMPLIED WITH THE PROVISIONS OF THE NATIONAL HISTORIC PRESERVATION ACT AND THE ANTIQUITIES ACT OF TEXAS. THE OWNER HAS PREVIOUSLY COORDINATED WITH THE APPROPRIATE AGENCIES AND IMPACTS TO KNOWN CULTURAL OR ARCHEOLOGICAL DEPOSITS HAVE BEEN AVOIDED OR MITIGATED. HOWEVER, THE CONTRACTOR MAY ENCOUNTER UNANTICIPATED CULTURAL OR ARCHEOLOGICAL DEPOSITS DURING CONSTRUCTION.
2. IF ARCHEOLOGICAL SITES OR HISTORIC STRUCTURES WHICH MAY QUALIFY FOR DESIGNATION AS A STATE ARCHEOLOGICAL LANDMARK ACCORDING TO THE CRITERIA IN 13 TAC 41.6-41.10, OR THAT MAY BE ELIGIBLE FOR LISTING ON THE NATIONAL REGISTER OF HISTORIC PLACES IN ACCORDANCE WITH 36 CFR PART 800, ARE DISCOVERED AFTER CONSTRUCTION OPERATIONS ARE BEGUN, THE CONTRACTOR SHALL IMMEDIATELY CEASE OPERATIONS IN THAT PARTICULAR AREA AND NOTIFY THE OWNER AND THE TEXAS HISTORICAL COMMISSION, 1511 N. COLORADO ST., P.O. BOX 12276, CAPITOL STATION, AUSTIN, TEXAS 78711-2276. THE CONTRACTOR SHALL TAKE REASONABLE STEPS TO PROTECT AND PRESERVE THE DISCOVERIES UNTIL THEY HAVE BEEN INSPECTED BY THE OWNER'S REPRESENTATIVE. THE OWNER WILL PROMPTLY COORDINATE WITH THE STATE HISTORIC PRESERVATION OFFICER AND ANY OTHER APPROPRIATE AGENCIES TO OBTAIN ANY NECESSARY APPROVALS OR PERMITS TO ENABLE THE WORK TO CONTINUE. THE CONTRACTOR SHALL NOT RESUME WORK IN THE AREA OF THE DISCOVERY UNTIL AUTHORIZED TO DO SO BY THE OWNER.

4. ENDANGERED SPECIES

1. NO ACTIVITY IS AUTHORIZED THAT IS LIKELY TO JEOPARDIZE THE CONTINUED EXISTENCE OF A THREATENED OR ENDANGERED SPECIES AS LISTED OR PROPOSED FOR LISTING UNDER THE FEDERAL ENDANGERED SPECIES ACT (ESA), AND/OR THE STATE OF TEXAS PARKS AND WILDLIFE CODE ON ENDANGERED SPECIES, OR TO DESTROY OR ADVERSELY MODIFY THE HABITAT OF SUCH SPECIES.
2. IF A THREATENED OR ENDANGERED SPECIES IS ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY CEASE WORK IN THE AREA OF THE ENCOUNTER AND NOTIFY THE OWNER, WHO WILL IMMEDIATELY IMPLEMENT ACTIONS IN ACCORDANCE WITH THE ESA AND APPLICABLE STATE STATUTES. THESE ACTIONS SHALL INCLUDE REPORTING THE ENCOUNTER TO THE U.S. FISH AND WILDLIFE SERVICE, THE TEXAS PARKS AND WILDLIFE DEPARTMENT, AND THE CITY OF SOUTH PADRE ISLAND, OBTAINING ANY NECESSARY APPROVALS OR PERMITS TO ENABLE THE WORK TO CONTINUE, OR IMPLEMENT OTHER MITIGATION ACTIONS. THE CONTRACTOR SHALL NOT RESUME CONSTRUCTION IN THE AREA OF THE ENCOUNTER UNTIL AUTHORIZED TO DO SO BY THE OWNER.

5. AVOIDANCE OF SHOREBIRDS AND NESTING SEA TURTLES

1. CITY OF SOUTH PADRE ISLAND WILL WORK TO TRY AND DO ANY CONSTRUCTION ON THE BEACH OUTSIDE THE TURTLE NESTING SEASON. IF A PROJECT MUST MOVE FORWARD DURING TURTLE NESTING SEASON A TRAINED TURTLE PATROLLER WILL DO A CHECK FOR TURTLE TRACKS PRIOR TO CONSTRUCTION STARTING EACH MORNING. IF ANY CREWS COME INTO CONTACT WITH A BIRD DURING CONSTRUCTION THEY WILL BE INSTRUCTED TO STOP ALL ACTIVITIES AND NOTIFY THE PROJECT MANAGER WHO WILL THEN CONTACT THE APPROPRIATE AGENCY BEFORE CONTINUING ANY WORK.

6. COMPLIANCE WITH GENERAL LAND OFFICE

1. THE WALKWAY WILL BE CONSTRUCTED WITH THE BOUNDARY OF THE LINE OF VEGETATION DETERMINED BY THE TEXAS GENERAL LAND OFFICE AND THE APPROVED TERMINUS LOCATION DETERMINED BY THE TEXAS GENERAL LAND OFFICE. THE WALKOVER WILL BE CONSTRUCTED TO THE MOST LANDWARD POINT OF THE PUBLIC BEACH AND WILL NOT INTERFERE WITH OR OTHERWISE RESTRICT PUBLIC USE OF THE BEACH AT NORMAL HIGH TIDES.
2. CITY OF SOUTH PADRE ISLAND WILL SHORTEN ANY DUNE WALKOVERS ENCRDACHING ON THE PUBLIC BEACH TO THE APPROPRIATE LENGTH FOR REMOVAL OF THE ENCRDACHMENT. CITY OF SOUTH PADRE ISLAND WILL CONTAIN THIS AS A CONDITION IN ANY PERMIT AND CERTIFICATE ISSUED AUTHORIZING CONSTRUCTION OF WALKOVERS. CITY OF SOUTH PADRE ISLAND WILL ASSESS THE STATUS OF THE BEACH BOUNDARY WITHIN 30 DAYS AFTER A MAJOR STORM OR OTHER EVENT CAUSING SIGNIFICANT LANDWARD MIGRATION OF THE PUBLIC BEACH. AFTER ASSESSMENT, CITY OF SOUTH PADRE ISLAND WILL INFORM THE GENERAL LAND OFFICE OF ANY ENCRDACHMENTS ON THE PUBLIC BEACH WITHIN TEN DAYS OF COMPLETING THE ASSESSMENT.
3. CITY OF SOUTH PADRE ISLAND WILL ENSURE THAT THE CONTRACTOR MINIMIZES ADVERSE IMPACTS TO DUNES AND DUNE VEGETATION BY LIMITING THE DEGREE OR MAGNITUDE OF THE ACTION AND ITS IMPLEMENTATION. CITY OF SOUTH PADRE ISLAND WILL ENSURE THAT THE CONTRACTOR DOES NOT IMPEDE ON THE COPPICE MOUNDS.
4. THE DECK OF THE WALKWAY MUST BE OF SUFFICIENT ELEVATION TO ALLOW FOR THE GROWTH OF DUNE VEGETATION AND THE MIGRATION OF DUNES TO THE GREATEST EXTENT PRACTICABLE. REFER TO THE DRAWINGS.
5. THE BOARDWALK IS DESIGNED TO ACCOMMODATE ADA REQUIREMENTS.
6. THE CITY PERMIT SHALL CONTAIN A CONDONITION REQUIRING THE PERMITTEE TO MINIMIZE ADVERSE EFFECTS ON DUNES OR DUNE VEGETATION TO THE GREATEST EXTENT PRACTICABLE.
7. THE CITY WILL ENSURE THAT THE CONTRACTOR WILL MINIMIZE IMPACTS ON NATURAL HYDROLOGY AND NOT CAUSE EROSION OF ADJACENT PROPERTIES, CRITICAL DUNE AREAS, OR THE PUBLIC BEACH.
8. CITY OF SOUTH PADRE ISLAND SHALL POST SIGNS IN AREAS WHERE PEDESTRIAN TRAFFIC IS HIGH EXPLAINING THE FUNCTIONS OF DUNES AND THE IMPORTANCE OF VEGETATION IN PRESERVING DUNES.
9. CONSTRUCTION ACTIVITIES MUST NOT IMPACT THE PUBLIC'S ABILITY TO ACCESS OR USE THE BEACH.
10. CONSTRUCTION OF THE PROPOSED DUNE WALKOVER SHOULD CONFORM TO THE GLO'S GUIDELINES PROVIDED IN THE DUNE PROTECTION AND IMPROVEMENT MANUAL FOR THE TEXAS GULF COAST, AND CAN BE FOUND ON THE GLO WEBSITE AT [HTTP://WWW.GLO.TEXAS.GOV/COAST/COASTAL-MANAGEMENT/FORMS/FILES/DUNE-PROTECTION-MANUAL-GPB.PDF](http://WWW.GLO.TEXAS.GOV/COAST/COASTAL-MANAGEMENT/FORMS/FILES/DUNE-PROTECTION-MANUAL-GPB.PDF).

TESTING SCHEDULE

DESCRIPTION	RATE	QUANTITY
SOILS:		
STANDARD PROCTOR – SUBGRADE	PER STREET	1
DENSITIES – SUBGRADE (PARKING LOT)	PER 3,000 SF	2
DENSITIES – SUBGRADE (PAVEMENT)	PER 3,000 SF	1
CRUSHED LESTONE BASE (WHEN USED):		
SEIVE ANALYSIS	PER 3000 CY	1
ATTERBURG LIMITS	PER 3000 CY	1
MODIFIED PROCTOR	PER 3000 CY	1
L.A. ABRASION	PER 3000 CY	1
CBR (STANDARD)	PER MATERIAL SOURCE	1
DENSITIES OF COMPACTED BASE (PARKING LOT)	PER 3,000 SF	2
DENSITIES OF COMPACTED BASE (PAVEMENT)	PER 3,000 SF	1
WET BALL MILL TEST	PER MATERIAL SOURCE	1
TRIAXIAL TEST	PER MATERIAL SOURCE	1
PAVEMENT HOT-MIX ASPHALT CONCRETE (HMAC) (WHEN USED):		
EXTRACTION, SIEVE ANALYSIS	PER 500 TONS OR DAY	1
LAB DENSITY & STABILITY	PER 500 TONS OR DAY	1
THEORETICAL DENSITY (RICE METHOD)	PER 500 TONS OR DAY	1
TEMPERATURE – DURING LAY-DOWN	CONTINUOUS AS NEEDED	1
THICKNESS – IN PLACE (CORE)	PER 1000 LF	1
% AIR VOIDS – IN PLACE (CORE)	PER 1000 LF	1
% THEORETICAL DENSITY – IN PLACE (CORE)	PER 1000 LF	1
CONCRETE:		
(UNCONFINED COMPRESSION, 7, 14, & 28 DAY)		
SIDEWALK/CURB	PER 2000 SF	1

NOTE: CONTRACTOR TO COORDINATE WITH ENGINEER FOR MATERIAL TESTING AND LOCATION.

CONSULTANT'S SHEET
PROJECT NO. 15450-02



INTERNATIONAL CONSULTING ENGINEERS
PHONE: 361.926.5805 5515 N. CARANCAHUA ST., STE. 860
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FAX: 361.926.5806

I.B.P.E. FIRM REGISTRATION #F-10837



CITY OF SOUTH PADRE ISLAND
A) SEASIDE CIRCLE BEACH ACCESS
IMPROVEMENTS BEACH ACCESS POINT #6

GENERAL NOTES

DRAWING NO.

C1



















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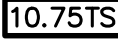
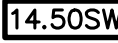
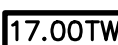





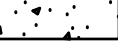




FILE NAME: F:\2015\City of South Padre Island\Seaside Circle Beach Access Point #6\Drawings\Civil\03-C02-ESTIMATED QUANTITIES AND LEGEND.dwg LAYOUT NAME: Model PLOTTED: Wednesday, February 01, 2017 - 5:24pm USER: CMontalvo

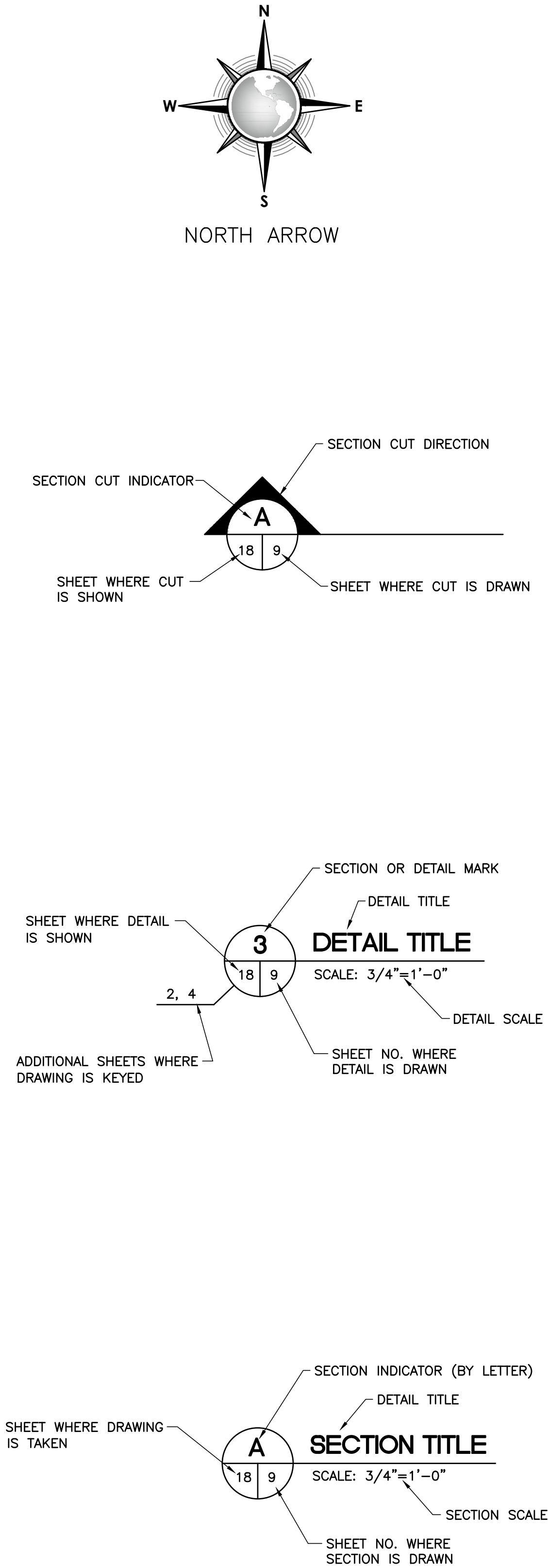
ESTIMATED QUANTITIES SUMMARY – TOTALS			
ITEM	DESCRIPTION	UNIT	QUANTITY
CITY OF SOUTH PADRE ISLAND–SEASIDE CIRCLE BEACH ACCESS #6 IMPROVEMENTS			
	BASE BID		
A1	TIMBER WALKOVER STRUCTURE (COMPLETE IN PLACE)	LF	358
A2	NET SAND/DUNE CUT (TO BE USED AS FILL AND SPREAD)	CY	16
A3	ASPHALT REPAIR	SF	80
A4	PAINTED HANDICAP PARKING SYMBOLS	EA	1
A5	WHITE PAINTED PARKING STRIPING (4” SLD)	LF	18
A6	WHITE PAINTED GORE STRIPING	LF	52
A7	HANDICAPPED ACCESSIBLE SIGNS	EA	1
A8	CONCRETE WHEEL STOPS	EA	1
A9	CONCRETE SIDEWALK W/RETAINING WALL (CIP)	SF	94
A10	HANDICAP RAMP W/RETAINING WALL (CIP)	SF	141
A11	ADA HANDRAIL (TIMBER WALKOVER, SIDEWALK, AND RAMP)	LF	707
A12	ADA OUTDOOR WATER FOUNTAIN	EA	1
A13	TRASH RECEPTACLE	EA	1
A14	DEMOLITION AND EXCAVATION FOR SIDEWALK	SF	310
A15	SEDIMENT CONTROL FENCE	LF	596
A16	3/4”Ø PVC WATERLINE	LF	353
A17	5/8”Ø TYPE ‘K’ COPPER WATERLINE	LF	5
A18	5/8”Ø WATER METER	LS	1
A19	TAPPING SADDLE	EA	1
A20	3/4”Ø PVC TEE	EA	2
A21	3/4”Ø X 90° PVC BEND	EA	8
A22	3/4”Ø X 45° PVC BEND	EA	2
A23	STAINLESS STEEL SHOWER HEAD	EA	2
A24	STAINLESS STEEL HAND SHOWER	EA	2




*NOTE:

1. QUANTITIES ARE SHOWN FOR INFORMATIONAL PURPOSES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES. THIS PROJECT IS A LUMP SUM BID PROJECT.

EXISTING LEGEND	
	EXISTING LIGHT POLE
	EXISTING SIGN
	BENCHMARK
	IRON ROD
	PK NAIL
	EXISTING TREE
	EXISTING WATER METER
	EXISTING SANITARY SEWER MANHOLE
	EXISTING WHEEL STOP
	EXISTING FIRE HYDRANT
	EXISTING CONCRETE/WOOD FENCE
	EXISTING CHAINLINK FENCE
	EXISTING SANITARY SEWER LINE
	EXISTING WATERLINE
	EXISTING GULF OF MEXICO
	EXISTING ASPHALT
	EXISTING CONCRETE
	EXISTING PAVERS
16.11EP	EXISTING EDGE OF PAVEMENT
15.81CONC	EXISTING CONCRETE
17.79NG	EXISTING NATURAL GROUND
10.83BRIDGE	EXISTING TIMBER WALKOVER
15.81BLD	EXISTING BUILDING
17.79FNC	EXISTING FENCE
17.79ER	EXISTING EDGE OF ROAD
17.79SE	EXISTING SPOT ELEVATION
17.79PAVER	EXISTING PAVERS

PROPOSED LEGEND	
	TOP OF SAND FILL ELEVATION
	TOP OF CONCRETE SIDEWALK ELEVATION
	TOP OF TIMBER WALKWAY ELEVATION
	TOP OF ASPHALT REPAIR ELEVATION
	TOP OF CURB ELEVATION
	TOP OF FENCE ELEVATION
	FINISHED GRADE ELEVATION
	PROPOSED CONCRETE SIDEWALK
	PROPOSED TIMBER WALKOVER
	PROPOSED ASPHALT REPAIR
	SLOPE DIRECTION
	PROPOSED SIGN
	PROPOSED WHEEL STOP

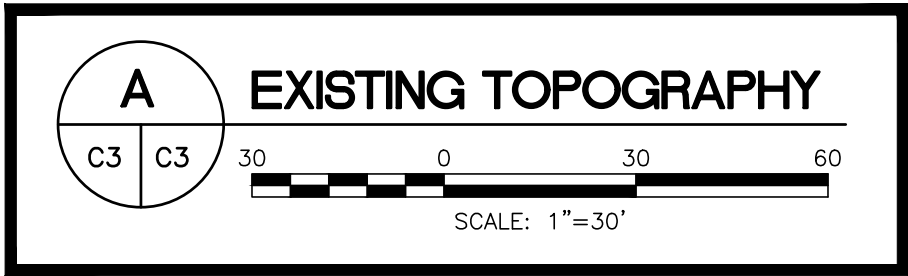
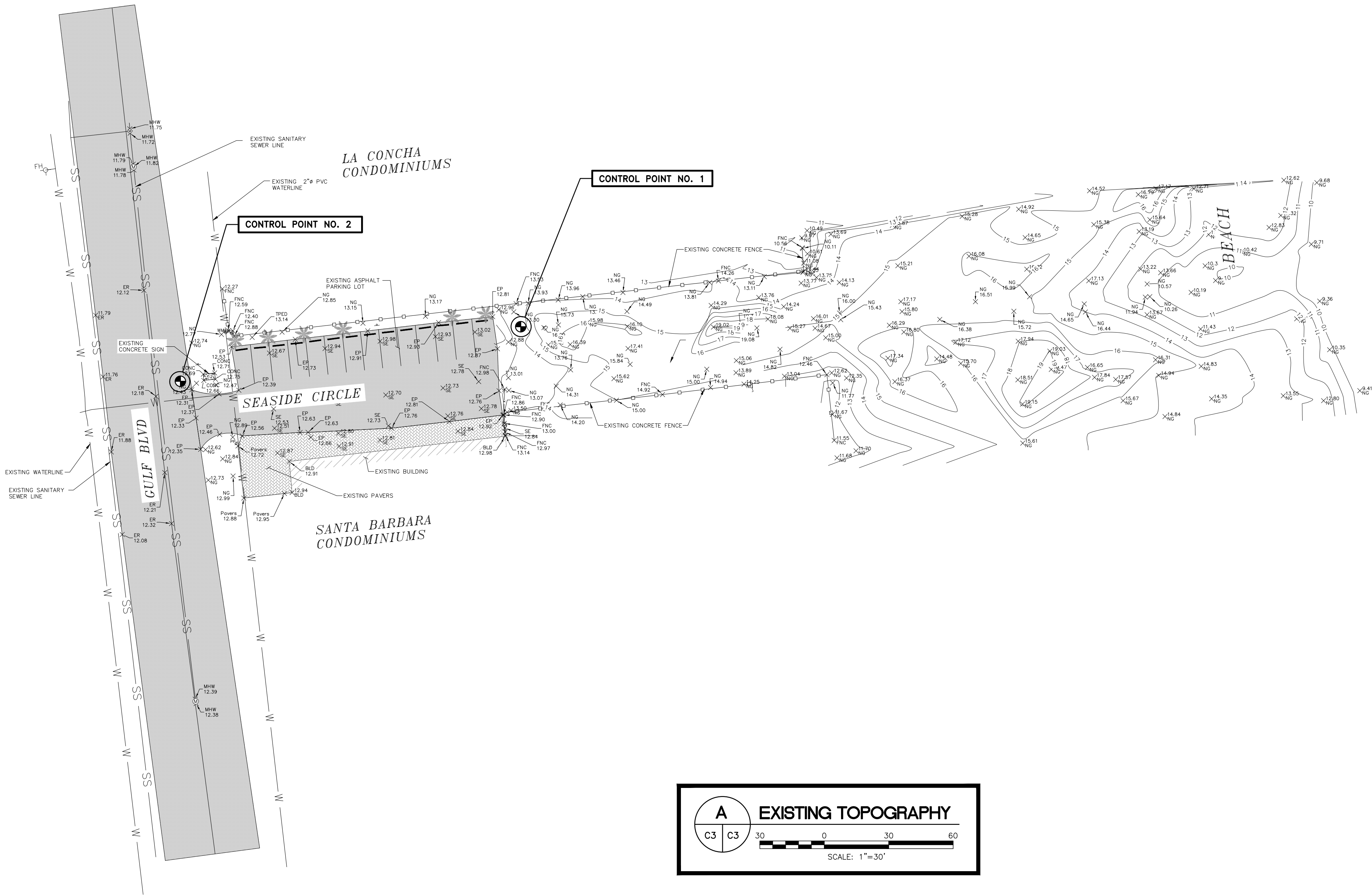


CONSULTANT'S SHEET PROJECT NO. 15450-02			
			
CITY OF SOUTH PADRE ISLAND A) SEASIDE CIRCLE BEACH ACCESS IMPROVEMENTS BEACH ACCESS POINT #6		ESTIMATED QUANTITIES AND LEGEND	
DRAWING NO. C2		SHEET 3 of 36	

FILE NAME: F:\2015\City of South Padre Island\Seaside Circle Beach Access Point.dwg -C3-EXISTING TOPOGRAPHY.dwg LAYOUT NAME: Layout1 PLOTTED: Wednesday, February 01, 2017 - 5:24pm USER: Okontelvo

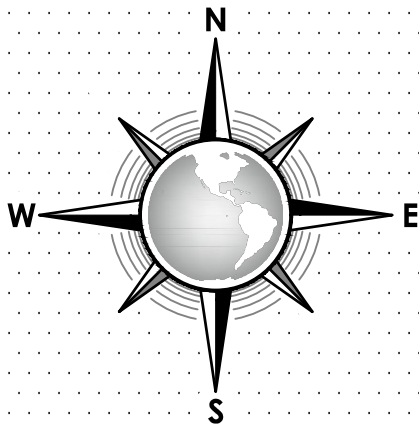
CONTROL POINT DATA				
CONTROL POINT #	DESCRIPTION	NORTHING	EASTING	ELEVATION
1	SET 5/8" IRON ROD WITH CAP	16564946.72	1422630.42	13.26'
2	SET 5/8" IRON ROD WITH CAP	16564921.30	1422471.96	12.29'

NOTE: ELEVATIONS ARE ASSUMED BASED ON THE CONTROL POINTS PROVIDED.



EXISTING LEGEND

- EXISTING LIGHT POLE
- EXISTING SIGN
- BENCHMARK
- IRON ROD
- PK NAIL
- EXISTING TREE
- EXISTING WATER METER
- EXISTING SANITARY SEWER MANHOLE
- EXISTING WHEEL STOP
- EXISTING FIRE HYDRANT
- EXISTING CONCRETE/WOOD FENCE
- EXISTING CHAINLINK FENCE
- EXISTING SANITARY SEWER LINE
- EXISTING WATERLINE
- EXISTING GULF OF MEXICO
- EXISTING ASPHALT
- EXISTING CONCRETE
- EXISTING PAVERS
- EXISTING TIMBER WALKOVER
- EXISTING EDGE OF PAVEMENT
- EXISTING CONCRETE
- EXISTING NATURAL GROUND
- EXISTING TIMBER WALKOVER
- EXISTING BUILDING
- EXISTING FENCE
- EXISTING EDGE OF ROAD
- EXISTING SPOT ELEVATION
- EXISTING PAVERS



CONSULTANT'S SHEET
PROJECT NO. 15450-02

INTERNATIONAL CONSULTING ENGINEERS
555 N. CARANCAHUA ST. STE. 980
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I.C.E. FIRM REGISTRATION #F-10837

DESCRIPTION

BY

DATE

REVISION NO.

ADDED GENERAL NOTES AS PER G.L.O. COMMENTS

DATE

BY

DATE

REVISION NO.

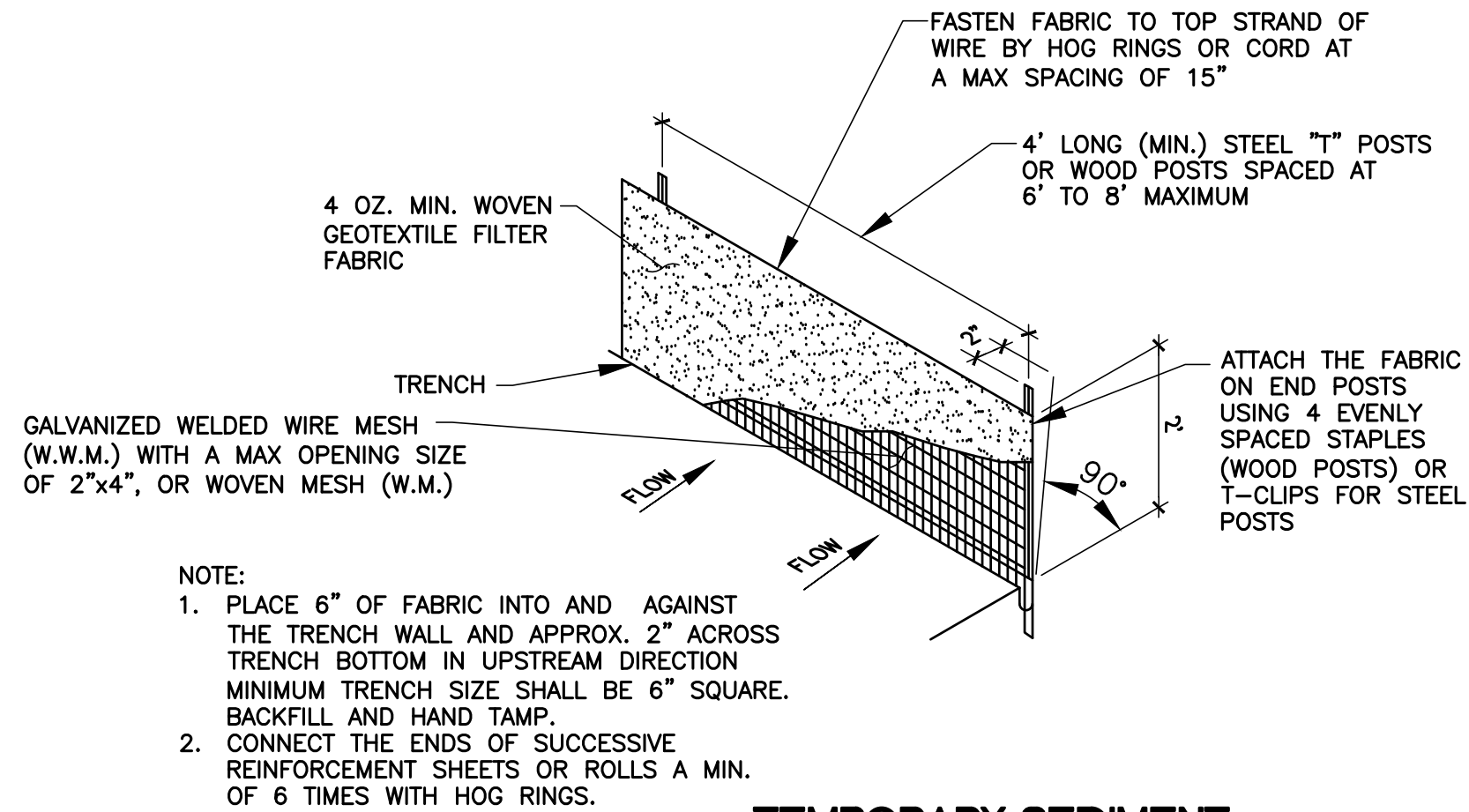
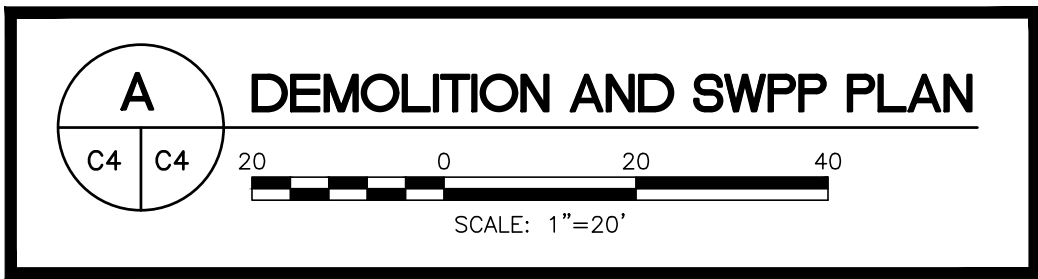
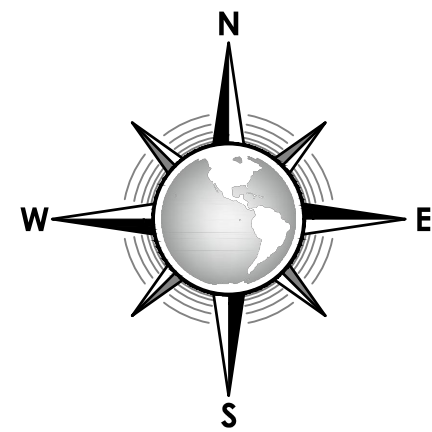
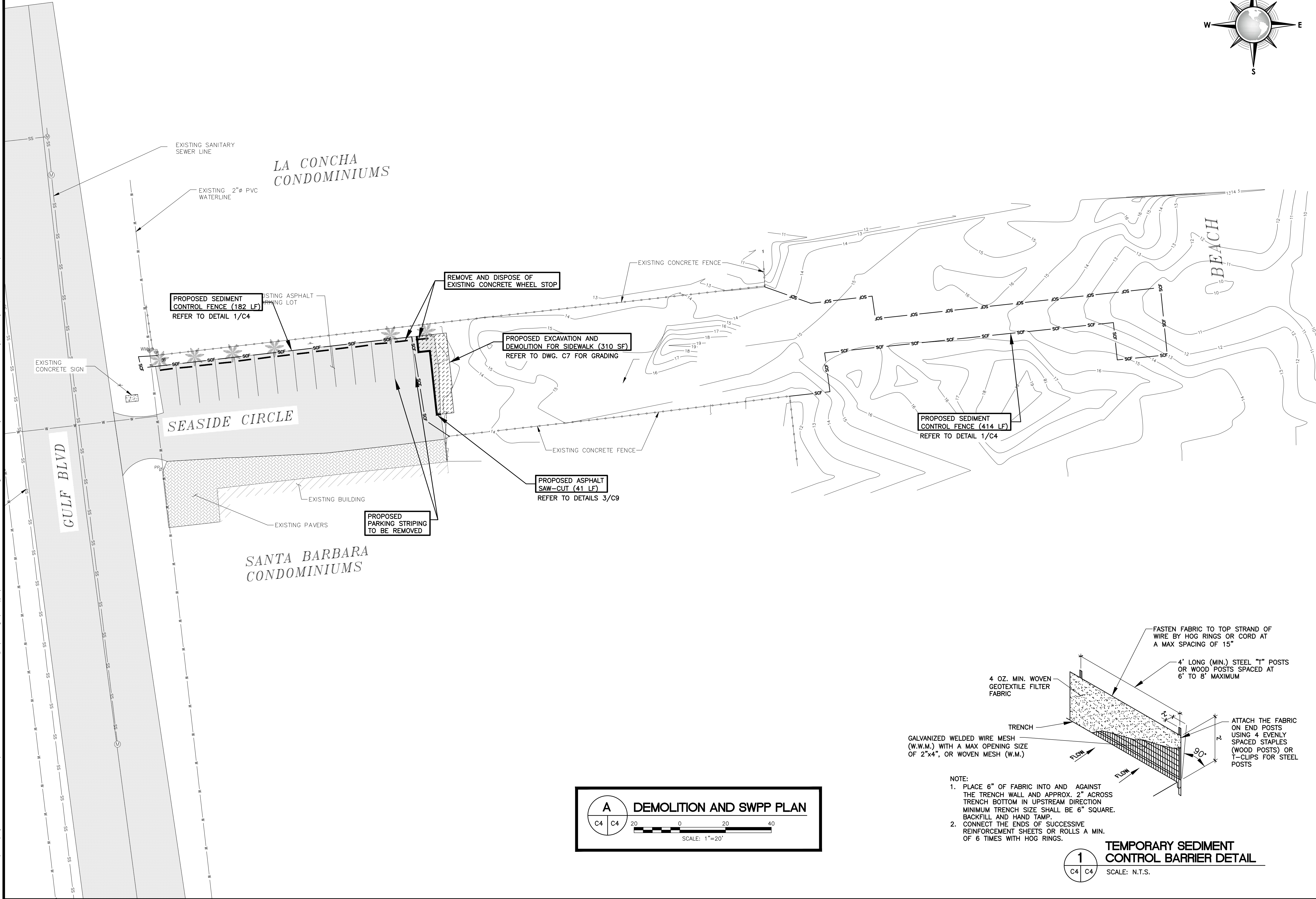
CITY OF SOUTH PADRE ISLAND
A) SEASIDE CIRCLE BEACH ACCESS
IMPROVEMENTS BEACH ACCESS POINT #6

EXISTING TOPOGRAPHY & CONTROL DATA

DRAWING NO.
C3

SHEET 4 of 36

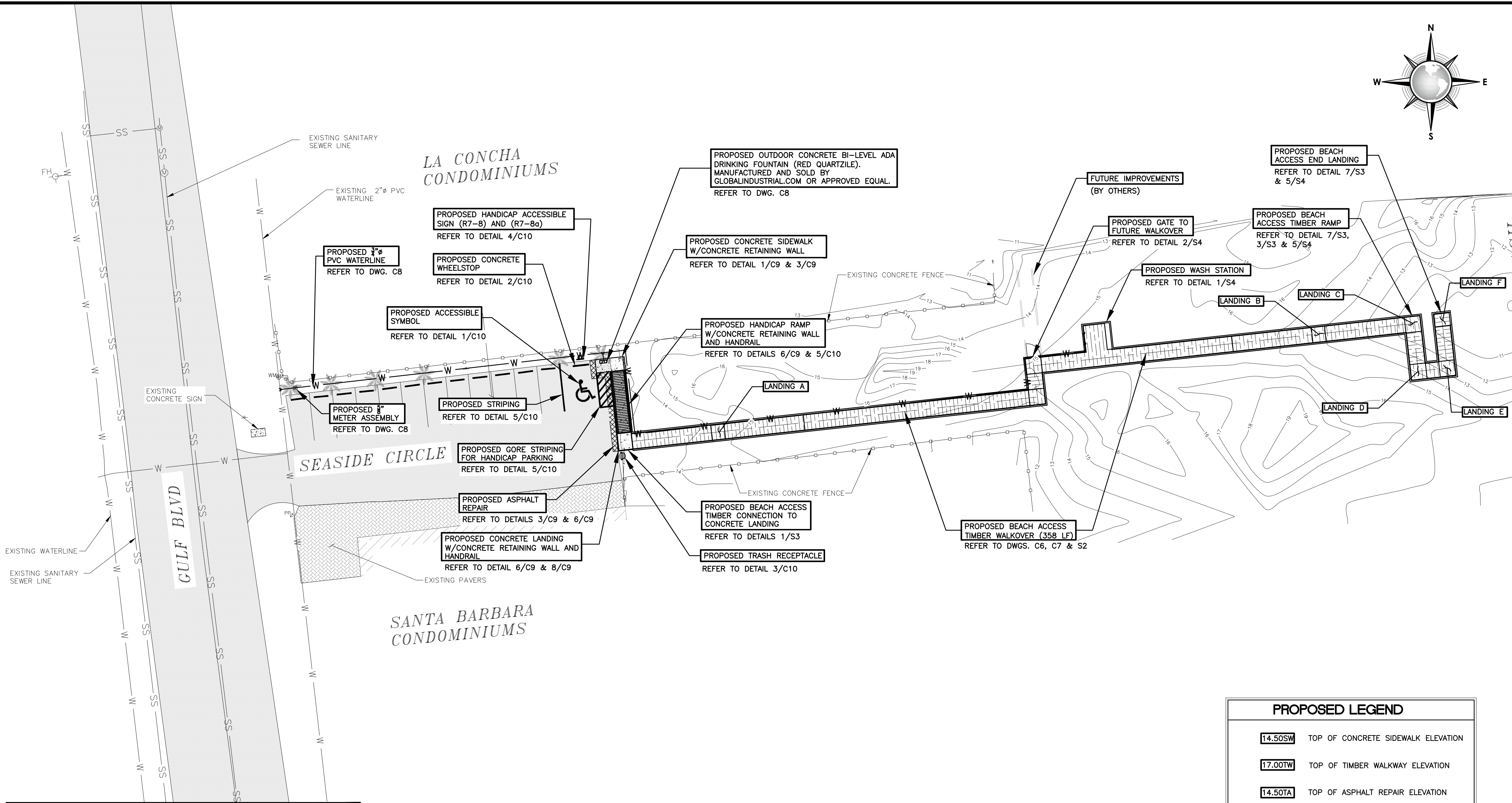
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1
C4 C4
TEMPORARY SEDIMENT CONTROL BARRIER DETAIL
SCALE: N.T.S.

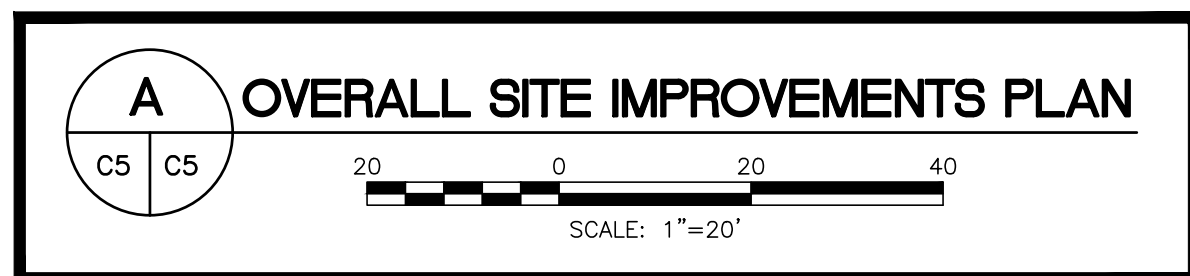
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DESCRIPTION		BY	DATE
REVISION NO.		DATE	
ADDED GENERAL NOTES AS PER G.L.O. COMMENTS		BY	DATE
CITY OF SOUTH PADRE ISLAND A) SEASIDE CIRCLE BEACH ACCESS IMPROVEMENTS BEACH ACCESS POINT #6			
DEMOLITION AND SWPP PLAN			
DRAWING NO. C4			
SHEET 5 of 36			

FILE NAME: F:\2015\City of South Padre Island\Seaside Circle Beach Access Point.dwg
LAYOUT NAME: Layout1
PLOTTED: Wednesday, February 01, 2017 - 5:25pm
USER: CMartinez



GENERAL NOTES:

1. CONTRACTOR SHALL COORDINATE ALL EXCAVATION WITH OTHER RELATED WORK SUCH AS NEW CONCRETE SIDEWALK, TIMBER RAMPS AND WALKWAYS, THAT SHOW EXTENT OF NEW CONSTRUCTION.
2. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE LOCATION OF EXISTING UNDERGROUND UTILITIES NOT SHOWN MUST BE FIELD VERIFIED.
3. CONTRACTOR SHALL BACKFILL ALL VOIDS LEFT BY DEMOLITION AND COMPACT IN A MANNER SUITABLE TO FINAL IMPROVEMENTS USING ONLY EXCAVATED MATERIAL.
4. ALL DEMOLISHED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE PROMPTLY REMOVED FROM THE SITE UNLESS NOTED OTHERWISE ON THE DRAWINGS.
5. ANY DAMAGE TO EXISTING PAVEMENT, DRAINAGE, PRIVATE UTILITY, OR OTHER STRUCTURES SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITION AT CONTRACTOR'S EXPENSE.
6. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THE SAFETY OF THE PEDESTRIANS AND ALL VEHICULAR TRAFFIC FROM CONSTRUCTION RELATED ACTIVITIES DURING THE COURSE OF THIS PROJECT. A FENCE SHALL BE PROVIDED WHICH COMPLETELY ENCLOSES THE WORK SITE 24 HOURS A DAY.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION AND SAFETY OF THE WORK, WORKERS, SUBCONTRACTORS, MATERIALS, AND EQUIPMENT.
8. CONTRACTOR SHALL USE EXCAVATED MATERIAL AS FILL MATERIAL FOR SIDEWALK.



PROPOSED LEGEND

- | | |
|-----------|------------------------------------|
| 14.50SW | TOP OF CONCRETE SIDEWALK ELEVATION |
| 17.00TW | TOP OF TIMBER WALKWAY ELEVATION |
| 14.50TA | TOP OF ASPHALT REPAIR ELEVATION |
| 17.00TC | TOP OF CURB ELEVATION |
| 17.00TF | TOP OF FENCE ELEVATION |
| 00.0 | FINISHED GRADE ELEVATION |
| [Pattern] | PROPOSED CONCRETE SIDEWALK |
| [Pattern] | PROPOSED TIMBER WALKOVER |
| [Pattern] | PROPOSED ASPHALT REPAIR |
| [Arrow] | SLOPE DIRECTION |
| [Symbol] | PROPOSED SIGN |
| [Line] | PROPOSED WHEEL STOP |

CONSULTANT'S SHEET
PROJECT NO. 15450-02



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I.C.E. FIRM REGISTRATION #F-10837



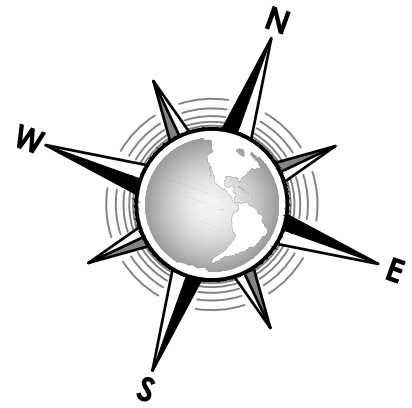
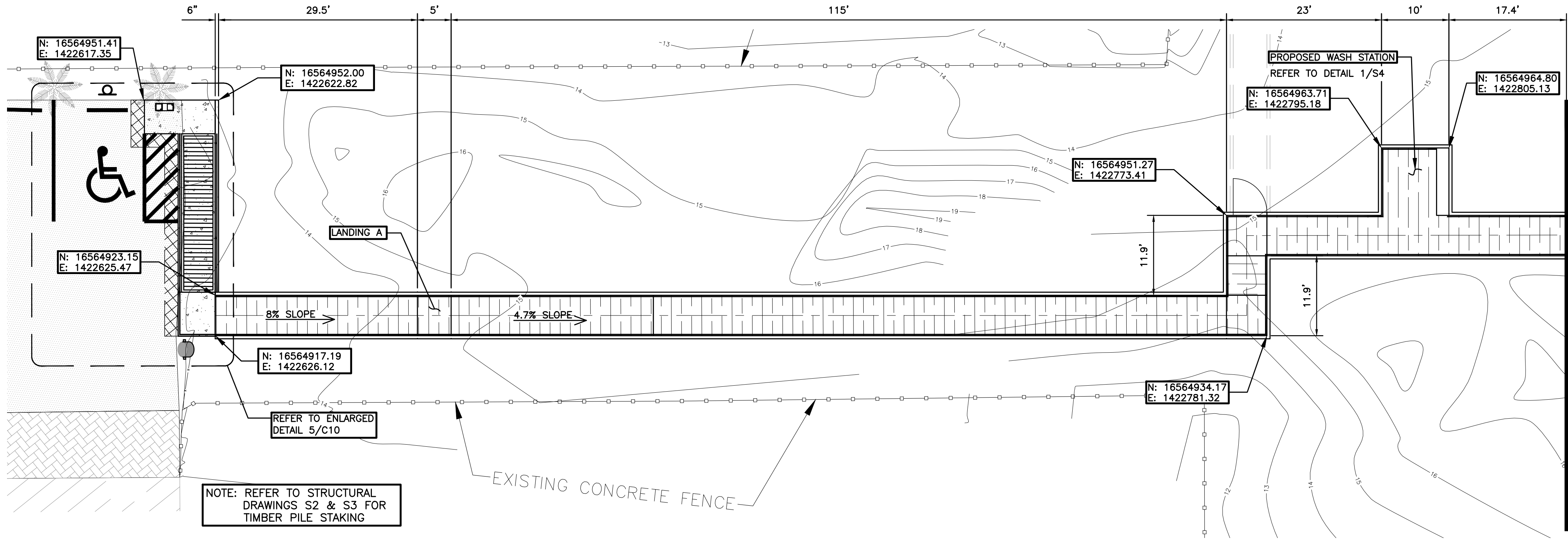
CITY OF SOUTH PADRE ISLAND
A) SEASIDE CIRCLE BEACH ACCESS
IMPROVEMENTS BEACH ACCESS POINT #6

OVERALL SITE IMPROVEMENTS PLAN

DRAWING NO.
C5

SHEET 6 of 36

FILE NAME: F:\2015\City of South Padre Island\Seaside Circle Beach Access Point.dwg LAYOUT NAME: Layout1 PLOTTED: Wednesday, February 01, 2017 - 5:25pm USER: Chontalva



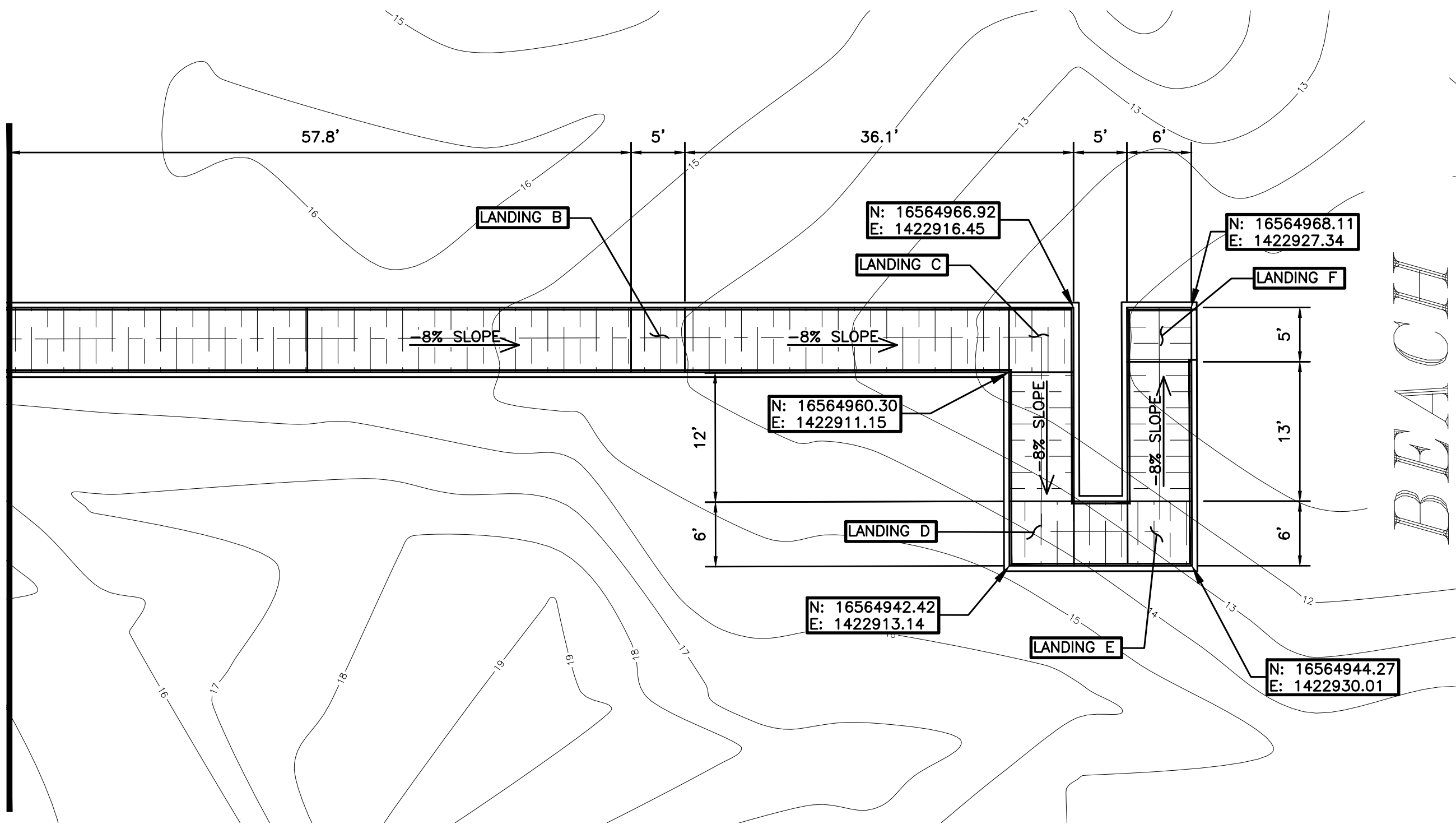
MATCHLINE

NOTE:
FOR CONTROL POINTS
REFER TO DRAWING C3

GENERAL NOTES:

1. CONTRACTOR SHALL COORDINATE ALL EXCAVATION WITH OTHER RELATED WORK SUCH AS NEW CONCRETE SIDEWALK, TIMBER RAMPS AND WALKWAYS, THAT SHOW EXTENT OF NEW CONSTRUCTION.
2. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE LOCATION OF EXISTING UNDERGROUND UTILITIES NOT SHOWN MUST BE FIELD VERIFIED.
3. CONTRACTOR SHALL BACKFILL ALL VOIDS LEFT BY DEMOLITION AND COMPACT IN A MANNER SUITABLE TO FINAL IMPROVEMENTS USING ONLY EXCAVATED MATERIAL.
4. ALL DEMOLISHED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE PROMPTLY REMOVED FROM THE SITE UNLESS NOTED OTHERWISE ON THE DRAWINGS.
5. ANY DAMAGE TO EXISTING PAVEMENT, DRAINAGE, PRIVATE UTILITY, OR OTHER STRUCTURES SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITION AT CONTRACTOR'S EXPENSE.
6. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THE SAFETY OF THE PEDESTRIANS AND ALL VEHICULAR TRAFFIC FROM CONSTRUCTION RELATED ACTIVITIES DURING THE COURSE OF THIS PROJECT. A FENCE SHALL BE PROVIDED WHICH COMPLETELY ENCLOSSES THE WORK SITE 24 HOURS A DAY.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION AND SAFETY OF THE WORK, WORKERS, SUBCONTRACTORS, MATERIALS, AND EQUIPMENT.
8. ALL DIMENSIONS PERTAINING TO THE TIMBER WALKOVER STRUCTURE ARE TO THE EDGES OF THE WALKING SURFACE. REFER TO STRUCTURAL DETAILS FOR MORE SPECIFIC DIMENSIONS.
9. CONTRACTOR SHALL USE EXCAVATED MATERIAL AS FILL MATERIAL FOR SIDEWALK.

MATCHLINE



BEACH



PROPOSED LEGEND

- PROPOSED CONCRETE SIDEWALK
- PROPOSED TIMBER WALKOVER
- PROPOSED ASPHALT REPAIR
- SLOPE DIRECTION
- PROPOSED SIGN
- PROPOSED WHEEL STOP

CONSULTANT'S SHEET
PROJECT NO. 15450-02



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I.C.E. FIRM REGISTRATION #F-10837



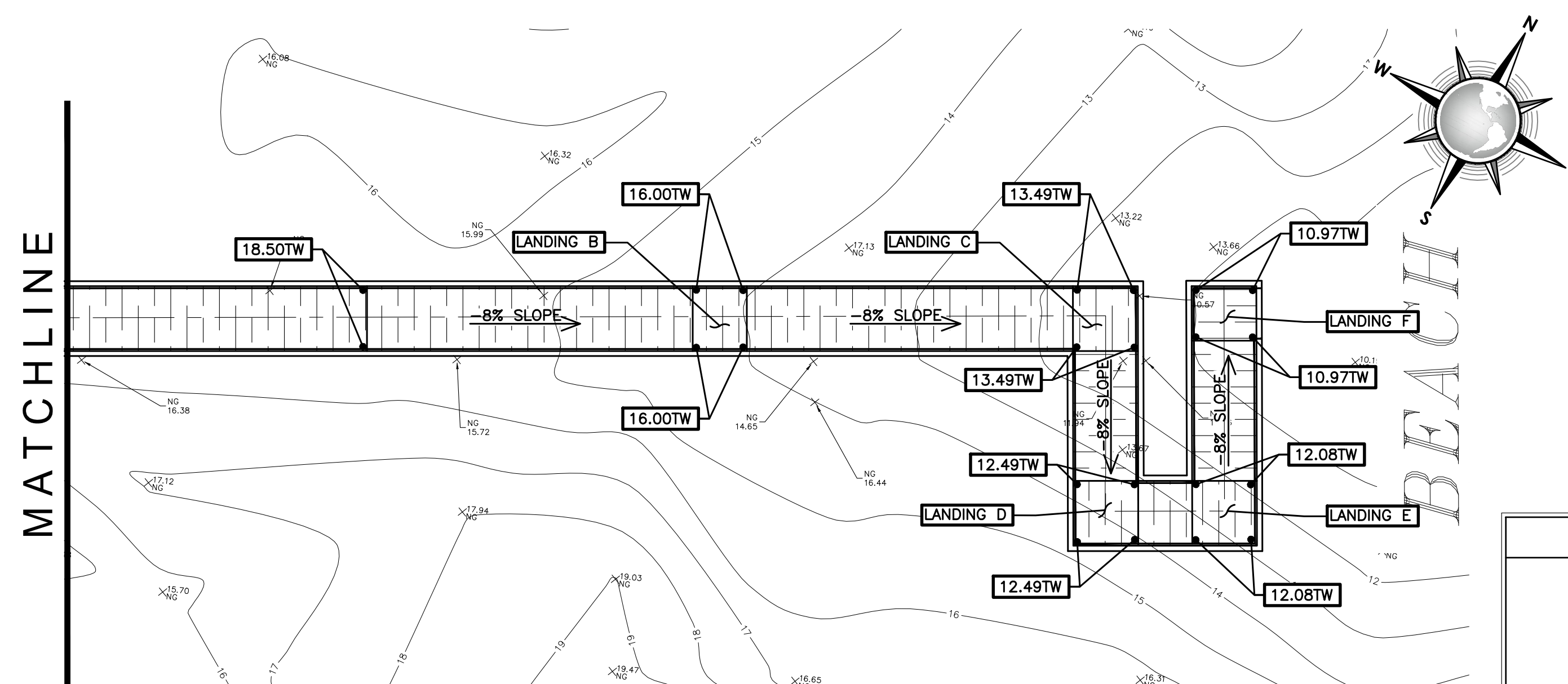
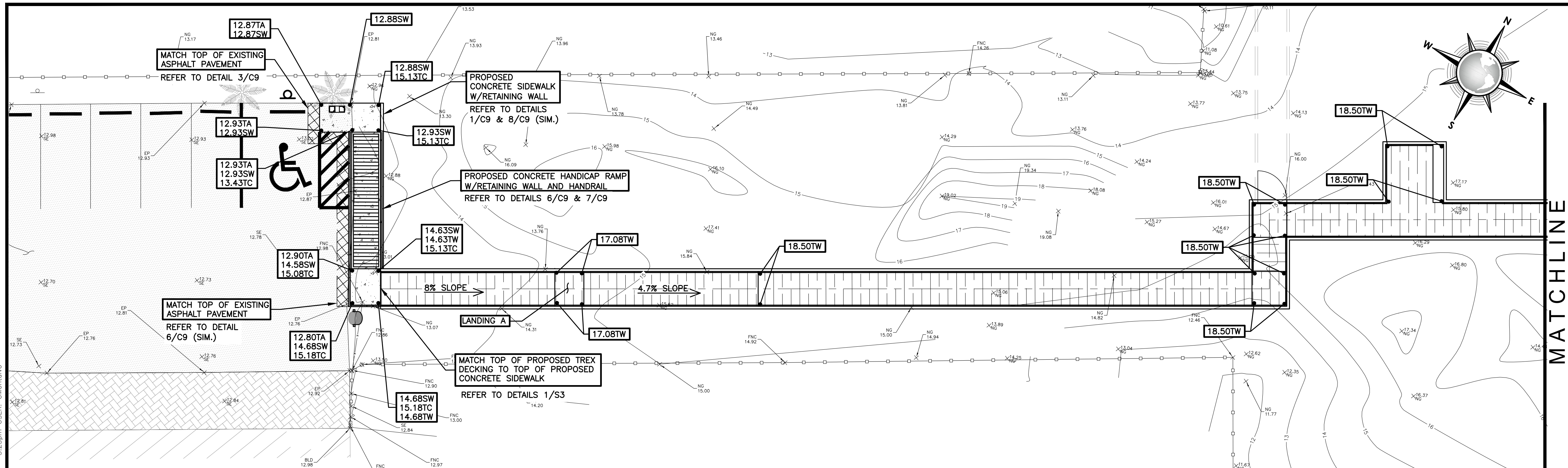
CITY OF SOUTH PADRE ISLAND
A) SEASIDE CIRCLE BEACH ACCESS
IMPROVEMENTS BEACH ACCESS POINT #6

STAKING PLAN

DRAWING NO.

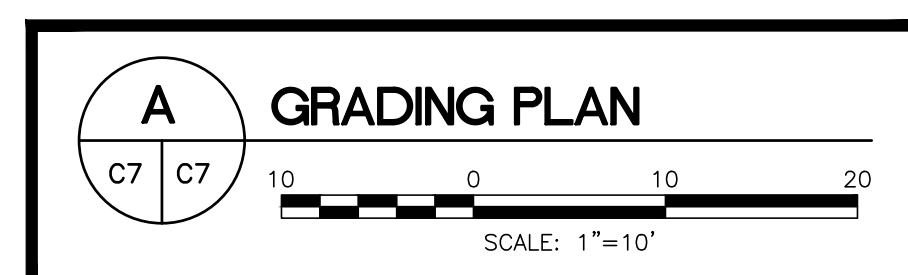
C6

SHEET 7 of 36

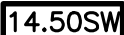
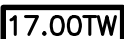
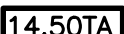
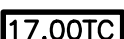
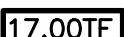









GENERAL NOTES:

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3. CONTRACTOR SHALL BACKFILL ALL VOIDS LEFT BY DEMOLITION AND COMPACT IN A MANNER SUITABLE TO FINAL IMPROVEMENTS USING EXCAVATED MATERIAL.
4. ALL DEMOLISHED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE PROMPTLY REMOVED FROM THE SITE UNLESS NOTED OTHERWISE ON THE DRAWINGS.
5. ANY DAMAGE TO EXISTING PAVEMENT, DRAINAGE, PRIVATE UTILITY, OR OTHER STRUCTURES SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITION AT CONTRACTOR'S EXPENSE.
6. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THE SAFETY OF THE PEDESTRIANS AND ALL VEHICULAR TRAFFIC FROM CONSTRUCTION RELATED ACTIVITIES DURING THE COURSE OF THIS PROJECT. A FENCE SHALL BE PROVIDED WHICH COMPLETELY ENCLOSES THE WORK SITE 24 HOURS A DAY.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION AND SAFETY OF THE WORK, WORKERS, SUBCONTRACTORS, MATERIALS, AND EQUIPMENT.
8. FOR DUNE PROFILE AND GRADES, REFER TO DRAWING S2.
9. CONTRACTOR SHALL USE EXCAVATED MATERIAL AS FILL MATERIAL FOR THE SIDEWALK.

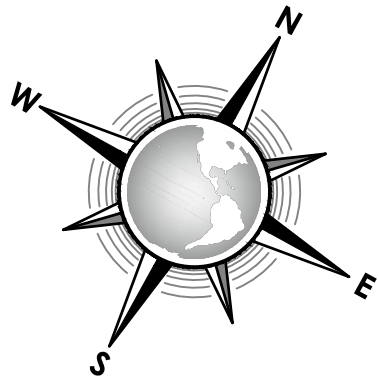
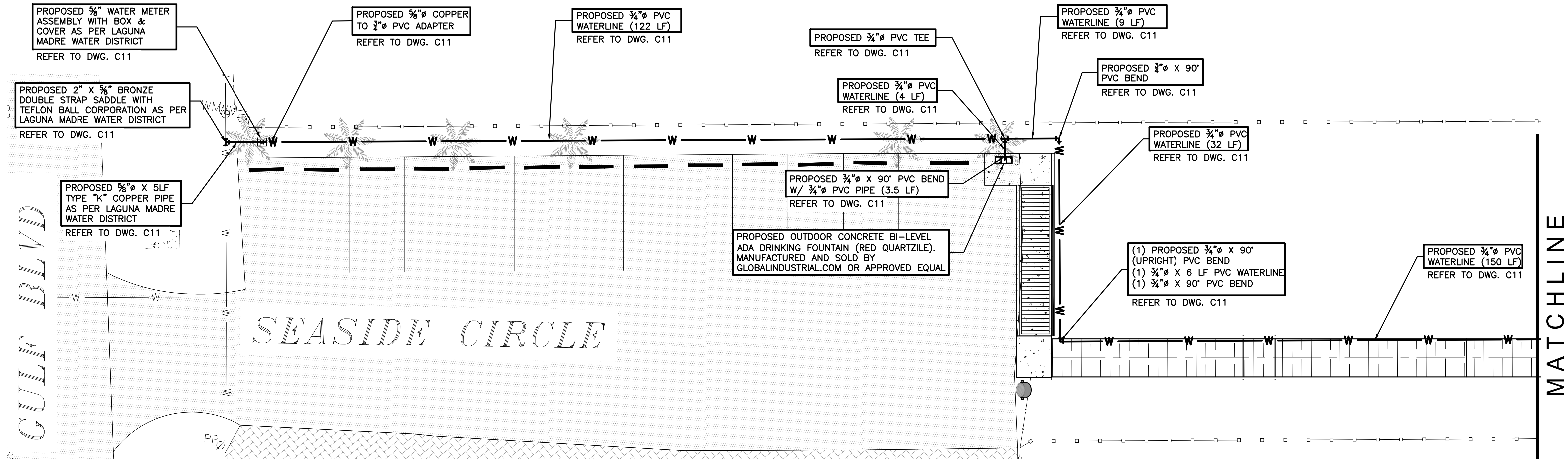


PROPOSED LEGEND

	TOP OF CONCRETE SIDEWALK ELEVATION
	TOP OF TIMBER WALKWAY ELEVATION
	TOP OF ASPHALT REPAIR ELEVATION
	TOP OF CURB ELEVATION
	TOP OF FENCE ELEVATION
	FINISHED GRADE ELEVATION
	PROPOSED CONCRETE SIDEWALK
	PROPOSED TIMBER WALKOVER
	PROPOSED ASPHALT REPAIR
	SLOPE DIRECTION
	PROPOSED SIGN
	PROPOSED WHEEL STOP

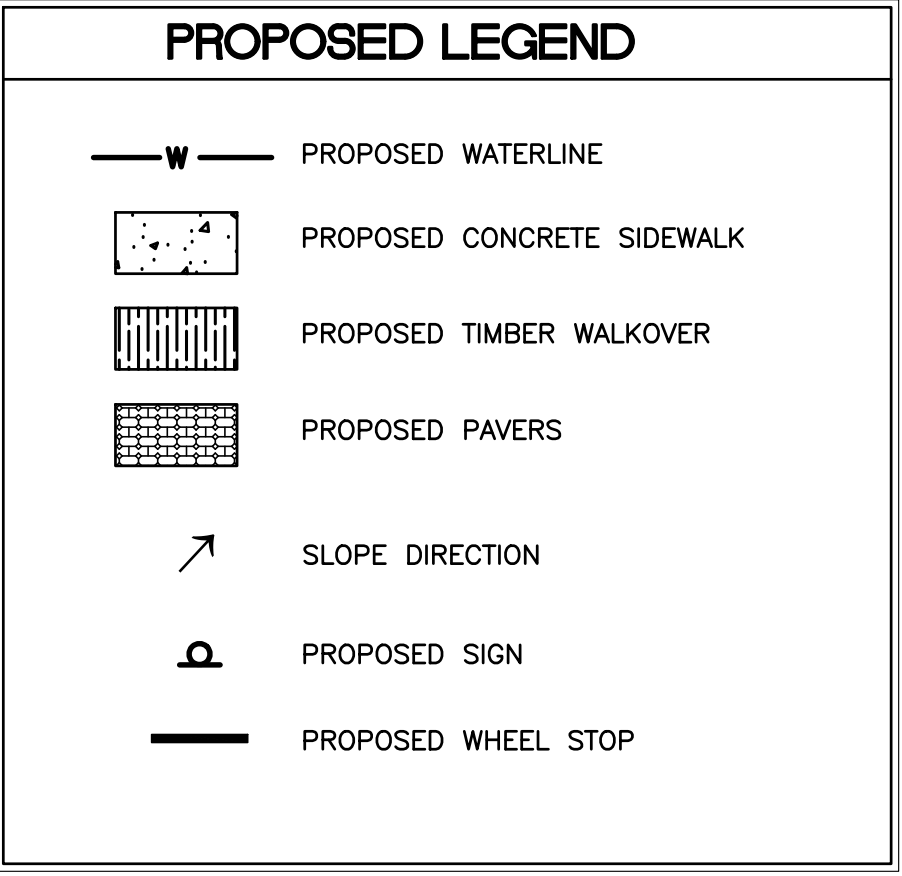
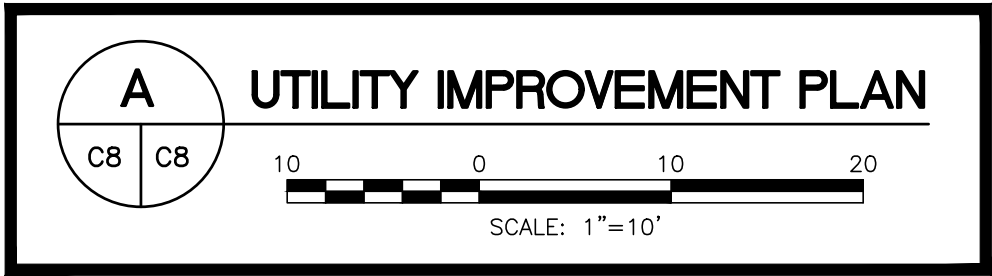
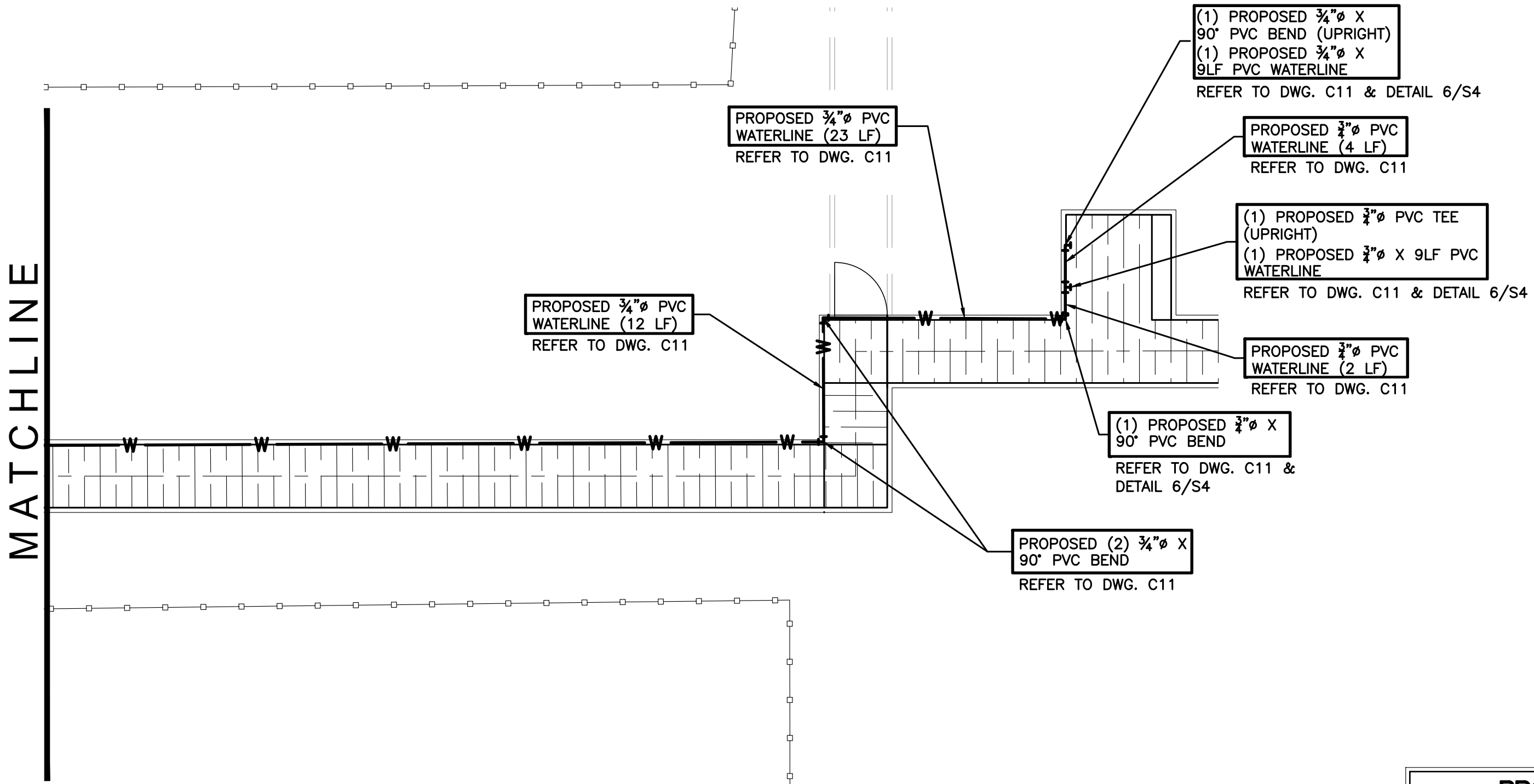
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FILE NAME: F:\2015\City of South Padre Island\Seaside Circle Beach Access Point.dwg -CB-UTILITY IMPROVEMENT PLAN.dwg LAYOUT NAME: Layout1 PLOTTED: Wednesday, February 01, 2017 - 5:26pm USER: CMontalvo



GENERAL NOTES:

1. CONTRACTOR SHALL COMPLY WITH THE LATEST EDITION OF LAGUNA MADRE WATER DISTRICT STANDARDS AND GUIDELINES.
2. CONTRACTOR SHALL NOTIFY LAGUNA MADRE WATER DISTRICT AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF WORK IN ORDER TO HAVE LAGUNA MADRE WATER DISTRICT AGENT PRESENT DURING WORK.
3. CONTRACTOR TO VERIFY DEPTH OF EXISTING 2" WATERLINE. PROPOSED WATERLINE SHALL HAVE A MINIMUM 3'-0" COVER REQUIREMENT.
4. CONTRACTOR SHALL COORDINATE ALL EXCAVATION WITH OTHER RELATED WORK SUCH AS NEW CONCRETE SIDEWALK, TIMBER RAMPS AND WALKWAYS, THAT SHOW EXTENT OF NEW CONSTRUCTION.
5. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE LOCATION OF EXISTING UNDERGROUND UTILITIES NOT SHOWN MUST BE FIELD VERIFIED.
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9. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THE SAFETY OF THE PEDESTRIANS AND ALL VEHICULAR TRAFFIC FROM CONSTRUCTION RELATED ACTIVITIES DURING THE COURSE OF THIS PROJECT. A FENCE SHALL BE PROVIDED WHICH COMPLETELY ENCLOSES THE WORK SITE 24 HOURS A DAY.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION AND SAFETY OF THE WORK, WORKERS, SUBCONTRACTORS, MATERIALS, AND EQUIPMENT.
11. ALL THE CONSTRUCTION STAKING AND TESTING SHALL BE PROVIDED BY THE CONTRACTOR.



CONSULTANT'S SHEET
PROJECT NO. 15450-02



IE

INTERNATIONAL CONSULTING ENGINEERS
555 N. CARANCAHUA ST. STE. 860
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PHONE: 361.926.5805
FAX: 361.926.5806
I.C.E. FIRM REGISTRATION #F-10837

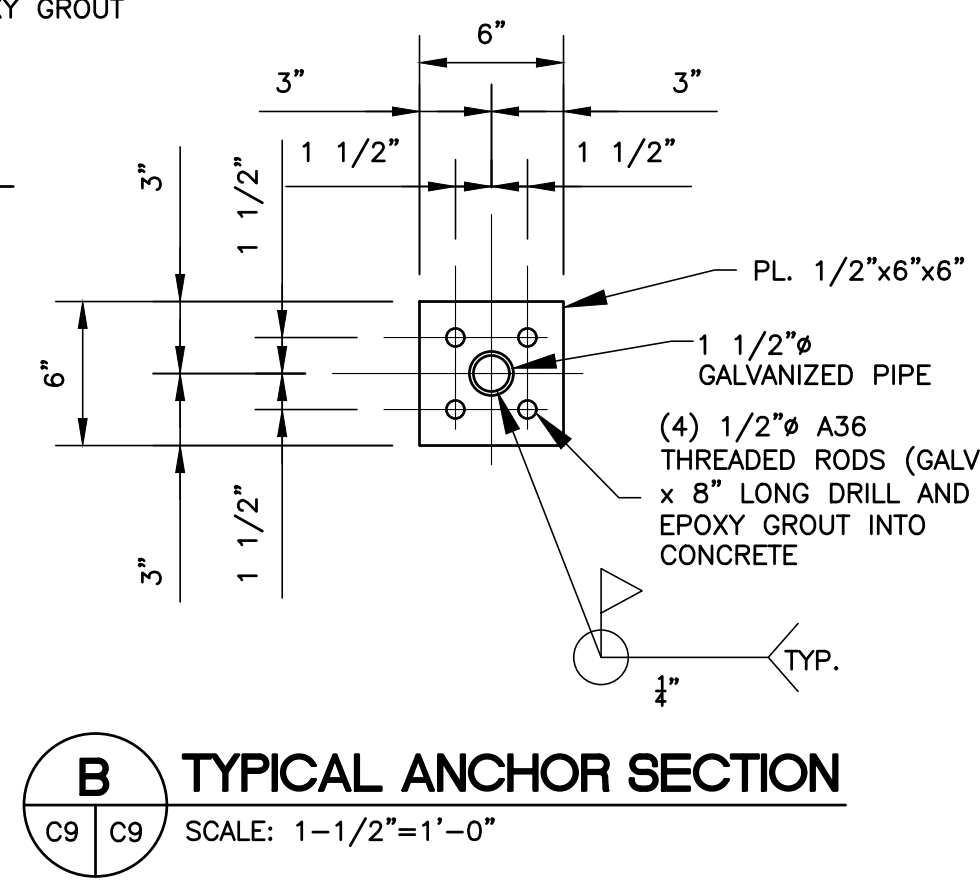
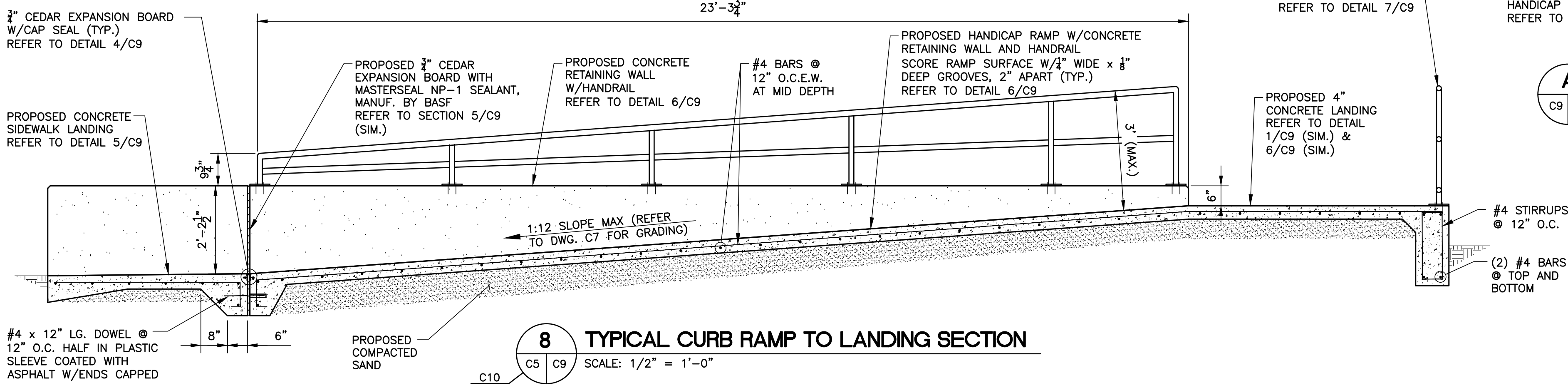
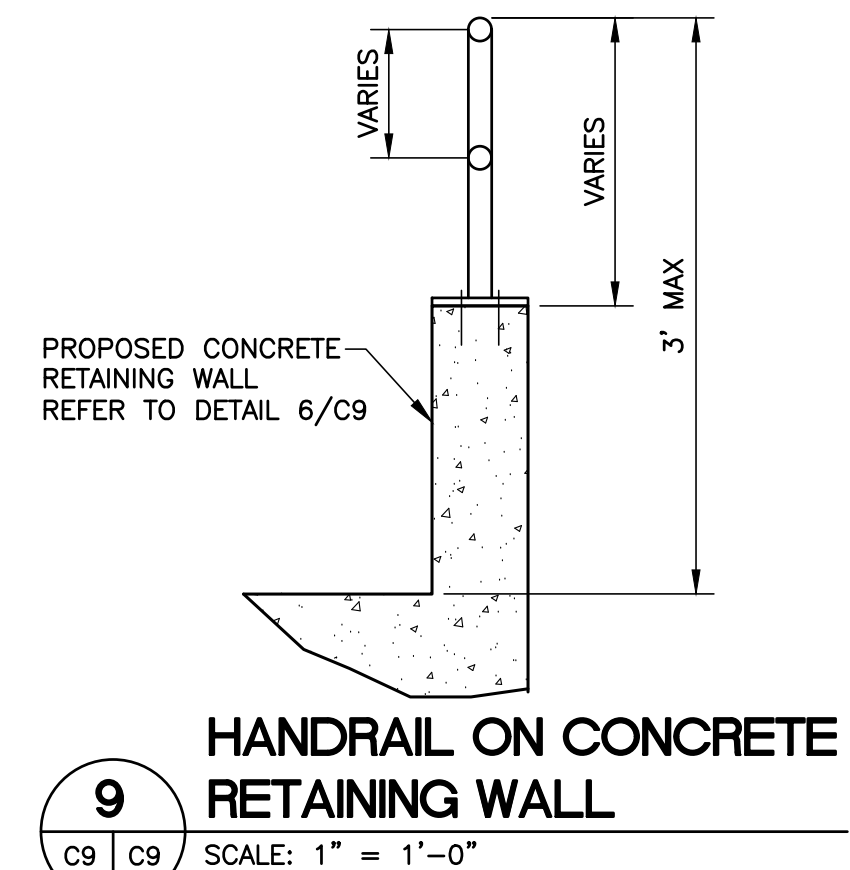
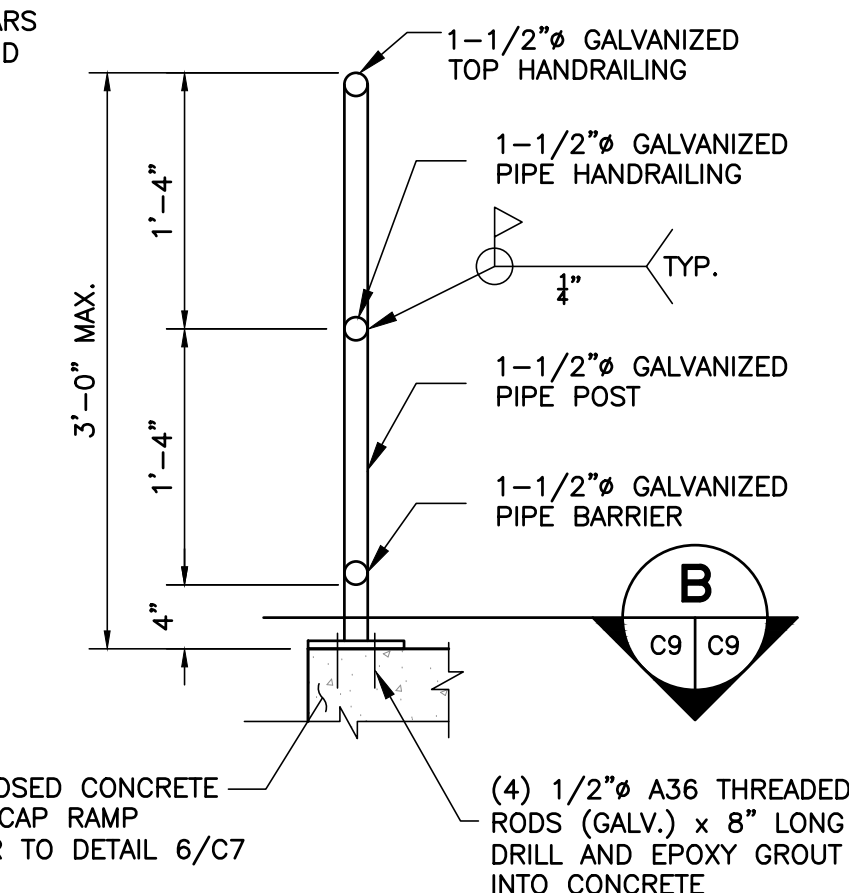
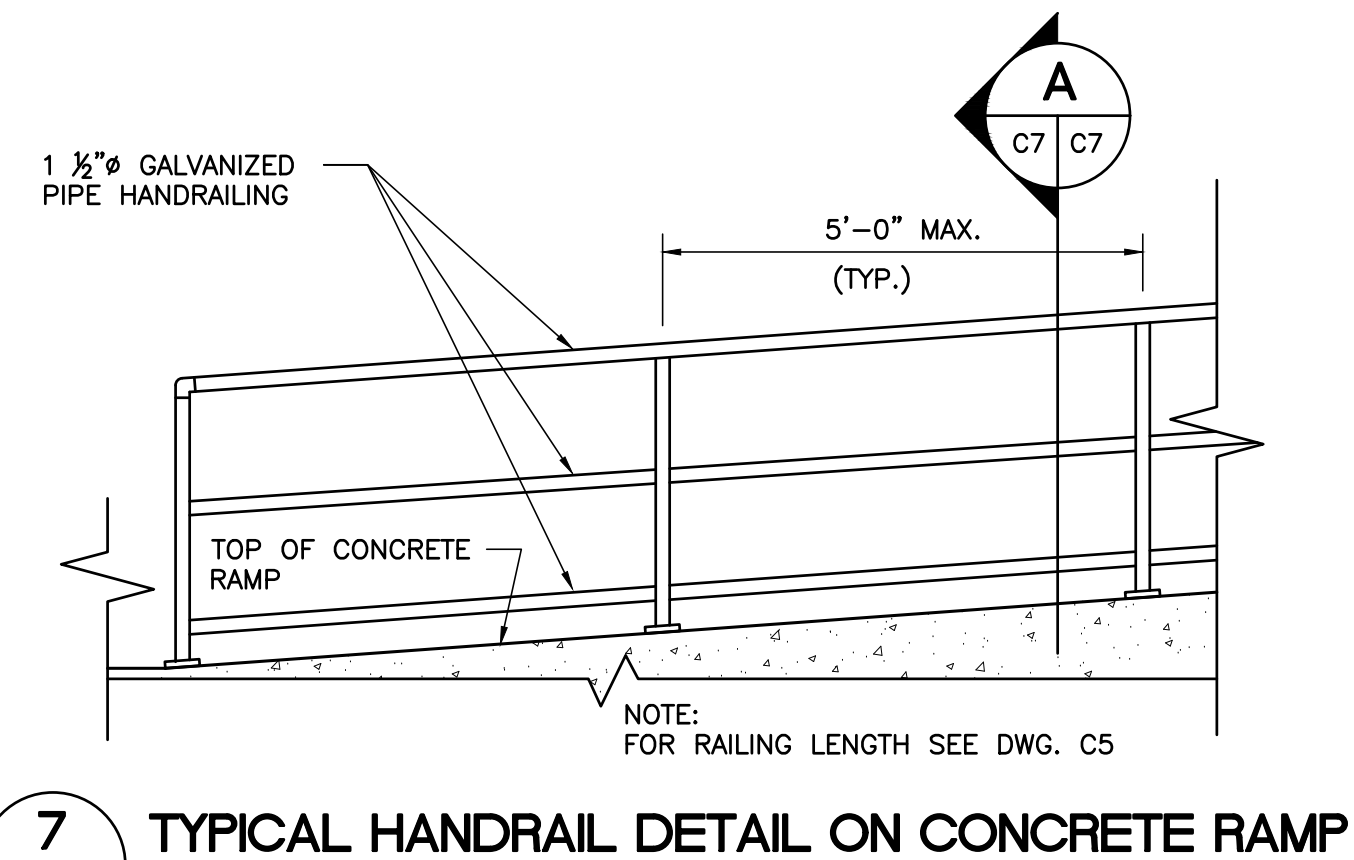
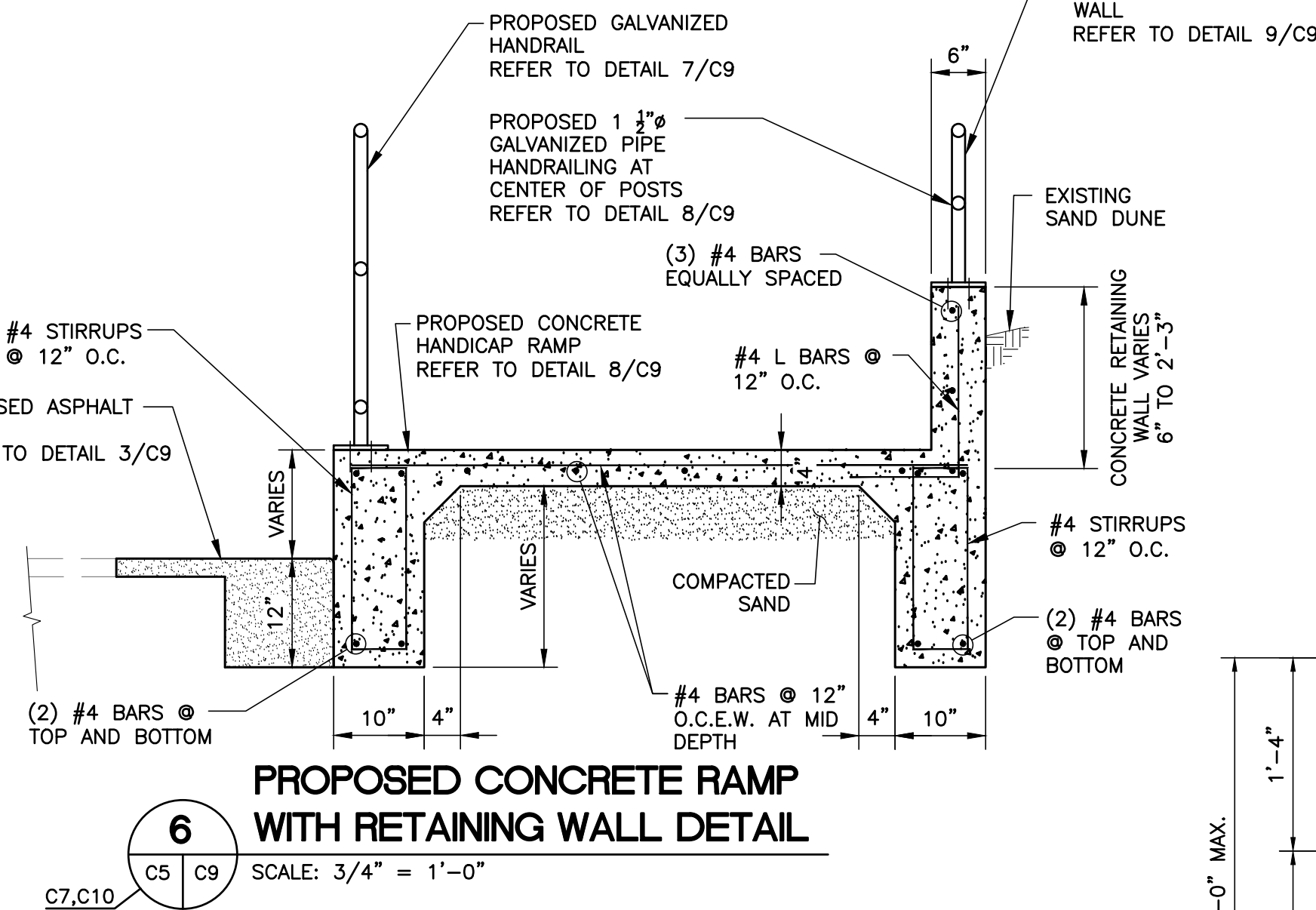
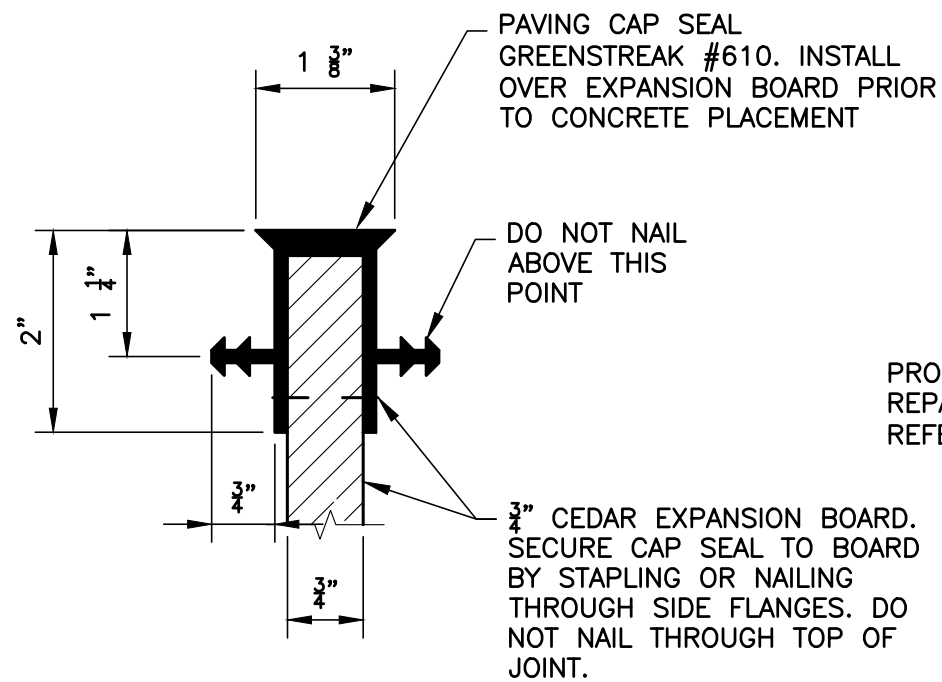
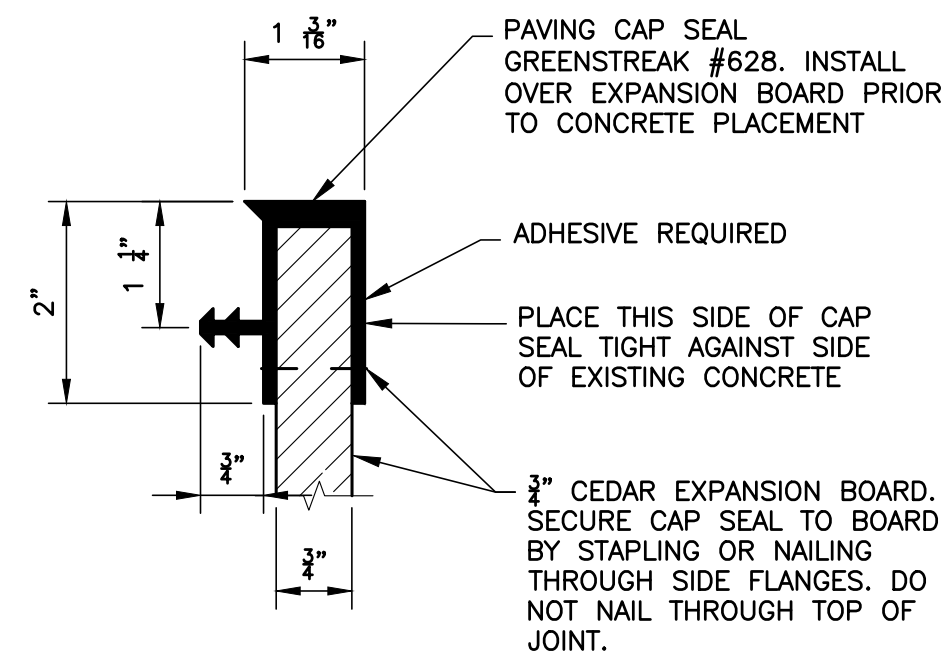
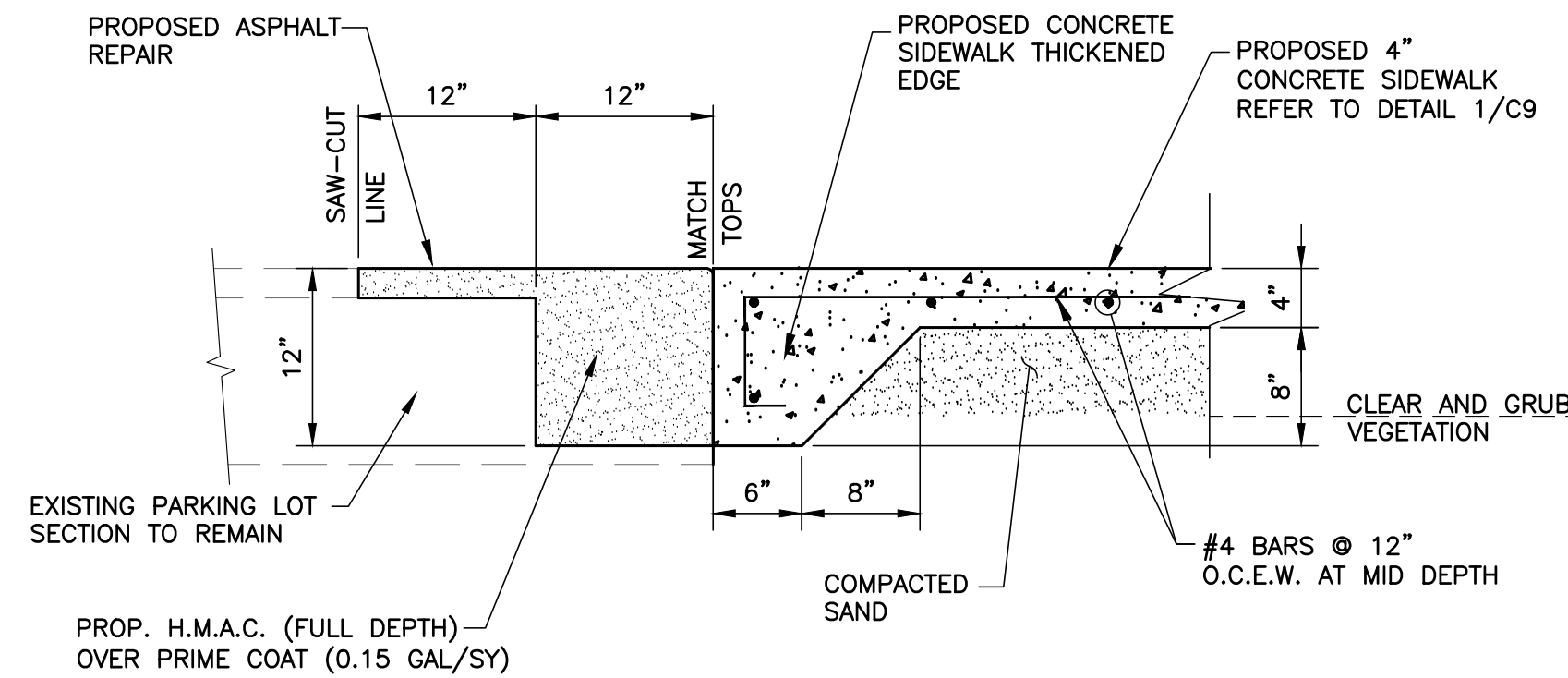
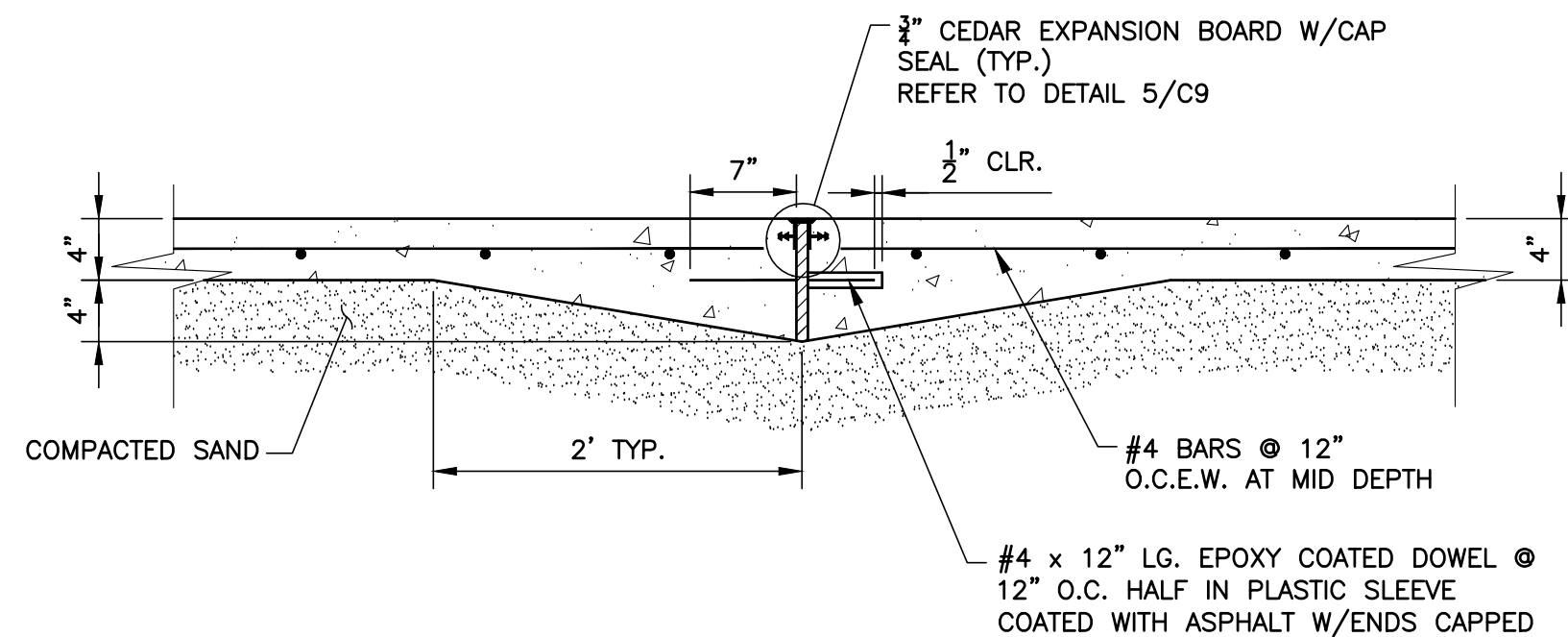
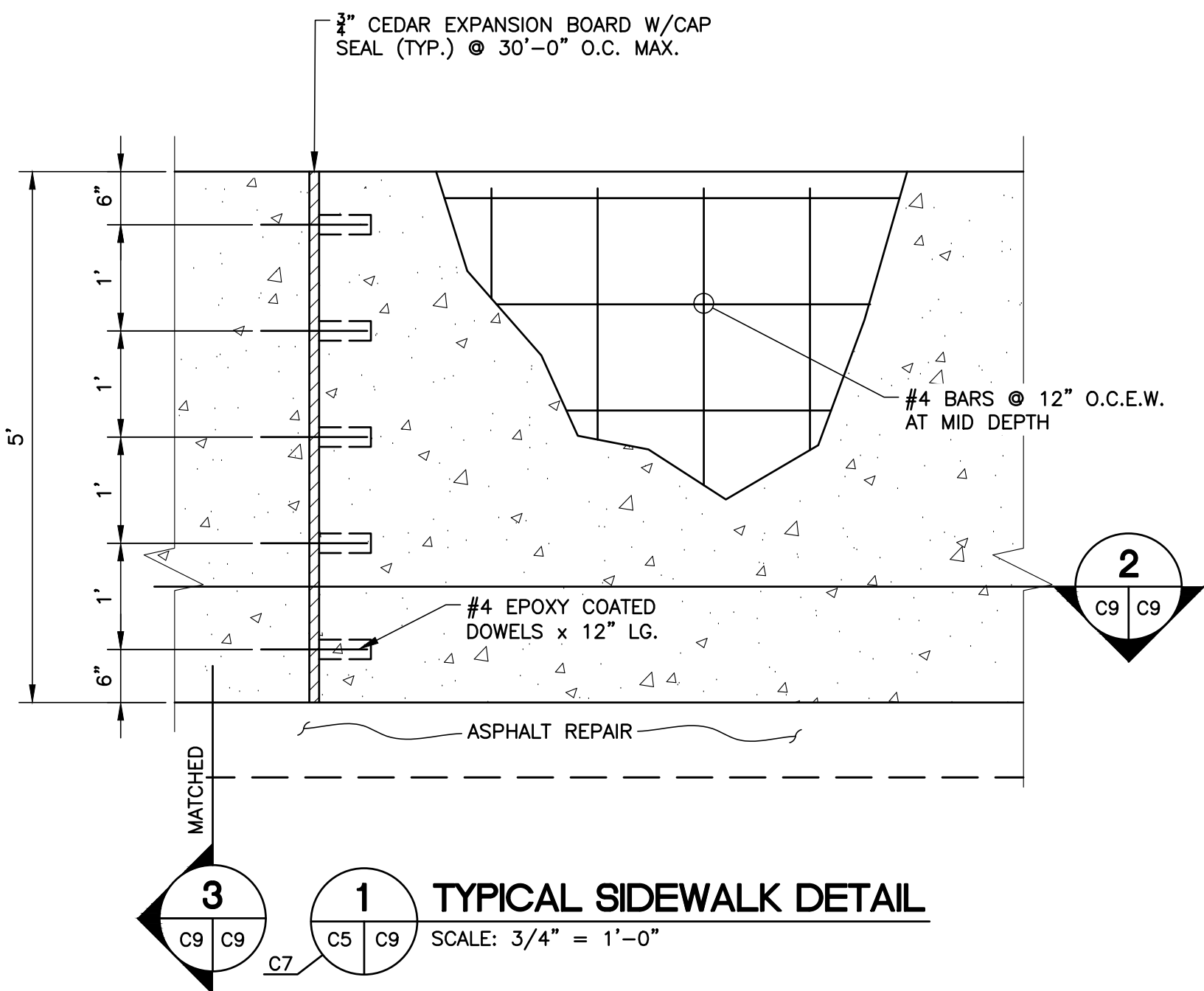


CITY OF SOUTH PADRE ISLAND
A) SEASIDE CIRCLE BEACH ACCESS
IMPROVEMENTS BEACH ACCESS POINT #6
UTILITY IMPROVEMENT PLAN

DRAWING NO.
C8

SHEET 9 of 36

FILE NAME: F:\2015\City of South Padre Island\Seaside Circle Beach Access Point.dwg
PLOTTER: Wednesday, February 01, 2017 - 5:26pm
USER: Montalvo



CONSULTANT'S SHEET
PROJECT NO. 15450-02



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INTERNATIONAL CONSULTING ENGINEERS
555 N. CARANCAHUA ST. STE. 860
CORPUS CHRISTI, TX 78401
PHONE: 361.926.5805
FAX: 361.926.5806
I.C.E. FIRM REGISTRATION #F-10837

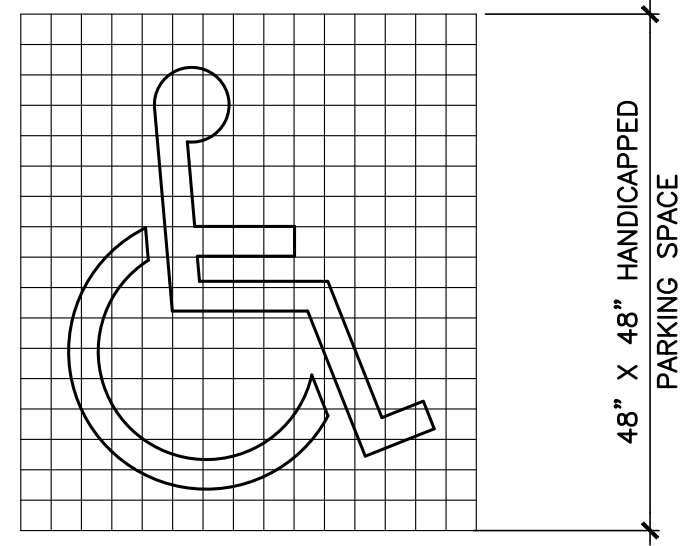


CITY OF SOUTH PADRE ISLAND
A) SEASIDE CIRCLE BEACH ACCESS
IMPROVEMENTS BEACH ACCESS POINT #6
CONCRETE SIDEWALK DETAILS

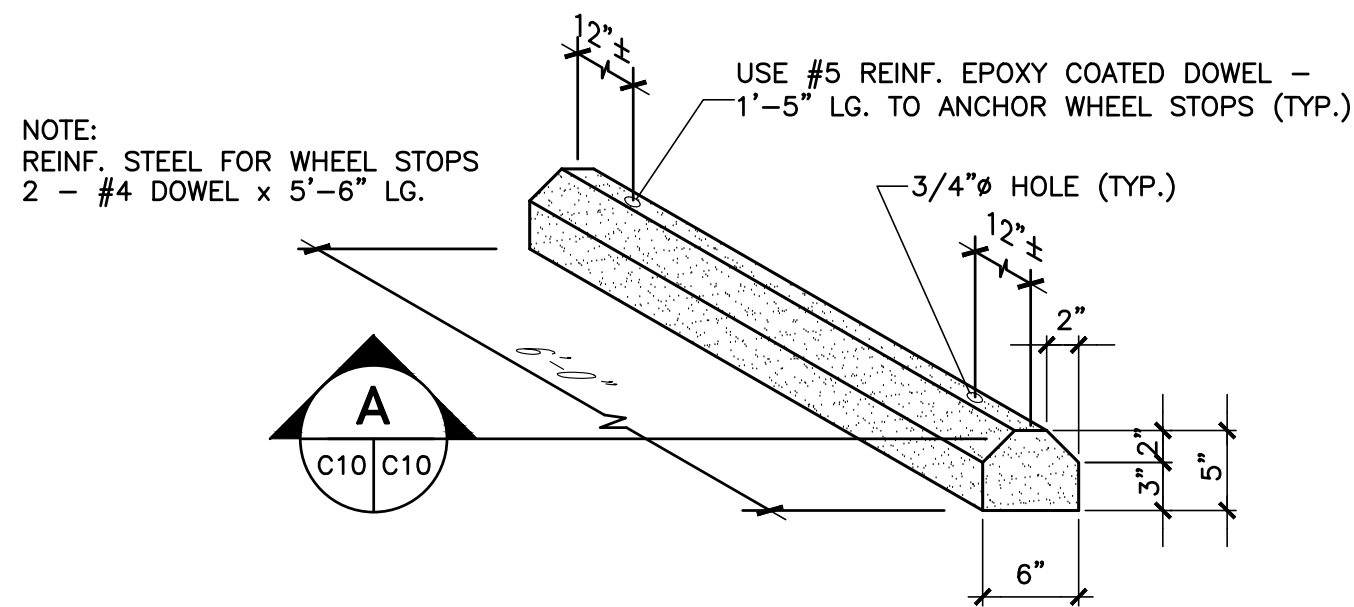
DRAWING NO.
C9
SHEET 10 of 36

REVISION NO.		DATE	BY	DESCRIPTION
1	11-21-16		JU, CM	ADDED GENERAL NOTES AS PER G.L.O. COMMENTS

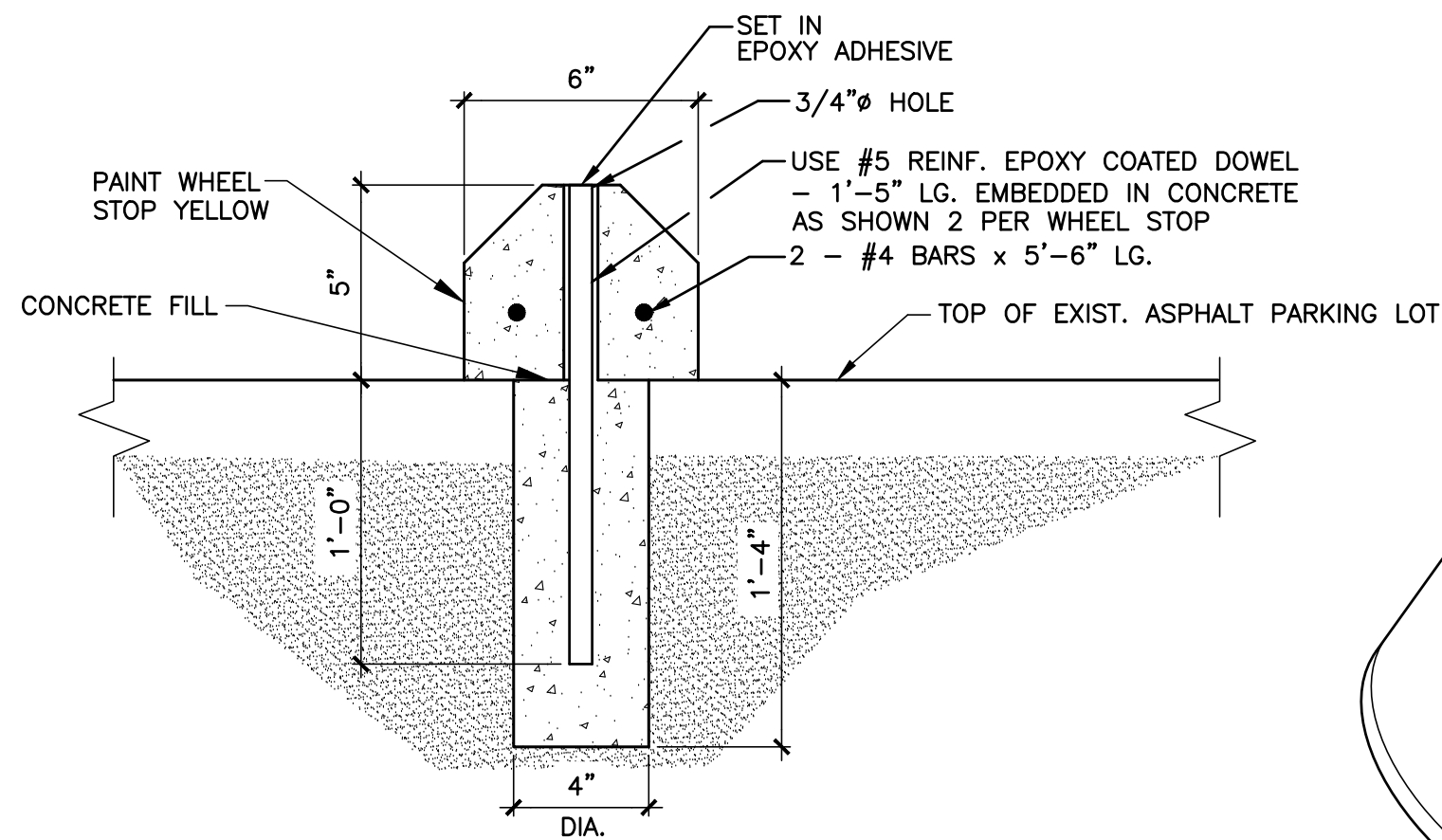
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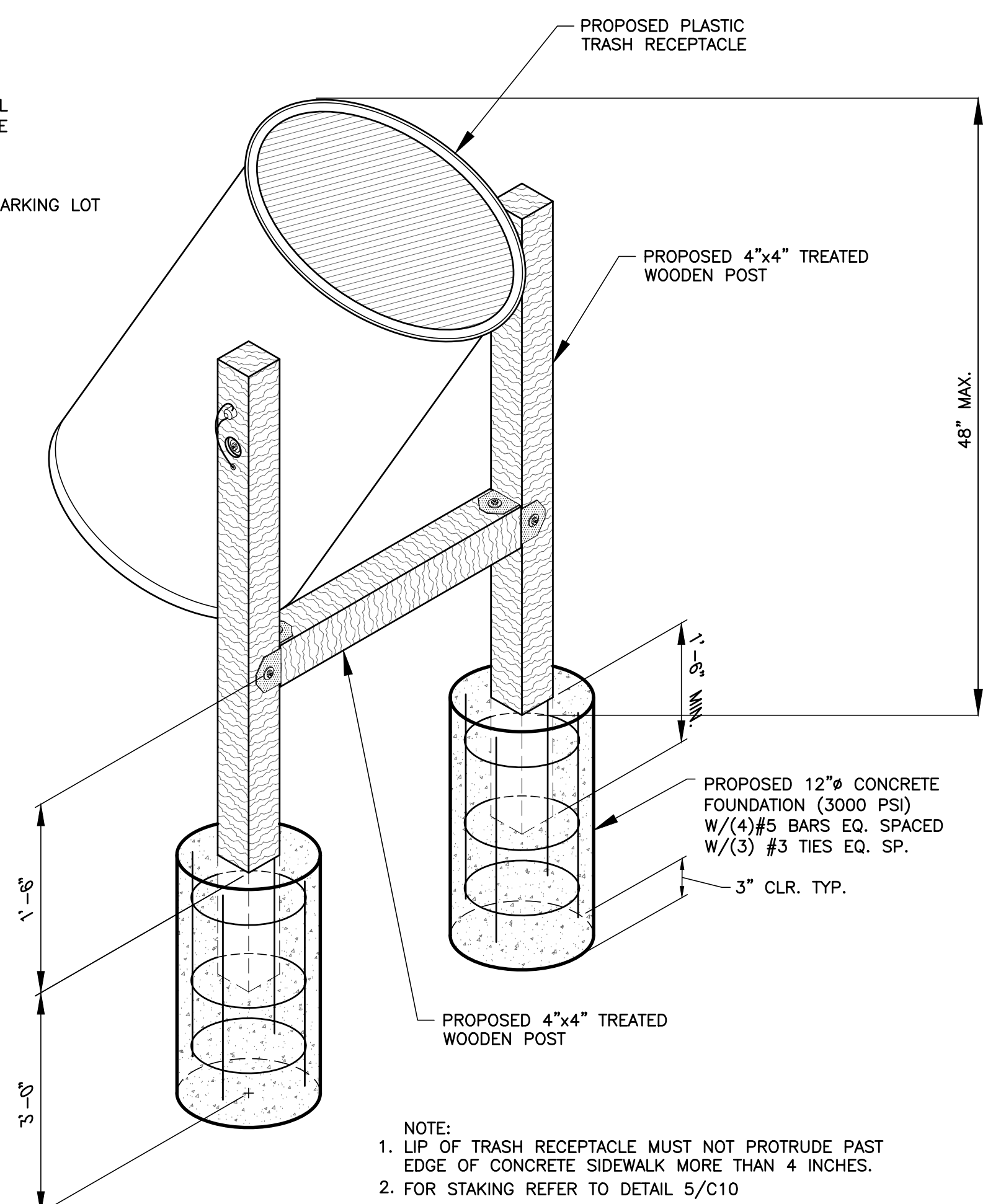
1 ACCESSIBLE SYMBOL DETAIL
C5 C10 SCALE: N.T.S.
NOTE:
WHEELCHAIR SYMBOL SHALL BE PAINTED
WHITE ON A BLUE BACKGROUND.



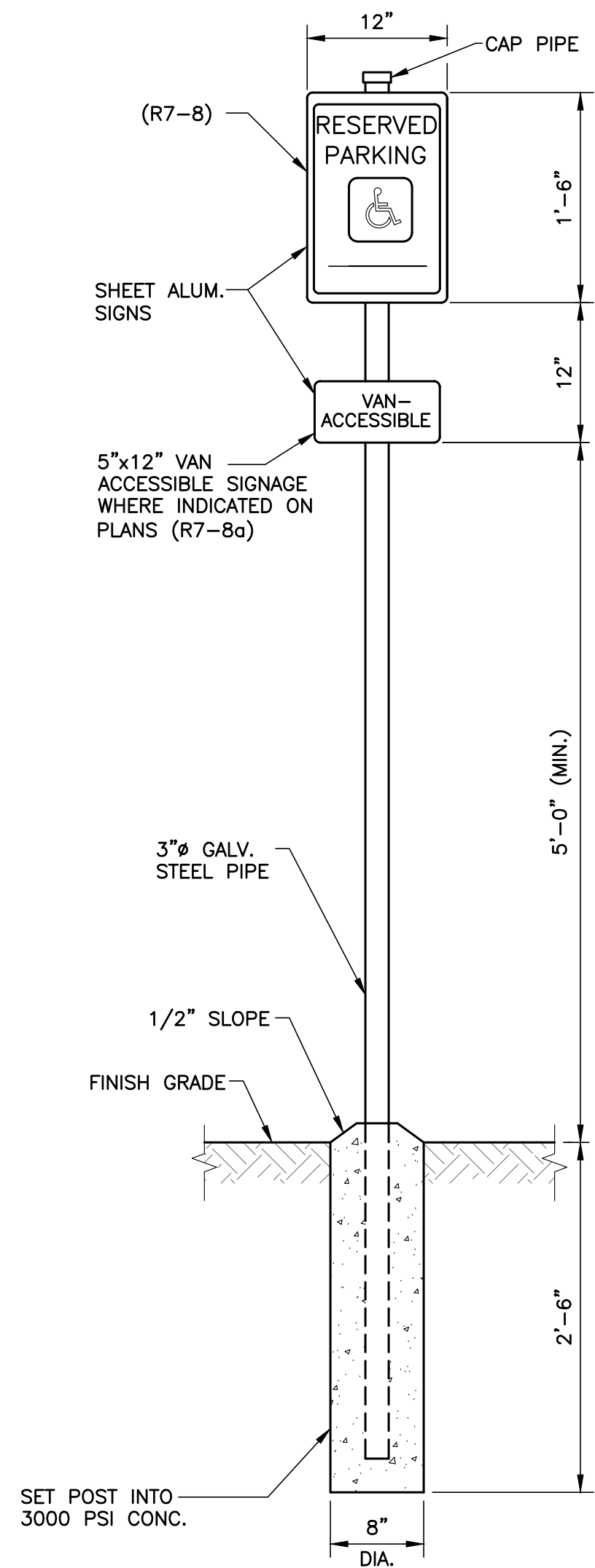
2 WHEEL STOP DETAIL
C5 C10 SCALE: N.T.S.



A WHEEL STOP SECTION
C10 C10 SCALE: N.T.S.

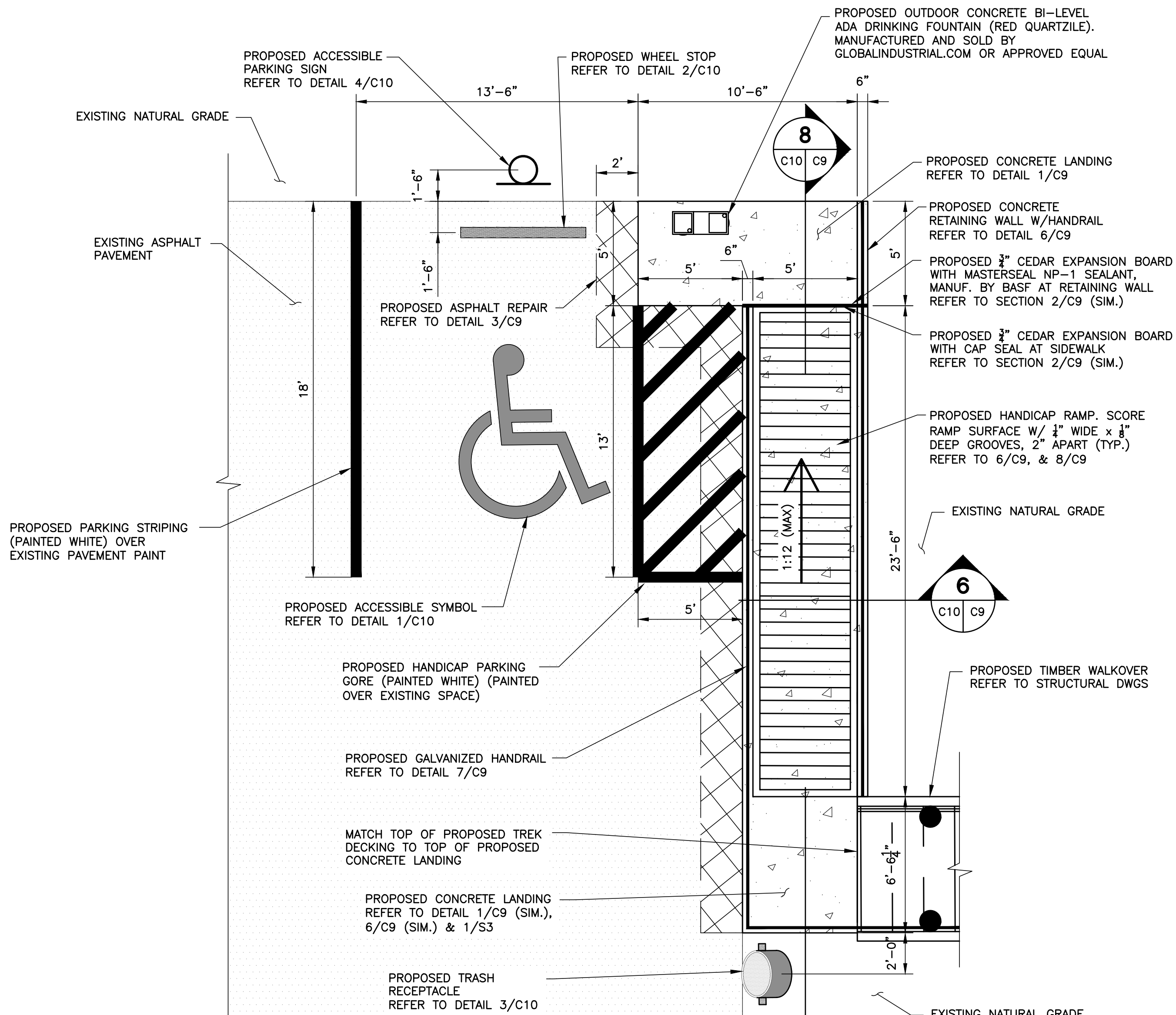


3 PROPOSED TRASH RECEPTACLE FOUNDATION
C5 C10 SCALE: N.T.S.



- NOTE:
1. SIGN FACE SHALL BE REFLECTORIZED FLAT SURFACE SHEETING.
 2. SIGN SHALL HAVE WHITE LETTERS AND SYMBOLS ON A BLUE BACKGROUND.
 3. SIGNS SHALL BE PROVIDED DIRECTLY IN FRONT OF PARKING SPACE.

4 ACCESSIBLE PARKING SIGN DETAIL
C5 C10 NOT TO SCALE



5 ENLARGED DETAIL
C5 C10 SCALE: 1/4" = 1'-0"

CONSULTANT'S SHEET
PROJECT NO. 15450-02



IE
INTERNATIONAL CONSULTING ENGINEERS
555 N. CARANCAHUA ST. STE. 860
CORPUS CHRISTI, TX 78401
PHONE: 361.926.5805
FAX: 361.926.5806
I.B.P.E. FIRM REGISTRATION #F-10837

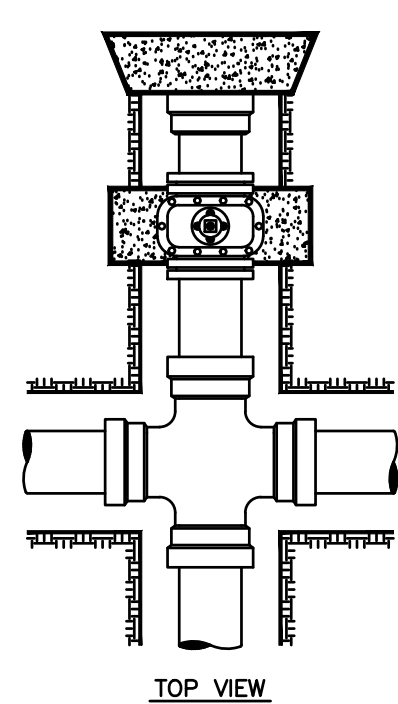


CITY OF SOUTH PADRE ISLAND
A) SEASIDE CIRCLE BEACH ACCESS
IMPROVEMENTS BEACH ACCESS POINT #6
PAVEMENT DETAILS

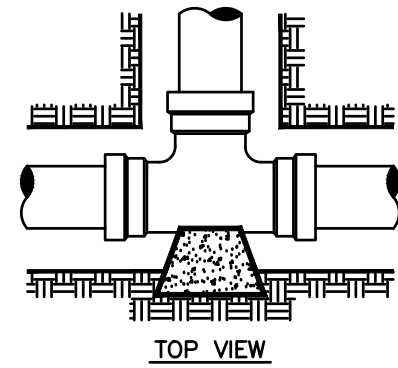
DRAWING NO.
C10

SHEET 11 of 36

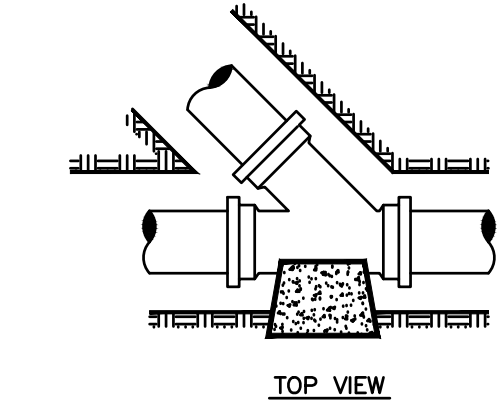
FILE NAME: F:\2015\City of South Padre Island\Seaside Circle Beach Access Point #6\Drawings\Civil\12-C11-UTILITY DETAILS.dwg LAYOUT NAME: Layout11 PLOTTED: Wednesday, February 01, 2017 - 5:26pm USER: Okontelvo



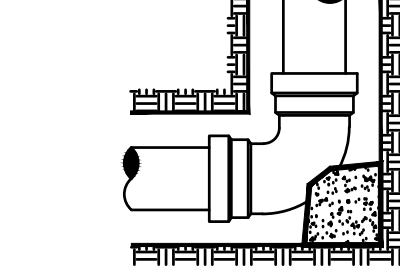
TOP VIEW



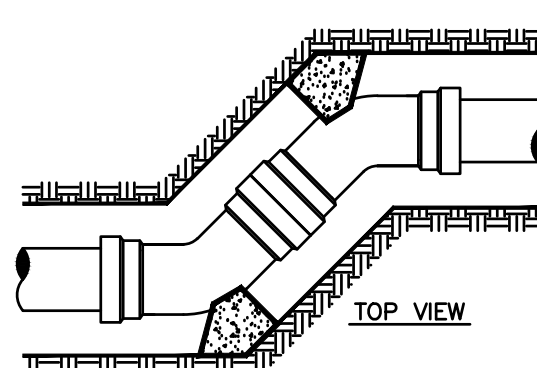
TOP VIEW



TOP VIEW



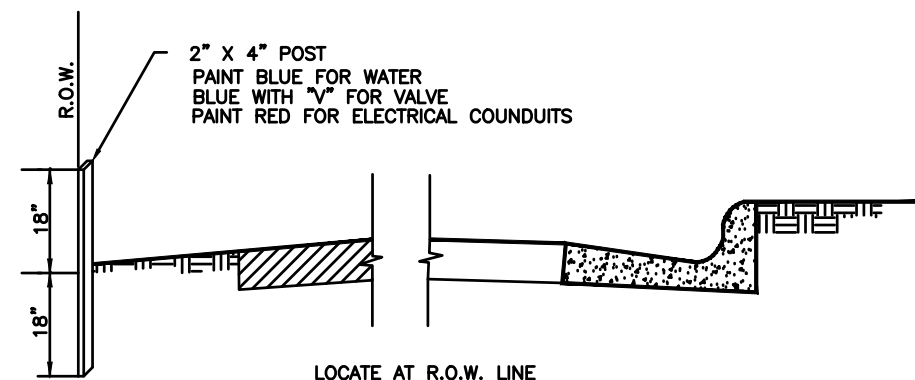
TOP VIEW



TOP VIEW

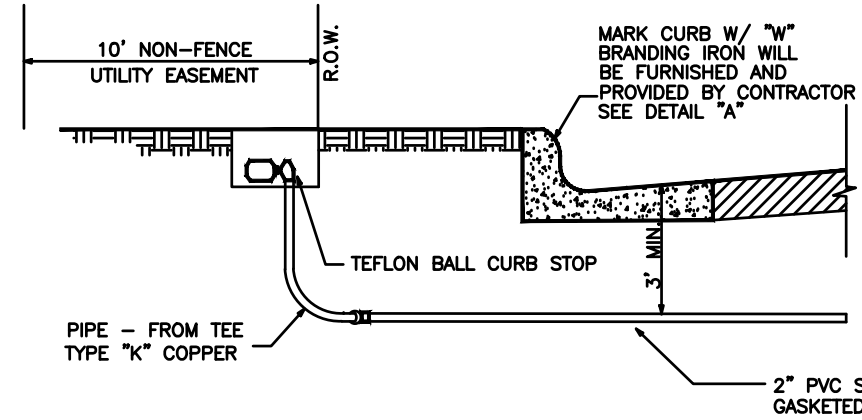
THRUST BLOCK DETAILS

NOT TO SCALE

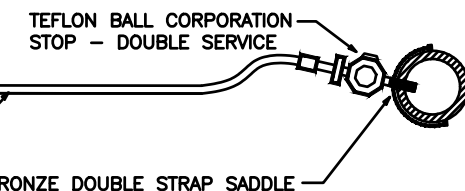


SERVICE MARKING FOR EXISTING CURB OR NO CURB

NOT TO SCALE



MARK CURB W/ "E" FOR ELECTRICAL CONDUIT BRANDING IRON WILL BE FURNISHED AND PROVIDED BY CONTRACTOR SEE DETAIL "A"

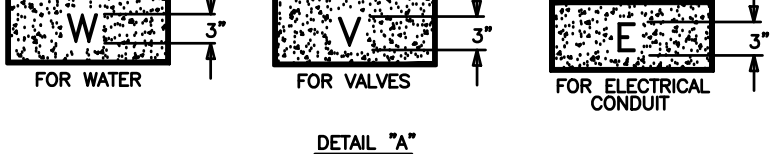


TEFLON BALL CORPORATION STOP - DOUBLE SERVICE

NOTE:
1. USE 2" PVC SCH40 PIPE FOR DOUBLE SERVICE CONNECTIONS.
2. 36" MIN. COVER FOR 2" OR LARGER SERVICES.
3. MARK CURB W/ "V" AT WATER VALVE LOCATIONS, BRANDING IRON WILL BE FURNISHED AND PROVIDED BY CONTRACTOR

TYPICAL LONG SERVICE

NOT TO SCALE

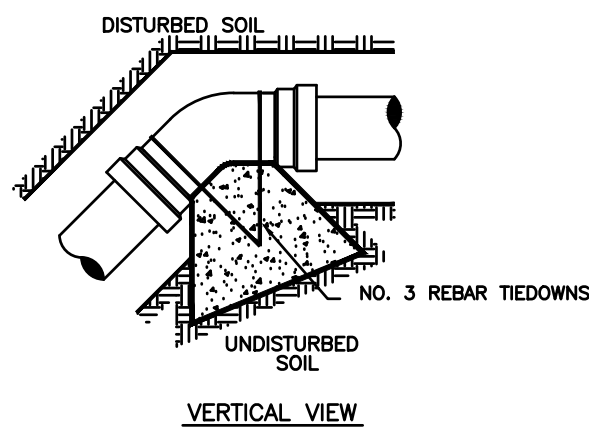


DETAIL "A"

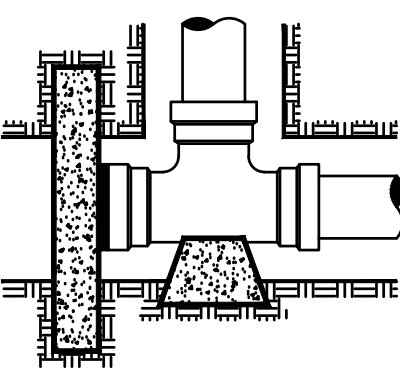
PIPE SIZE	6"		8"		10"		12"		16"	
	MIN. BEARING AREA FT.	RECOM'D DIMENSION FT. X FT.	MIN. BEARING AREA FT.	RECOM'D DIMENSION FT. X FT.	MIN. BEARING AREA FT.	RECOM'D DIMENSION FT. X FT.	MIN. BEARING AREA FT.	RECOM'D DIMENSION FT. X FT.	MIN. BEARING AREA FT.	RECOM'D DIMENSION FT. X FT.
TEE (OR TAPPING SLEEVE)	5.9	2.5'x2.5'	10.1	3.2'x3.2'	16.4	4.1'x4.1'	23.3	4.9'x4.9'	40.8	6.4'x6.4'
DEAD END	5.9	2.5'x2.5'	10.1	3.2'x3.2'	16.4	4.1'x4.1'	23.3	4.9'x4.9'	40.8	6.4'x6.4'
VALVE (OR TAPPING VALVE)	5.9	2.5'x2.5'	10.1	3.2'x3.2'	16.4	4.1'x4.1'	23.3	4.9'x4.9'	40.8	6.4'x6.4'
90° ELBOW	8.3	2.9'x2.9'	14.1	3.8'x3.8'	23.1	4.9'x4.9'	23.7	5.8'x5.8'	57.5	7.8'x7.8'
45° ELBOW	4.5	2.2'x2.2'	7.7	2.8'x2.8'	12.6	3.6'x3.6'	17.9	4.3'x4.3'	31.4	5.6'x5.6'
22-1/2° ELBOW	2.3	1.6'x1.6'	3.9	2.0'x2.0'	6.5	2.6'x2.6'	9.2	3.1'x3.1'	15.9	4.0'x4.0'

NOTE:

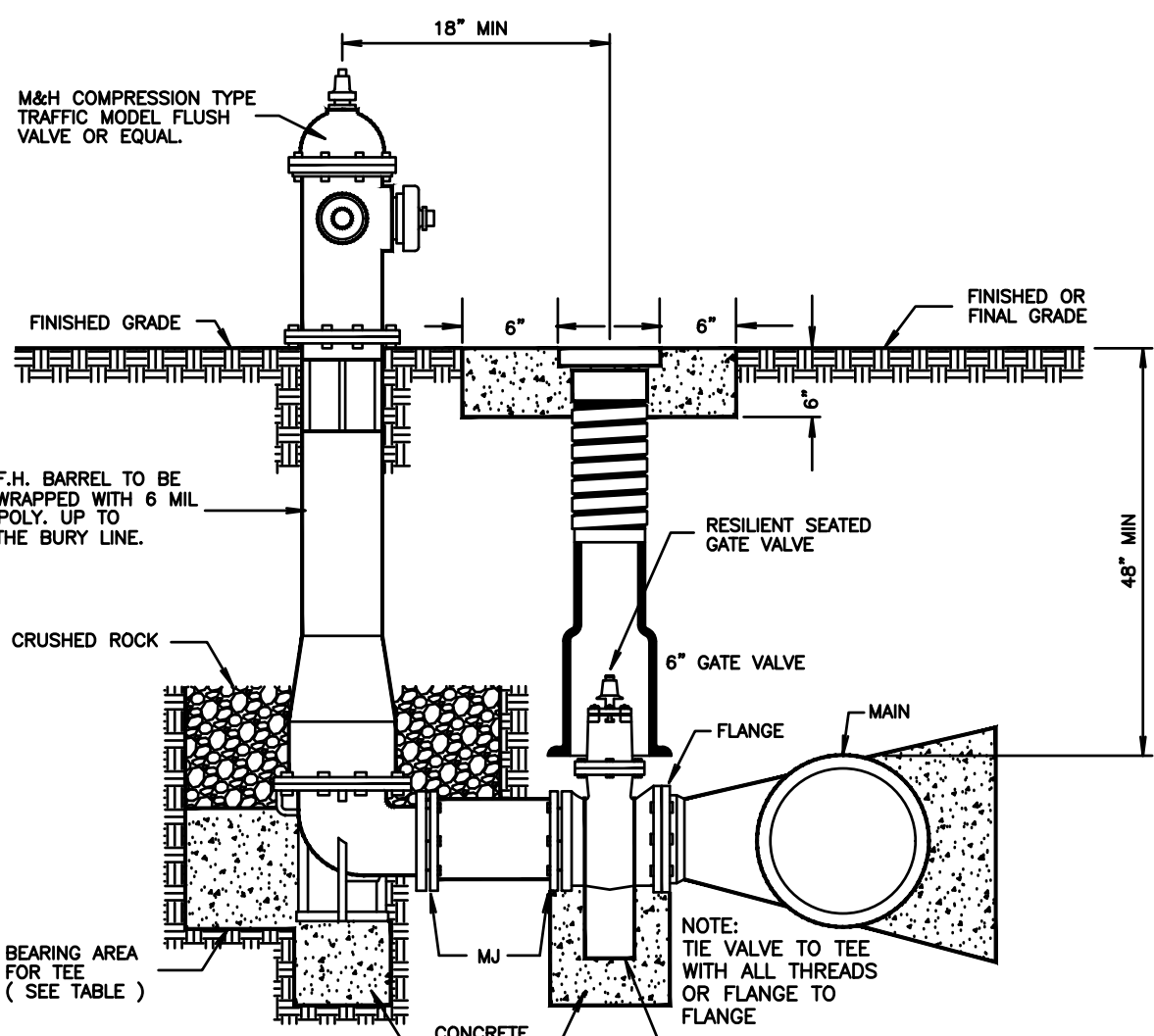
1. MINIMUM BEARING SURFACE OF THRUST BLOCK SHALL BE AS NOTED IN TABLE.
2. BEARING SURFACE SHALL BE UNDISTURBED SOIL.



VERTICAL VIEW

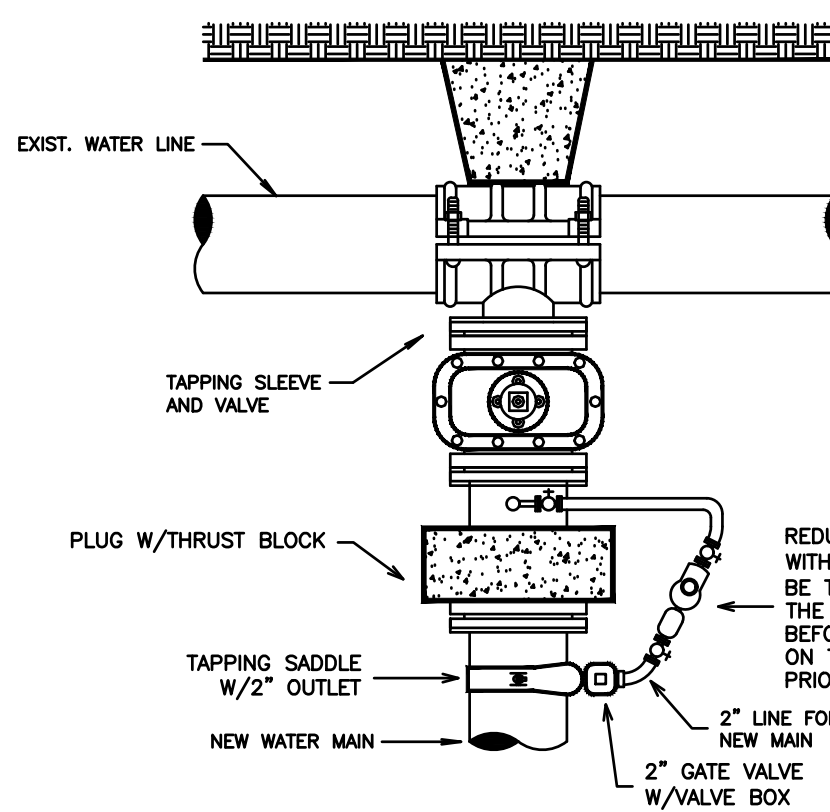


TOP VIEW



FIRE HYDRANT VALVE & BOX

NOT TO SCALE

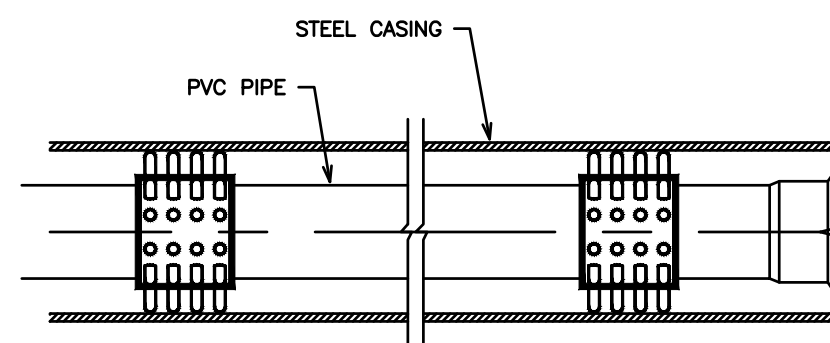


METHOD FOR FILLING AND FLUSHING NEW WATER LINES

NOT TO SCALE

NOTE:
WATER USAGE FOR ALL INITIAL TESTING WILL NOT BE BILLED TO THE CONTRACTOR. ANY RE-TESTING NEEDED WILL BE THE RESPONSIBILITY OF THE CONTRACTOR INCLUDING PAYMENT OF ADDITIONAL WATER NEEDED. CONTRACTOR WILL BE ALLOWED TO FLUSH THE WATERLINE INITIALLY FOR A MAXIMUM OF 12-24 HRS. OR AS DETERMINED BY THE ENGINEER. IF FLUSHING IS DETERMINED TO BE LONGER, THE ENGINEER WILL BE REQUIRED TO SUPPLY THE PROPER DOCUMENTATION AND CALCULATIONS TO SUPPORT SUCH FINDINGS.

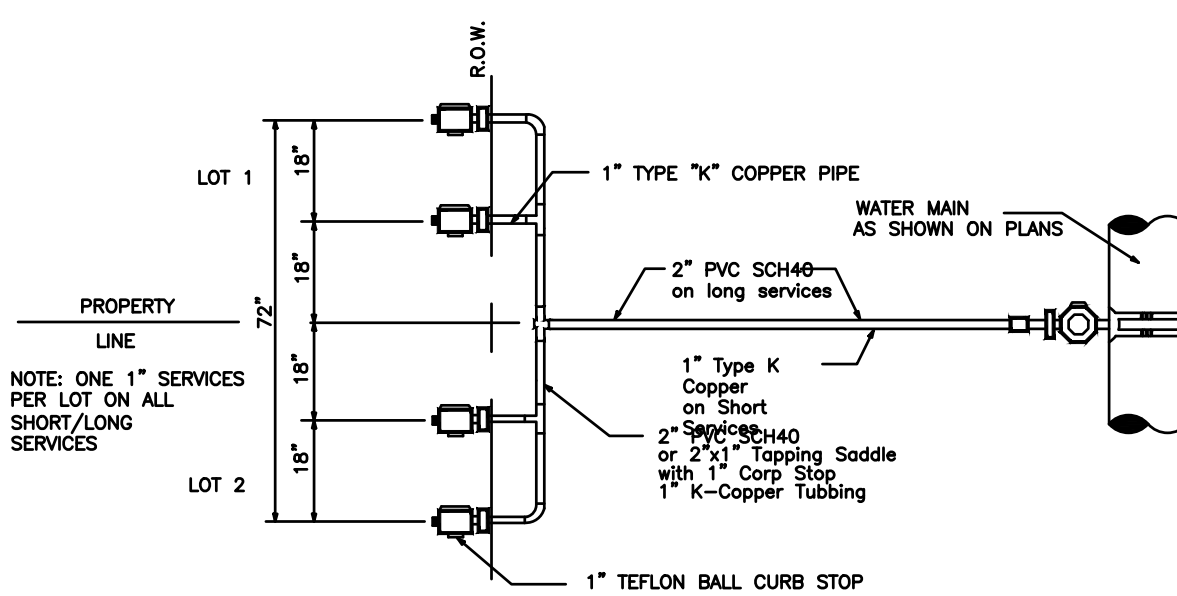
AMOUNT OF FLOW TO BE USED FOR FLUSHING WILL BE MONITORED AND REGULATED BY THE DISTRICT INSPECTORS. CONTRACTOR WILL NOT BE ALLOWED TO TIE-IN TO EXISTING WATER LINE UNTIL ALL TEST ON NEW LINES HAVE BEEN COMPLETED AND APPROVED.



PVC PIPE CASING & SKIDS

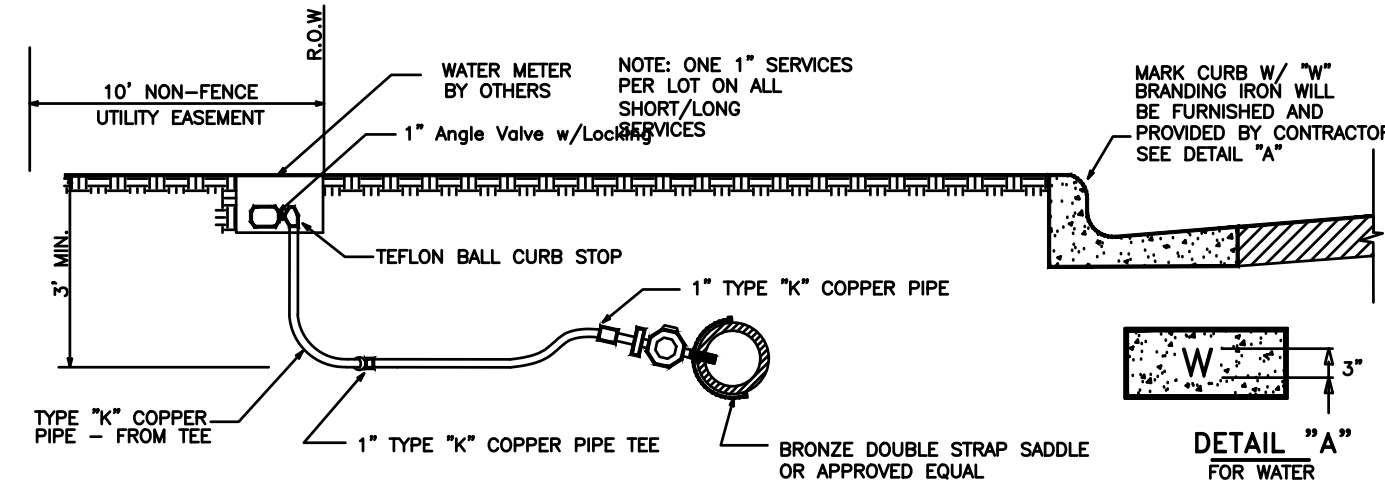
NOT TO SCALE

NOMINAL PIPE SIZE	CASING SIZE	NO. OF SKIDS
6"	12"	4
8"	16"	4
12"	20"	4
16"	24"	5



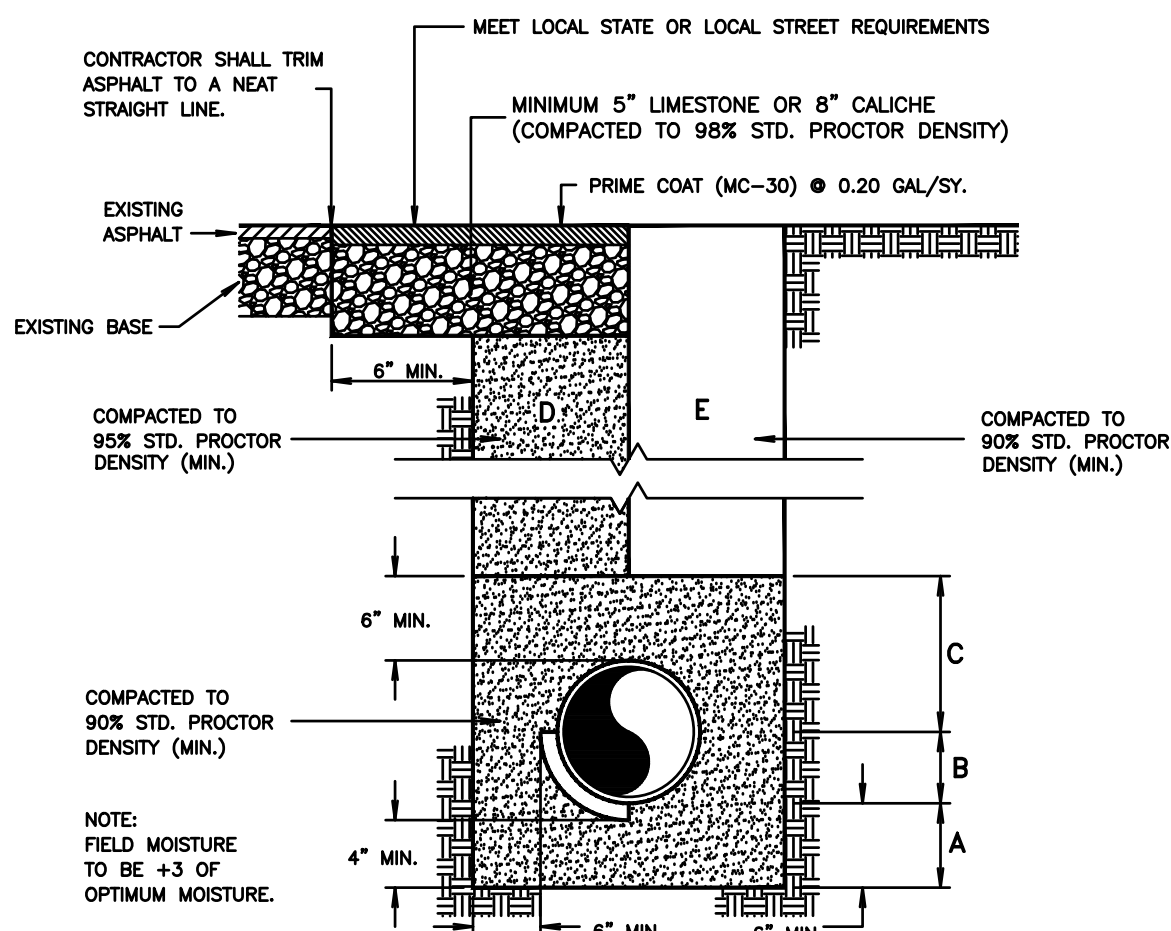
TYPICAL DOUBLE SERVICE CONNECTION

NOT TO SCALE



TYPICAL SHORT SERVICE

NOT TO SCALE



TYPICAL PIPE BEDDING AND TRENCH BACKFILL DETAIL

NOT TO SCALE

- A SAND BEDDING PLACED BEFORE PIPE IS LAID UP TO FLOW LINE OF PIPE (MIN. THICKNESS = 6").
- B SAND BACKFILL PLACED AFTER PIPE IS LAID FROM BOTTOM OF PIPE TO SPRING LINE OF PIPE (4" LIFTS, HAND TAMPED).
- C SAND BACKFILL PLACED FROM SPRING LINE OF PIPE TO 6" ABOVE TOP OF PIPE (6" LIFTS, HAND TAMPED).
- D SAND BACKFILL, CLASS "A" (6" LIFTS, MECHANICAL COMPACTION).
- E EARTH BACKFILL, CLASS "B" (12" LIFTS, MECHANICAL COMPACTION).
- FOUNDATION PREPARATION (WELLPONTS, GRAVEL OR CEMENT STABILIZATION, OR APPROVED SUBSTITUTE) SHALL BE REQUIRED WHEN TRENCH BOTTOM IS UNSTABLE.
- BACKFILLING AT STRUCTURES SHALL BE PLACED IN UNIFORM LAYERS, MOISTENED AS REQUIRED TO APPROXIMATE OPTIMUM MOISTURE CONTENT, AND COMPACTED TO 95% STD. PROCTOR DENSITY. THE THICKNESS OF EACH LOOSE LAYER SHALL NOT EXCEED 6". STRUCTURE BACKFILL MATERIAL SHALL BE SAND, APPROVED SITE SOIL, OR OTHER APPROVED SUBSTITUTE.

CONSULTANT'S SHEET
PROJECT NO. 15450-02



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I.B.P.E. FIRM REGISTRATION #F-10837



CITY OF SOUTH PADRE ISLAND
A SEASIDE CIRCLE BEACH ACCESS
IMPROVEMENTS BEACH ACCESS POINT #6

MISCELLANEOUS CIVIL DETAILS

DRAWING NO.
C11

SHEET 12 of 36

FILE NAME: F:\2015\City of South Padre Island\Seaside Circle Beach Access Point.dwg LAYOUT NAME: Model PLOTTED: Wednesday, February 01, 2017 -- 5:26pm USER: Okontelabo

SYMBOLS		MATERIALS				DESIGN			
<div><div><div>SECTION NUMBER</div><div></div></div><div><div>SHEET NUMBER SECTION APPEARS ON</div><div>SHEET NUMBER SECTION IS TAKEN FROM</div></div></div> <div><div>DETAIL NUMBER</div><div></div><div>DETAIL NAME</div></div> <div><div>ELEVATION TARGET</div><div></div></div> <div><div>REVISIONS</div><div></div></div> <div><div>COLUMN GRID</div><div></div></div> <div><div>U.N.O.</div><div>UNLESS NOTED OTHERWISE</div></div> <div><div>N.T.S.</div><div>NOT TO SCALE</div></div> <div><div>O.C.</div><div>ON CENTER</div></div> <div><div>E,W,</div><div>EACH WAY</div></div> <div><div>T & B</div><div>TOP & BOTTOM</div></div>	CONCRETE				DESIGN LOADS				
	ITEM	28 DAY COMPRESSIVE CYLINDER STRENGTH			REMARKS	LOCATION	*DEAD LOAD	LIVE LOAD	TOTAL
		3000 PSI	3500 PSI	5000 PSI			PSF	PSF	PSF
	ALL CONCRETE U.N.O.	●				WALKOVER	10	60	70
						* SUPERIMPOSED DEAD LOAD IN ADDITION TO SELF WEIGHT ** REDUCIBLE PER ASCE 7-05			
	STEEL					WIND			
ITEM	ASTM DESIGNATION MINIMUM YIELD STRESS			REMARKS	BASIC WIND SPEED - 140 MPH 3 SECOND GUST IN COMPLIANCE WITH ASCE 7-05				
	A36	A53	A992						
	36 KSI	35 KSI	50 KSI						
BASE PLATES					EARTHWORK GEOTECHNICAL REPORT: GEOTECHNICAL STUDY SEASIDE CIRCLE BEACH ACCESS IMPROVEMENTS GULF BOULEVARD SOUTH PADRE ISLAND, TEXAS PREPARED BY: RGV STRATA MERCEDES, TEXAS NOVEMBER 10, 2015 RGV STRATA PROJECT #: 151011				
COLUMNS									
BEAMS									
MISC. PL'S & SHAPES									
TUBE STEEL				A500, GRADE B					
PIPE				A53 TYPE E OR S GRADE B, 35 KSI					
METAL DECK				A446, GRADE A					
STRUCT. BOLTS U.N.O.				A325 N					
ANCHOR BOLTS				A307					
THREADED ROD				A307					
ANCHOR RODS				A36 SMOOTH					
REINFORCING STEEL					DESIGN STD'S. & CODE OF PRACTICE				
ASTM-A615, GRADE 60, U.N.O.					BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE, ACI 318-02 BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES, ACI 530-05 INTERNATIONAL BUILDING CODE, IBC 2009 CRSI HANDBOOK, 1990 MINIMUM DESIGN LOADS FOR BUILDINGS & OTHER STRUCTURES, ASCE 7-05 STANDARD SPECIFICATIONS FOR HIGHWAY BRIDGES SIXTEENTH EDITION-1996, AASHTO				

HARDWARE

- ADHESIVE ANCHORS SHALL BE "HILTI-RE 500-SD ADHESIVE ANCHORS" PROVIDED BY HILTI OR APPROVED EQUAL.
- FASTENERS DIAMETER AND LENGTH ARE NOTED ON THE PLANS.
- ALL FASTENERS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- ALL FASTENERS SHALL BE STAINLESS STEEL.

FOUNDATION AND EARTHWORK

- REMOVE TOP SOIL, ORGANIC MATERIAL AND DEBRIS FROM THE SIDEWALK AREA.
- FOUNDATION SYSTEM: TIMBER PILES
- TIMBER PILES SHALL HAVE A MINIMUM EMBEDMENT OF 17FT BELOW THE PROPOSED SAND DUNE FINISH GRADE.
- COMPACTION REQUIREMENTS FOR EXCAVATION AREAS FOR STRUCTURAL ITEM INSTALLATION: (ASTM D-698, METHOD D)
BELOW FOOTINGS - 95%
BELOW SLABS & PAVEMENT - 95%
UNPAVED AREAS - 90%
MAXIMUM LIFT - 8" LOOSE DEPTH

COMPOSITE DECKING MATERIAL

- NOMINAL SIZE OF COMPOSITE DECKING MATERIAL FOR PLANKS SHALL BE 2"x6" BOARD.
- COMPOSITE DECKING BOARD MANUFACTURED BY TREX COMPANY, INC., OR EQUIVALENT COMPOSITE DECKING BOARDS MAY BE USED SUBJECT TO REVIEW AND EVALUATION OF THE ENGINEER.
- COMPOSITE DECKING SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS, PROCEDURES AND REQUIREMENTS.
- ALL FASTENERS SHALL BE MADE OF STAINLESS STEEL.
- DECKING SHALL BE DESIGNED AND INSTALLED TO LIMIT BENDING DEFLECTION UNDER TOTAL LOAD TO LESS THAN OR EQUAL TO L/360 DESIGN LIVE LOAD IS 100 PSF.
- THE CONTRACTOR AND MANUFACTURER SHALL SUBMIT TO THE ENGINEER THE FOLLOWING FOR REVIEW AND EVALUATION:
A. PRODUCT DATA INCLUDING SPECIFICATIONS, PRODUCT HANDLING, AND INSTALLATION INSTRUCTION.
- THE DECKING PLANKS SHALL BE INSTALLED SO THAT A 1/2" SPACE IS BETWEEN ADJACENT PLANKS TO ALLOW FOR SUNLIGHT AND WATER TO REACH THE DUNE AND VEGETATION BELOW THE WALKOVER.

DESIGN CRITERIA

- LIVE LOAD 60 PSF
- WIND LOAD: BASED ON ASCE 7-05 REQUIREMENTS FOR 140 MPH WIND
- IMPORTANCE FACTOR 1.00
- EXPOSURE FACTOR C
- FOUNDATION DESIGN IS IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE, AND IS BASED ON VALUES RECOMMENDED IN TABLE 1806.2 - PRESUMPTIVE LOAD BEARING VALUES, AS LISTED BELOW:

NET ALLOWABLE END BEARING CAPACITY (WOOD PILES) 1500 PSF

SKIN FRICTION (WOOD PILES) 150 PSF
- A GEOTECHNICAL ENGINEER SHALL BE RETAINED TO PERFORM TESTING AND PRESUMPTIVE LOAD - BEARING VALUES NOTED ABOVE.

TIMBER

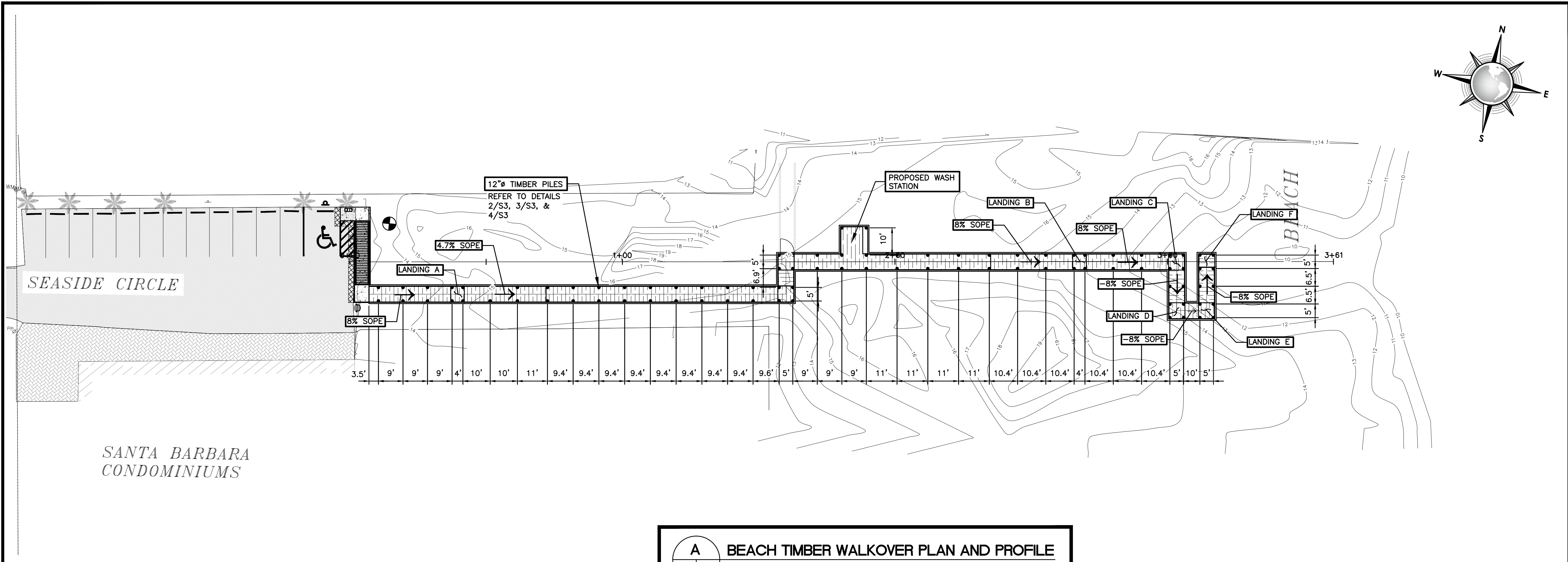
- PRIOR TO PILE PLACEMENT, THE CONTRACTOR SHALL PROVIDE THE ENGINEER DATA REGARDING THE PROPOSED HAMMER AND CUSHION SYSTEM.
- PILES SHALL BE ASTM D-25, CLASS "C" TREATED, PEELED SOUTHERN YELLOW PINE OR DOUGLAS FIR. PILES SHALL BE CREOSOTED ACCORDING TO AWPA MANUAL STANDARDS C-3 WITH A MINIMUM RETENTION OF 12 POUNDS PER CUBIC FOOT.
- PILES SHALL HAVE A MINIMUM BUTT DIAMETER OF 14 INCHES AND A MINIMUM TIP DIAMETER OF 12 INCHES.
- A 8" DIAMETER PILOT HOLE MAY BE DRILLED TO A DEPTH OF 5 FEET ABOVE THE FINAL TIP ELEVATION TO FACILITATE PILE DRIVING. JETTING ALONG SIDE OF PILES IS NOT PERMITTED.
- ADEQUATE CUSHING MATERIAL SHALL BE PROVIDED BETWEEN PILE DRIVER CAP AND THE PILE HEAD. A SOFTWOOD CUSHION WITH A THICKNESS OF 6 TO 12 INCHES IS PREFERRED.
- THE PILE DRIVING HELMET OR CAP SHALL BE SUFFICIENTLY LOOSE AROUND THE PILE BUTT SO AS NOT TO DEVELOP TORSIONAL STRESSES IN THE PILE DURING INSTALLATION, HOWEVER THE HELMET SHOULD BE CAPABLE OF CONTROLLING PILE ALIGNMENT.
- THE ENTIRE HAMMER-CUSHION-PILE SYSTEM SHOULD BE COMPATIBLE AND CAPABLE OF DRIVING PILES TO THE DESIGN PENETRATIONS WITHOUT DAMAGING PILES. BLOW COUNTS CONSISTENTLY IN EXCESS OF 50 BLOWS/FOOT ARE NOT IN LINE WITH GOOD PRACTICE.
- PILES SHALL BE PROPERLY ALIGNED PRIOR TO DRIVING AND HELD WITH FIXED LEADS. REALIGNMENT ONCE DRIVING HAS COMMENCED IS NOT PERMITTED.
- ROUGH CARPENTRY SHALL COMPLY WITH THE PROVISIONS OF THE 2009 EDITION OF THE INTERNATIONAL BUILDING CODE.
- ALL LUMBER USED FOR LOAD SUPPORTING PURPOSES SHALL BE IDENTIFIED BY THE GRADE MARK OF AN APPROVED LUMBER GRADING OR INSPECTION BUREAU OR AGENCY.
- ALL LUMBER SHALL BE PRESERVATIVELY TREATED AND SHALL BEAR AN APPROVED AWPB QUALITY MARK. THE QUALITY MARK SHALL BE ON A STAMP OR LABEL AFFIXED TO THE PRESERVATIVE-TREATED WOOD, AND SHALL INCLUDE THE FOLLOWING INFORMATION.
A. IDENTIFICATION OF TREATING MANUFACTURER.
B. TYPE OF PRESERVATIVE USED.
C. MINIMUM PRESERVATIVE RETENSION (pcf).
D. END USE FOR WHICH THE PRODUCT IS TREATED.
E. AWPA STANDARD TO WHICH THE PRODUCT WAS TREATED.
F. IDENTITY OF THE ACCREDITED INSPECTION AGENCY.
- FRAMING LUMBER MOISTURE CONTENT SHALL NOT EXCEED 19 PERCENT AT TIME OF INSTALLATION.
- MATERIALS
A. FRAMING LUMBER

USE-ITEM	LUMBER SPECIES	MINIMUM GRADE
JOISTS, BEAMS	SOUTHERN PINE	#2
PLANKS	2x6 COMPOSITE DECKING	SEE MFR. REQUIREMENTS

B. FASTENERS
 - NAILS, BOLTS, WASHERS AND ALL OTHER FASTENERS SHALL BE STAINLESS STEEL.
- VERTICAL FRAMING MEMBERS SHALL BE CONTINUOUS LENGTH WITHOUT SPLICING. SPLICES IN HORIZONTAL MEMBERS SHALL OCCUR ONLY OVER BEARING POINTS. LAP MEMBERS WHICH BEAR ON PLATES TO PROVIDE FULL BEARING FOR EACH MEMBER.
- STRUCTURAL MEMBERS WHOSE STRENGTH IS IMPAIRED BY IMPROPER CUTTING, DRILLING, OR EXCESSIVE DEFECTS SHALL BE REPLACED OR REINFORCED IN A MANNER ACCEPTABLE TO THE ENGINEER.
- PROVIDE SOLID BLOCKING BETWEEN FLOOR JOIST AT BEARING LOCATIONS AND AT MID OPENING OF SPANS GREATER THAN 8'-0" OR AS NOTED. BLOCKING TO MATCH SIZE OF FRAMING MEMBER.
- ALL METAL HANGERS, ETC., SHALL BE STAINLESS STEEL.

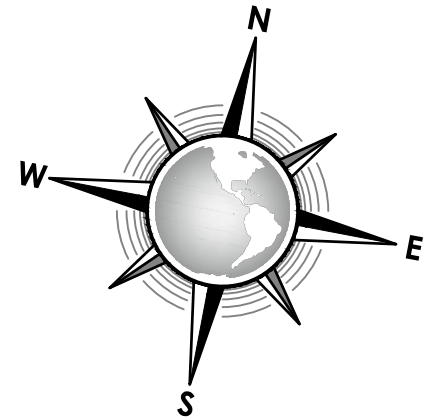
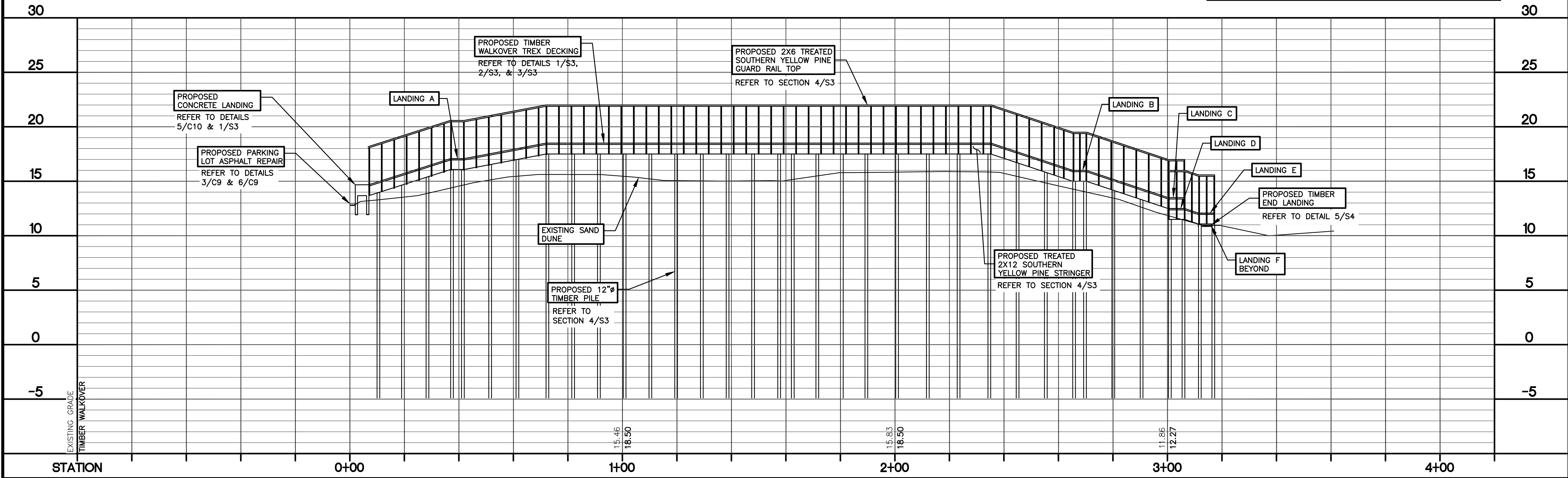
CONSULTANT'S SHEET	
PROJECT NO. 15450-02	
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<div></div>	
DESCRIPTION	
BY	DATE
REVISION NO.	DATE
ADDED GENERAL NOTES AS PER G.L.O. COMMENTS	
J.J. OM	BY
11-21-16	DATE
REVISION NO.	DATE
CITY OF SOUTH PADRE ISLAND A) SEASIDE CIRCLE BEACH ACCESS IMPROVEMENTS BEACH ACCESS POINT #6	
STRUCTURAL NOTES	
DRAWING NO. S1	
SHEET 13 of 36	

FILE NAME: F:\2015\City of South Padre Island\Seaside Circle Beach Access Point #6\Drawings\Structural\14-S2-WALKOVER PLAN AND PROFILE.dwg LAYOUT NAME: PLAN AND PROFILE PLOTTED: Wednesday, February 01, 2017 - 5:26pm USER: CMontelvo



A BEACH TIMBER WALKOVER PLAN AND PROFILE
S2 S2 SCALE: HORIZONTAL 1"=20' VERTICAL 1"=5'

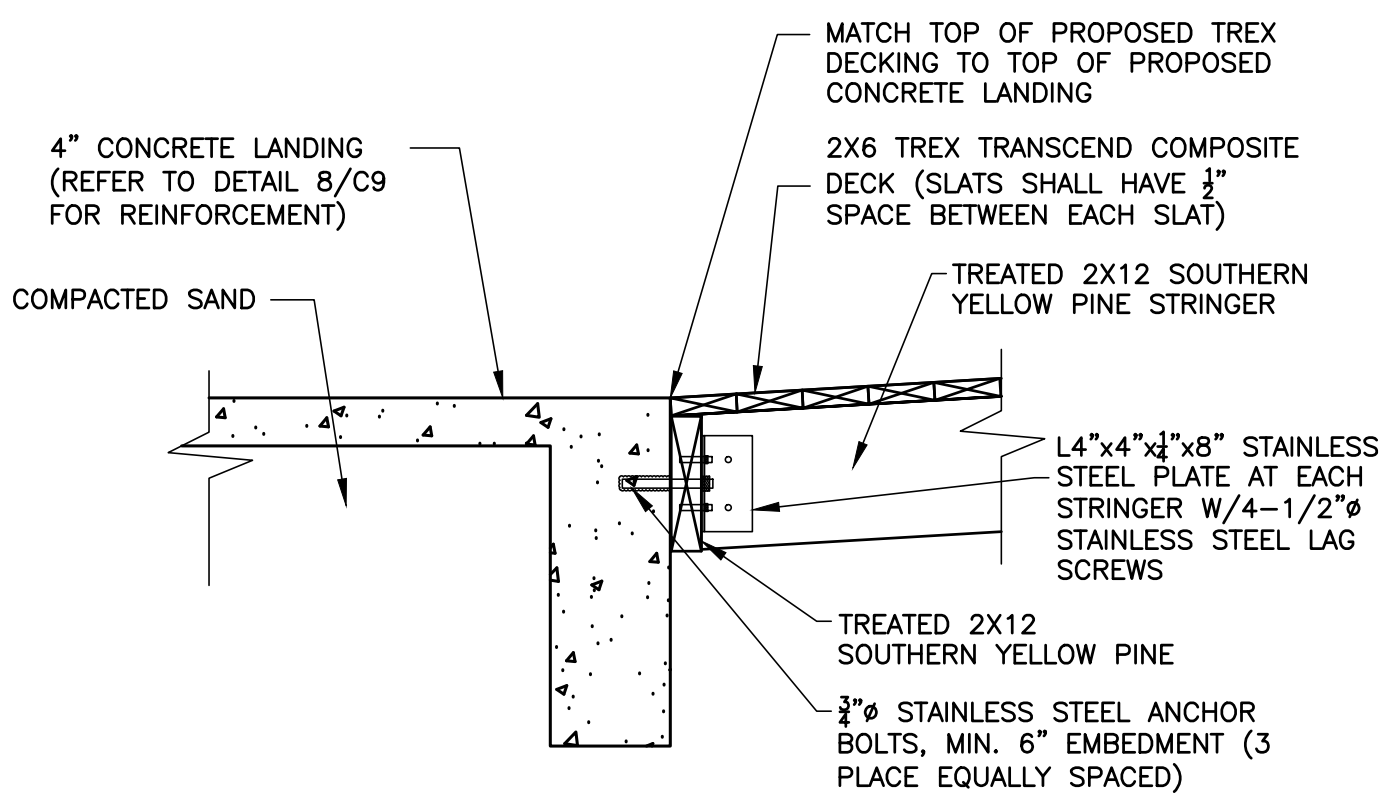
NOTE:
1. REFER TO CIVIL DRAWING C7 FOR GRADING PLAN.
2. REFER TO CIVIL DRAWING C6 FOR STAKING PLAN.
3. DIMENSIONS ARE FROM ϕ TO ϕ OF EACH PILE.
4. 2X2 PICKETS AND HANDRAIL ARE NOT SHOWN FOR CLARITY.



CONSULTANT'S SHEET PROJECT NO. 15450-02	
CITY OF SOUTH PADRE ISLAND A) SEASIDE CIRCLE BEACH ACCESS IMPROVEMENTS BEACH ACCESS POINT #6	
TIMBER WALKOVER PLAN AND PROFILE	
DRAWING NO. S2	
SHEET 14 of 36	

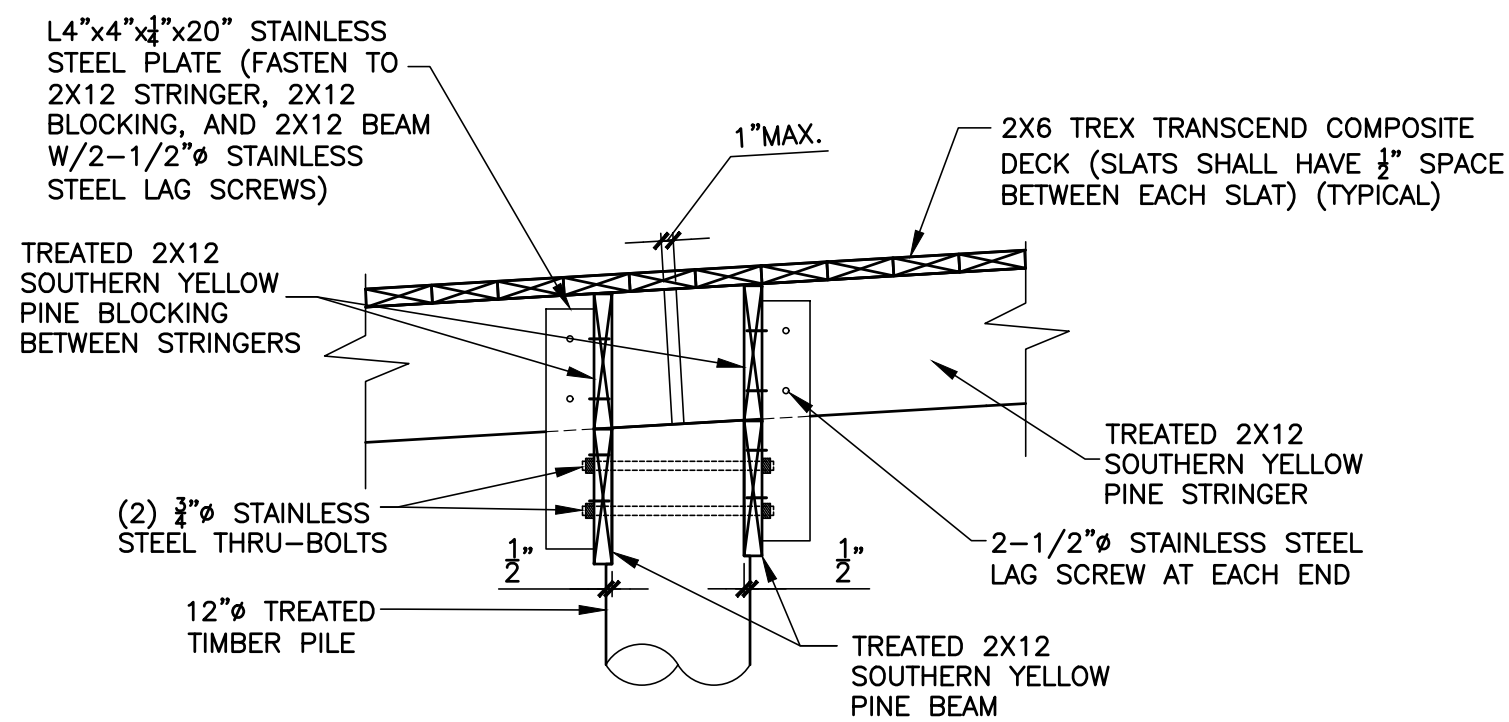
REVISION NO.	DATE	BY	DESCRIPTION
11-21-16		JJ, CM	ADDED GENERAL NOTES AS PER G.L.O. COMMENTS

FILE NAME: F:\2015\City of South Padre Island\Seaside Circle Beach Access Point.dwg LAYOUT NAME: Layout1 PLOTTED: Wednesday, February 01, 2017 - 5:26pm USER: Chontalva



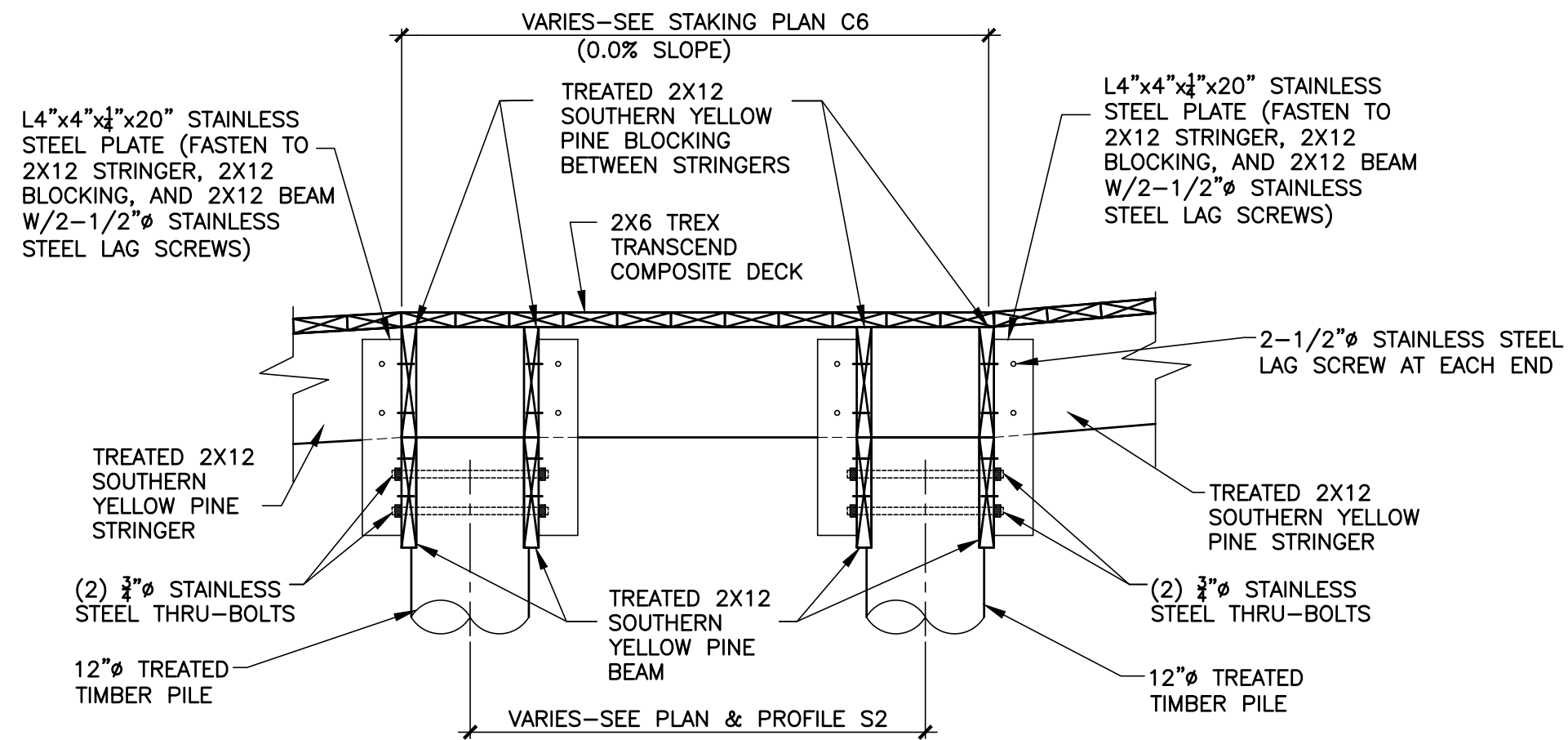
1 CONCRETE SIDEWALK TO TIMBER WALKWAY SECTION

C5, C10, S2
C7 S3
SCALE: 3/4" = 1'-0"



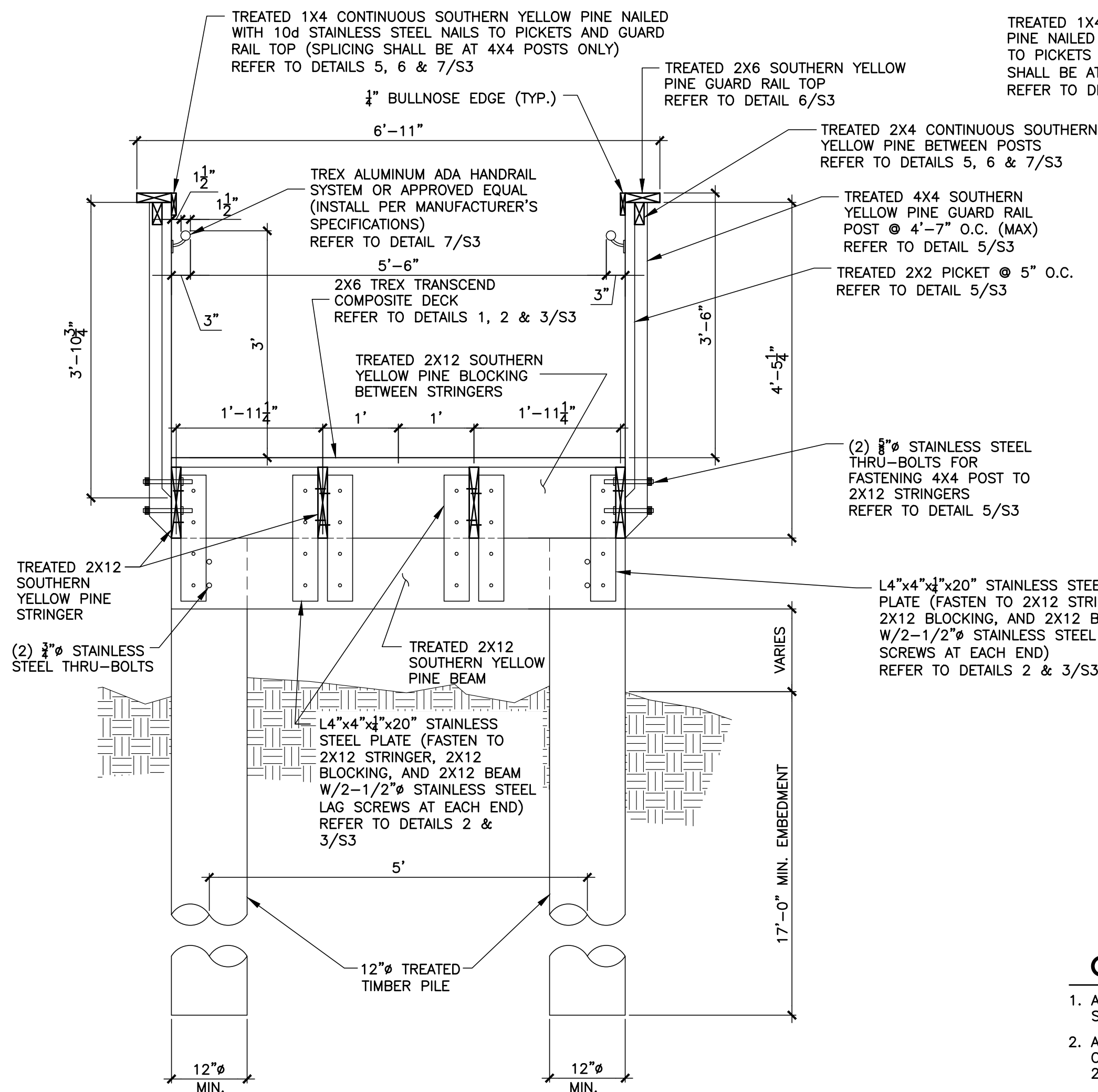
2 TIMBER PILE DETAIL AT RAMP

S2 S3
SCALE: 3/4" = 1'-0"



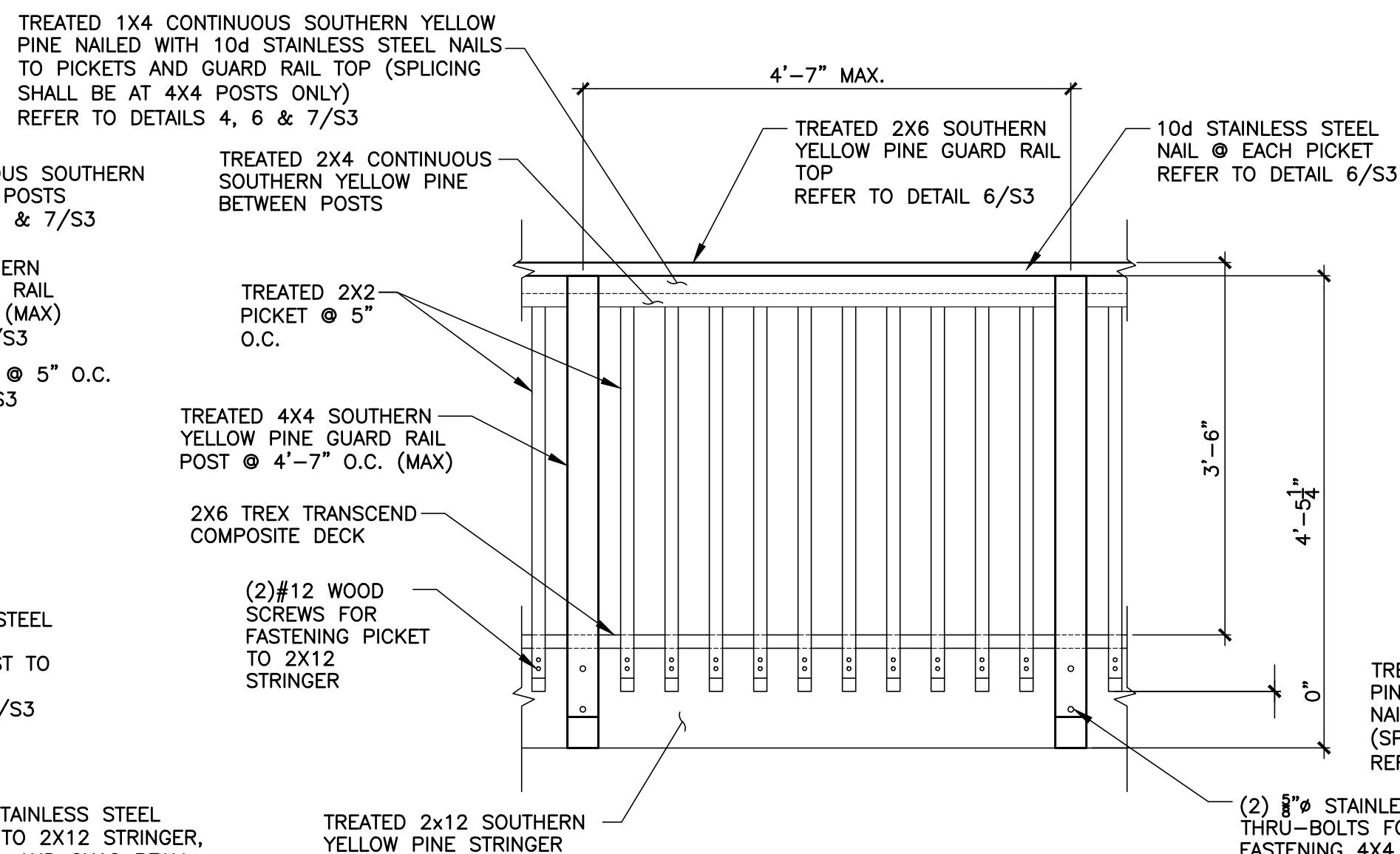
3 TIMBER PILE DETAIL AT LANDING

S2 S3
SCALE: 3/4" = 1'-0"
NOTE:
TREX TRANSCEND COMPOSITE DECKING SLATS
SHALL HAVE A 1/2" SPACE IN BETWEEN CONSECUTIVE
SLATS.



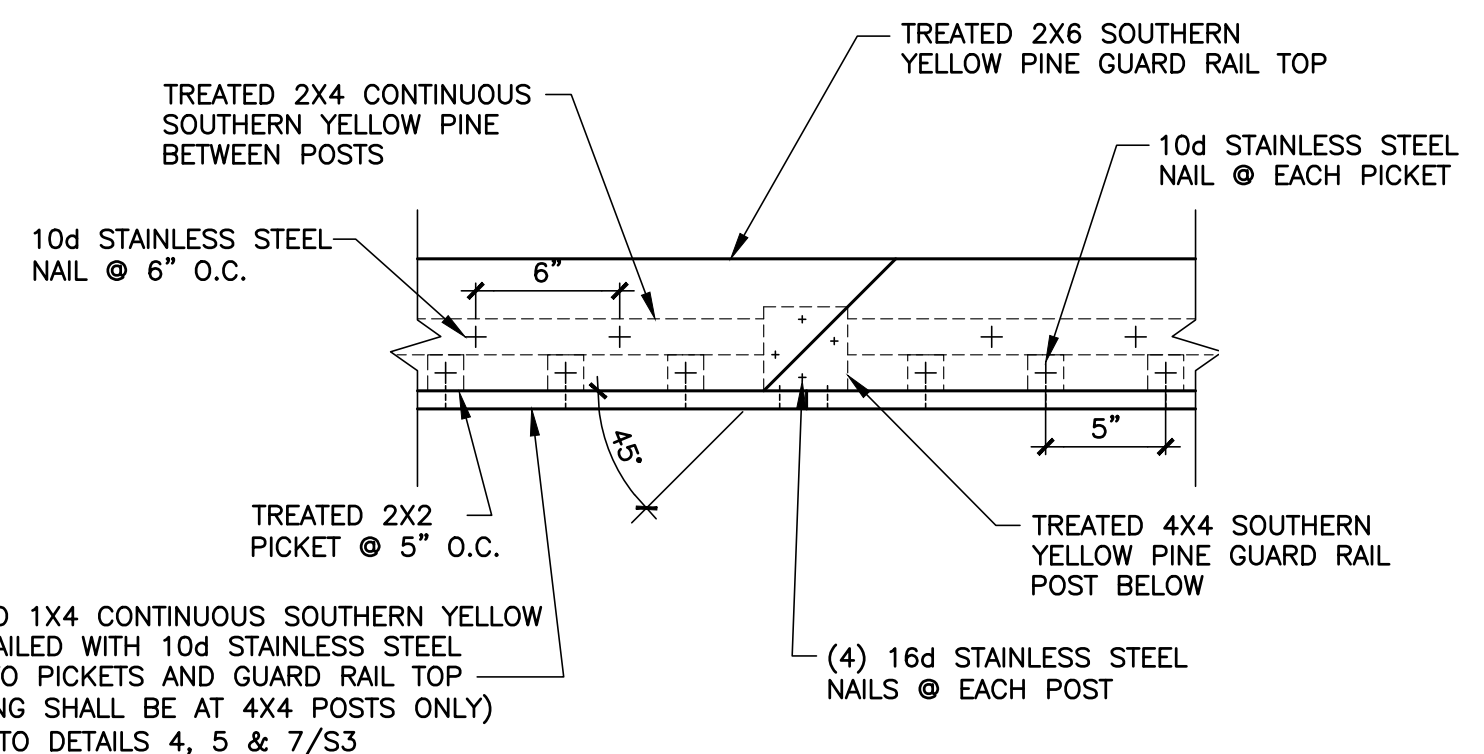
4 TYPICAL WALKOVER SECTION

S2 S3
SCALE: 3/4" = 1'-0"



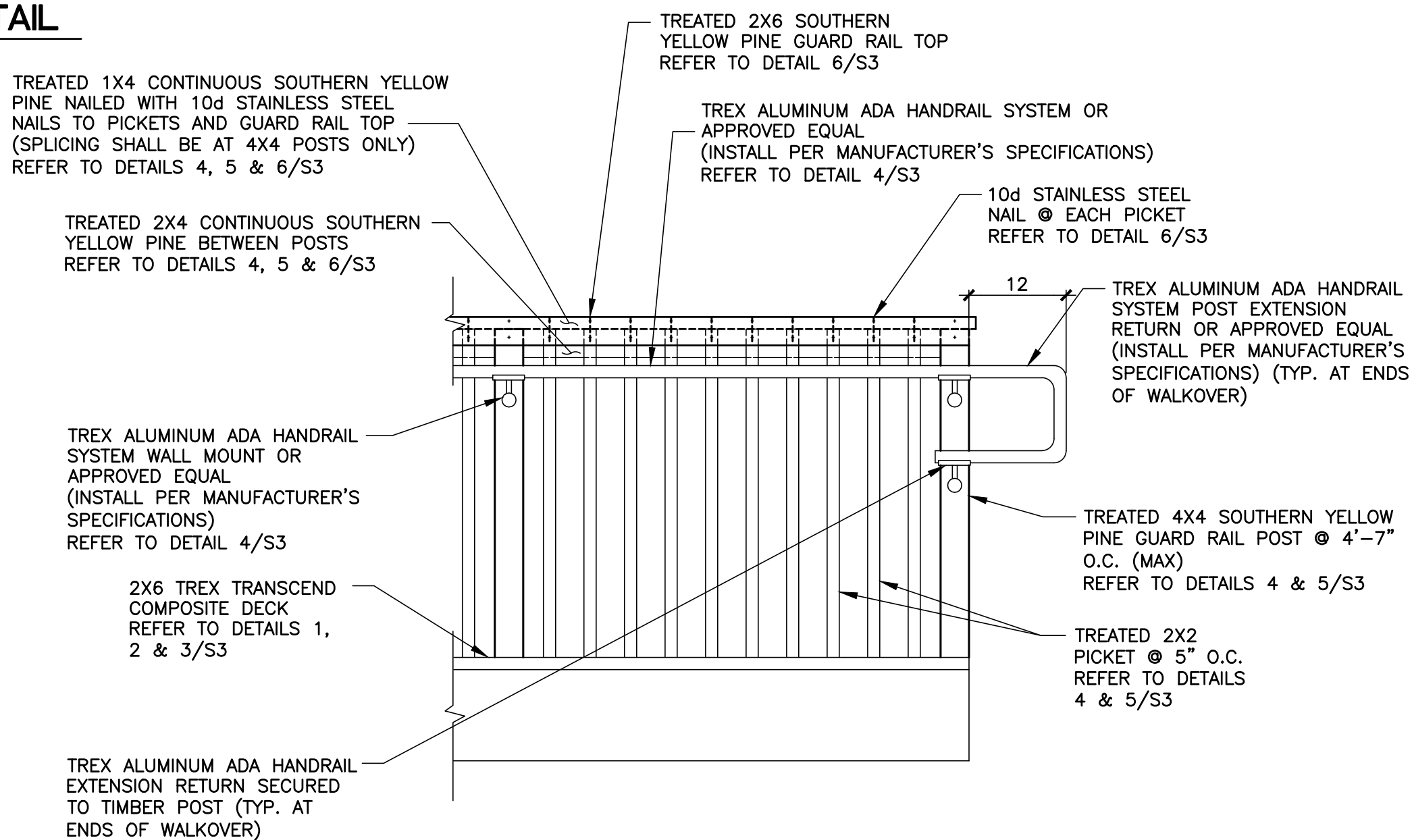
5 TYPICAL GUARD RAIL DETAIL

S3 S3
SCALE: 3/4" = 1'-0"



6 2X6 TOP GUARD RAIL SPLICE DETAIL (TYP.)

S3 S3
SCALE: 1-1/2" = 1'-0"



7 TYPICAL TREX ADA HANDRAIL DETAIL

S3 S3
SCALE: 3/4" = 1'-0"

GENERAL NOTES:

- ALL TIMBER CONSTRUCTION INCLUDING PILING, DECKING AND RAILING SHALL BE IN STRICT ACCORDANCE WITH PROJECT SPECIFICATIONS.
- ALL TIMBER PILING SHALL HAVE A MINIMUM ALLOWABLE COMPRESSIVE STRESS OF 1200 PSI AND BENDING STRESS OF 2400 PSI, IN CONFORMANCE WITH ASTM D25-79 CLASS B.
- ALL PILES SHALL HAVE ENOUGH LENGTH TO ALLOW FOR THE REQUIRED 17 FT OF EMBEDMENT PLUS THE LENGTH NECESSARY TO REACH ITS DECK ELEVATION AS WELL AS HAVE A MINIMUM BUTT DIA. OF 14".
- ALL CONNECTION HARDWARE SHALL BE STAINLESS STEEL.
- NAILS, BOLTS, WASHERS AND ALL OTHER FASTENERS SHALL BE STAINLESS STEEL.
- REFER TO DWG. C6 FOR SITE STAKING PLAN.
- REFER TO DWG. C7 FOR SITE GRADING PLAN.
- ALL TIMBER SHALL BE TREATED (REFER TO S1/TIMBER NOTE 11)
- ALL TREX DECKING PLANKS SHALL BE INSTALLED WITH A 1/2" SPACE BETWEEN ADJACENT PLANKS.

CONSULTANT'S SHEET
PROJECT NO. 15450-02



INTERNATIONAL CONSULTING ENGINEERS
555 N. CARANCAHUA ST. STE. 860
CORPUS CHRISTI, TX 78401
PHONE: 361.926.5805
FAX: 361.926.5806
I.C.E. FIRM REGISTRATION #F-10837



CITY OF SOUTH PADRE ISLAND
A) SEASIDE CIRCLE BEACH ACCESS
IMPROVEMENTS BEACH ACCESS POINT #6

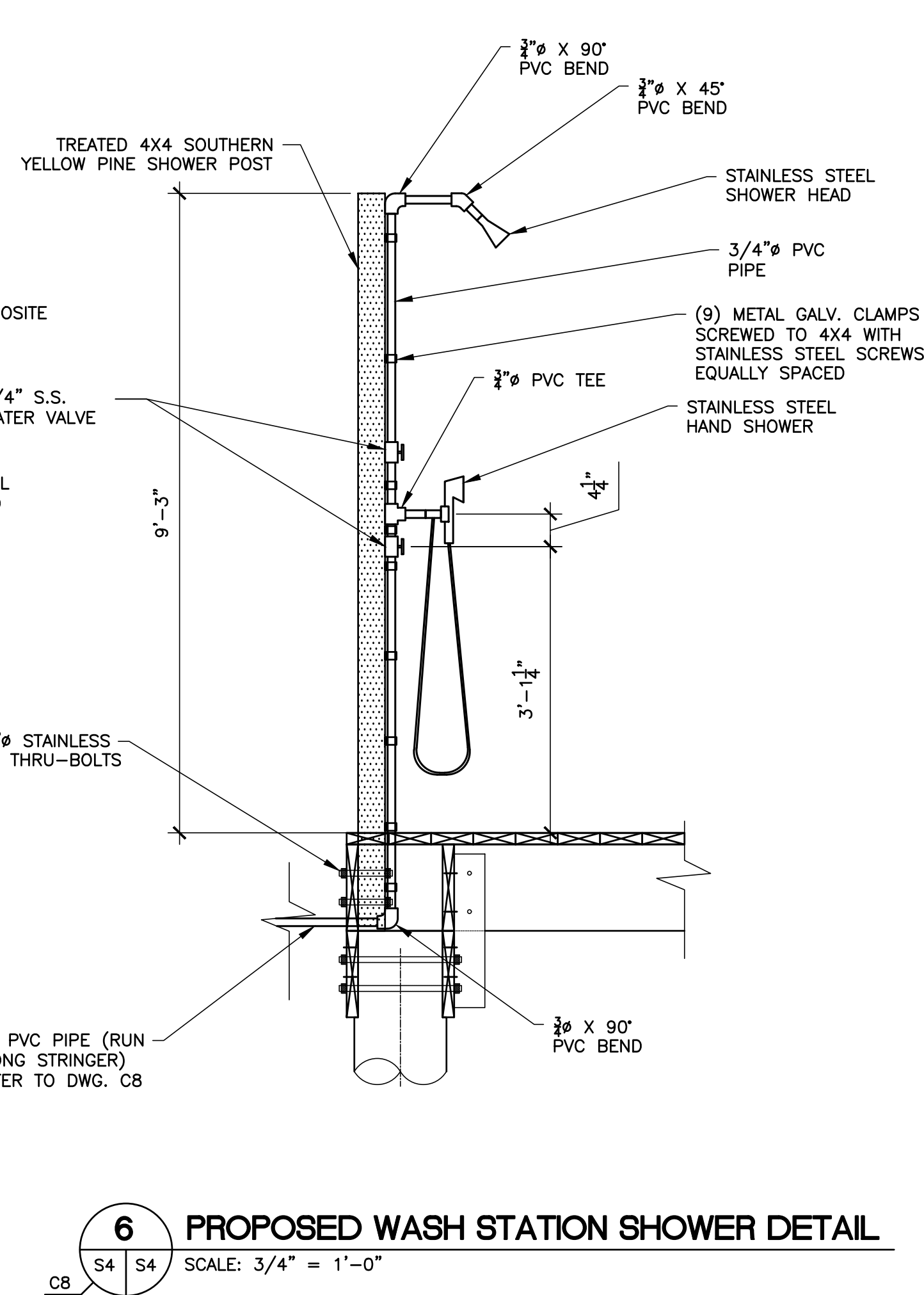
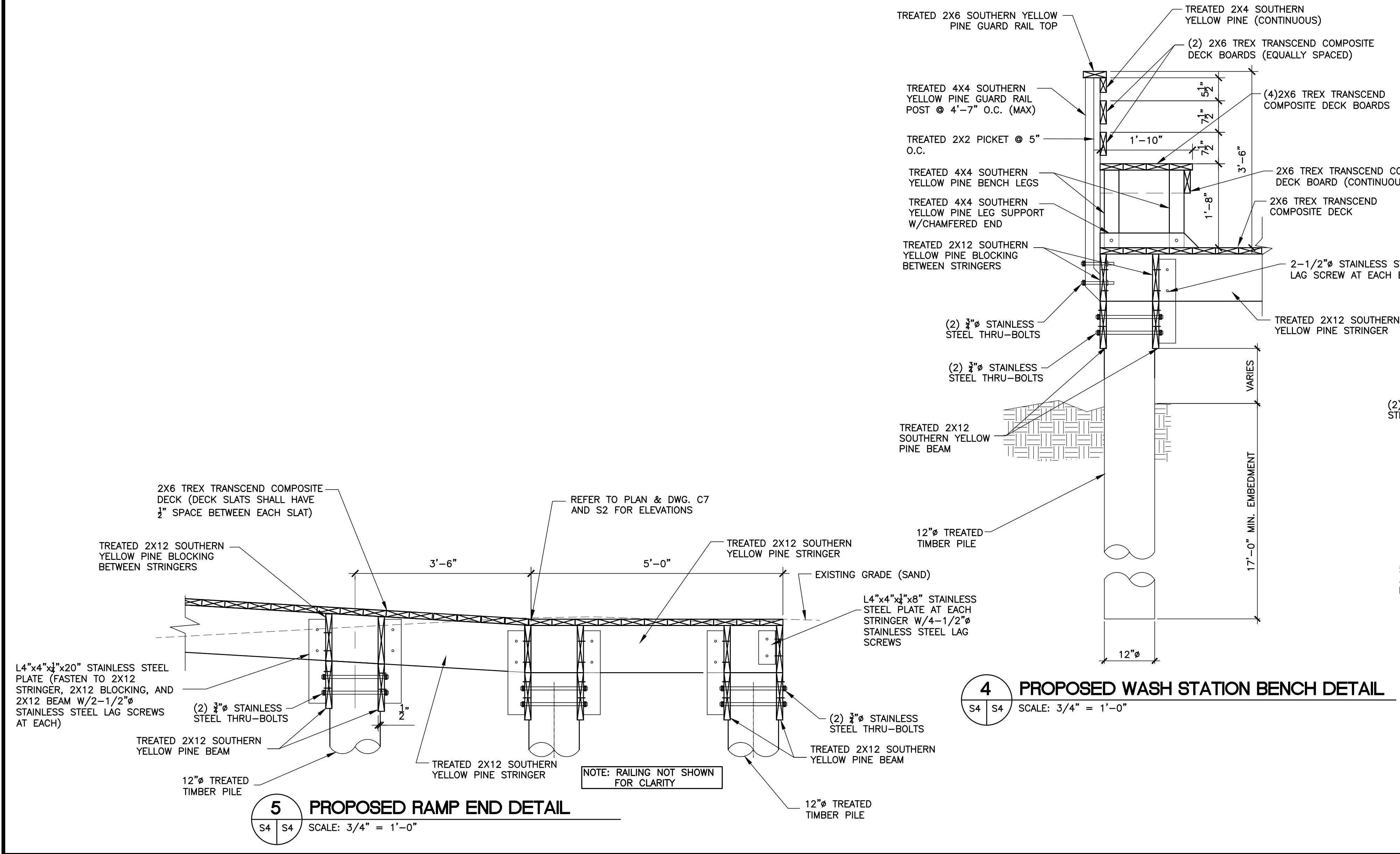
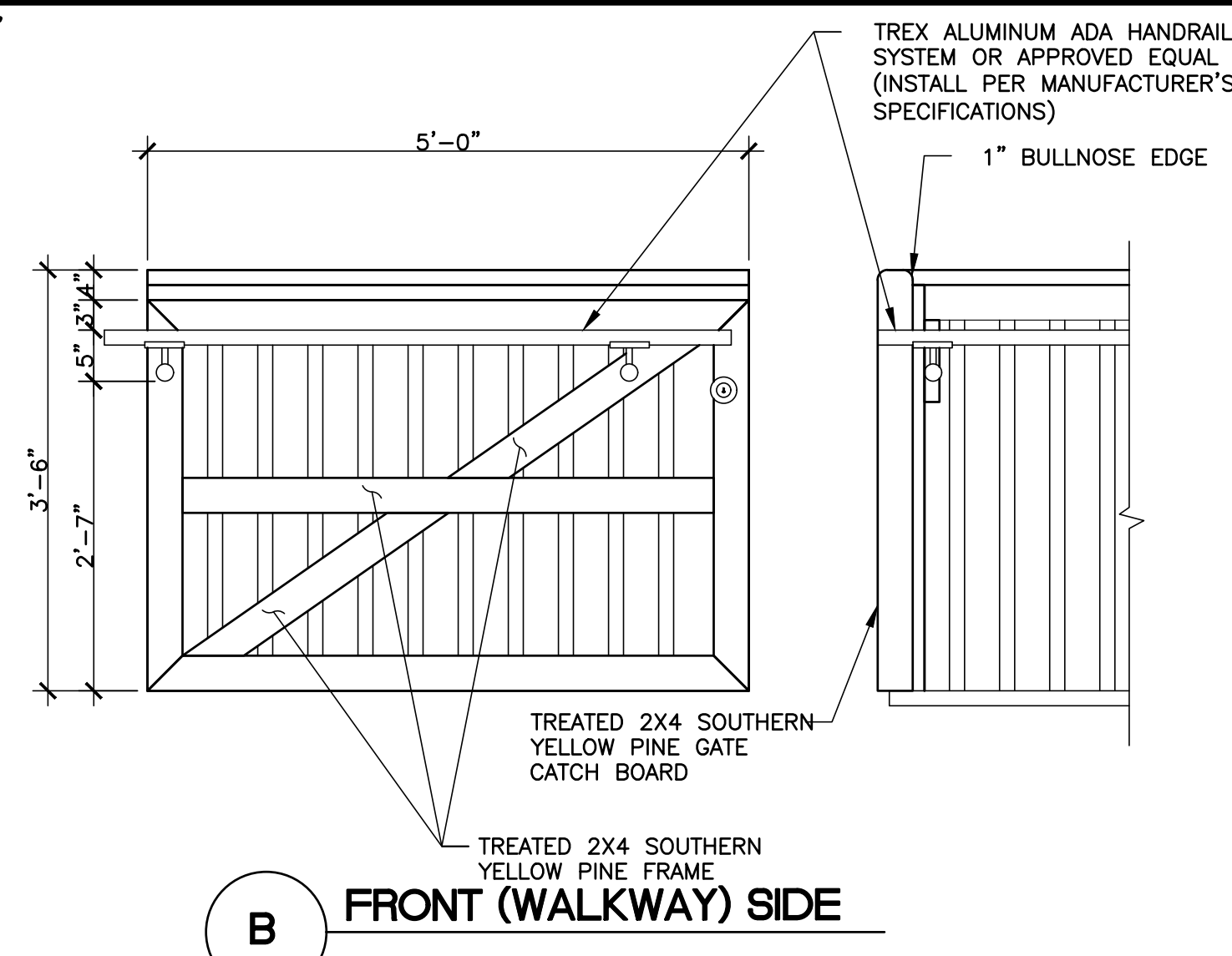
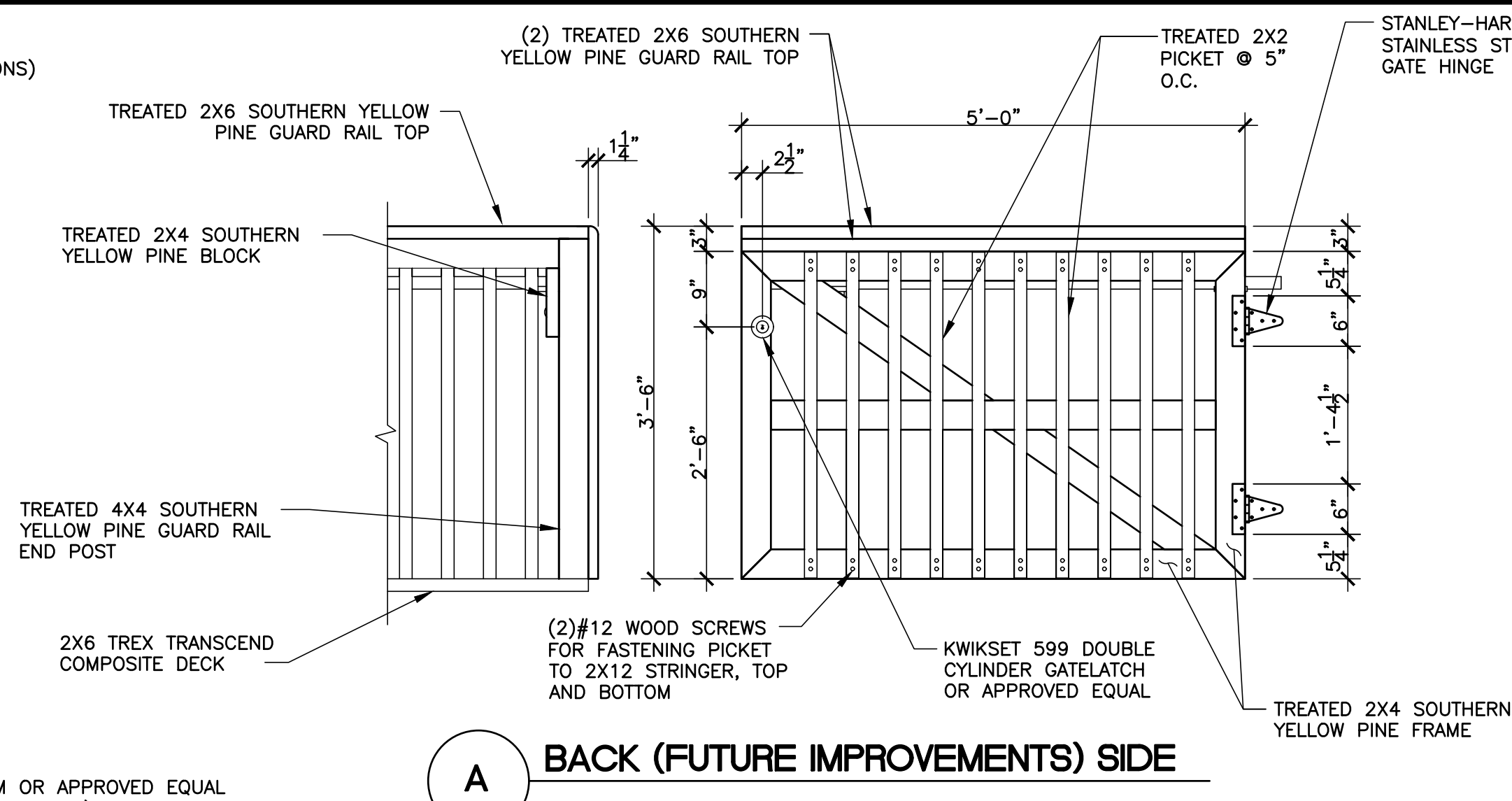
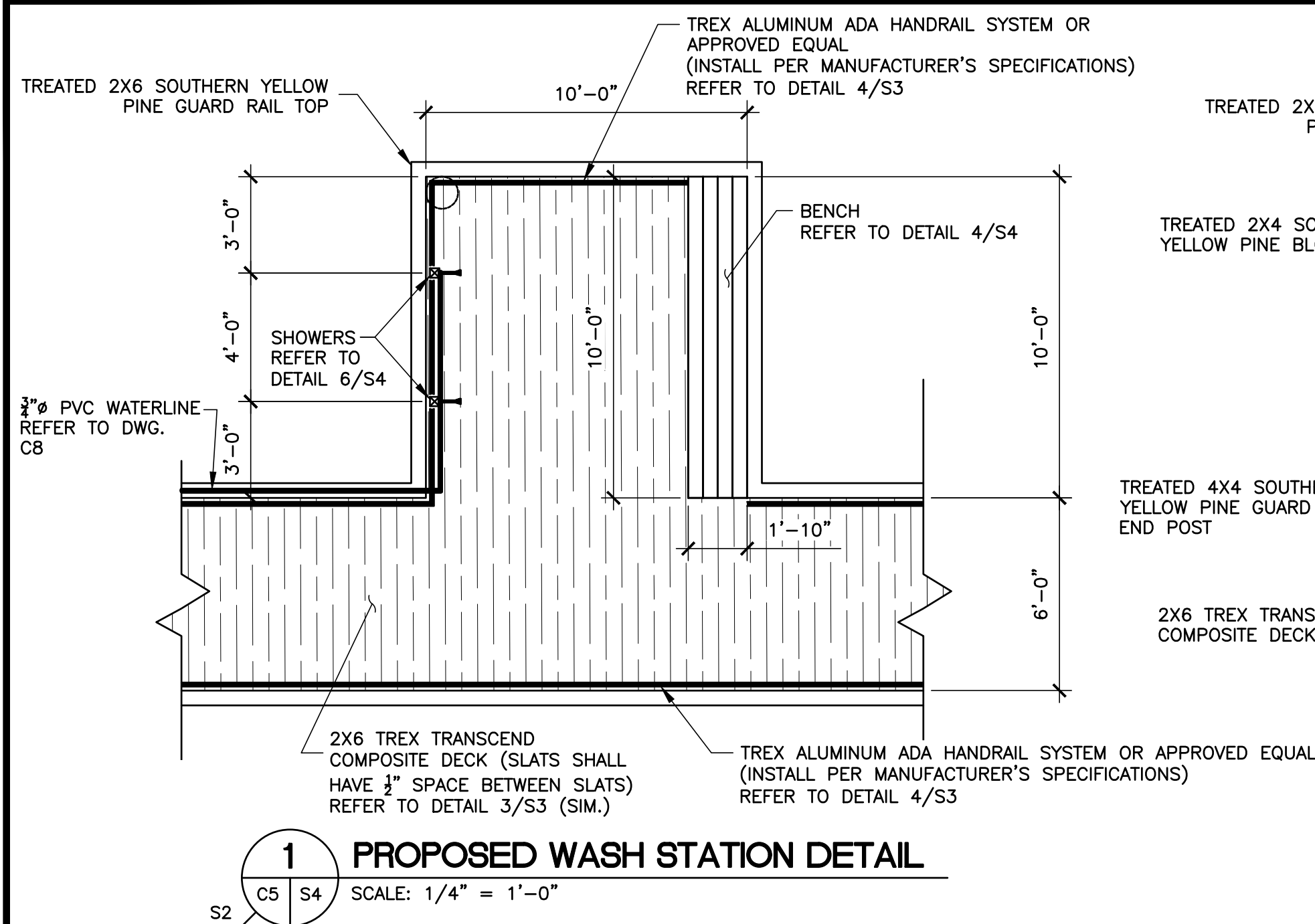
FRAMING DETAILS

DRAWING NO.

S3

SHEET 15 of 36

FILE NAME: F:\2015\City of South Padre Island\Seaside Circle Beach Access Point #6\Drawings\Structural\16-S4-MISCELLANEOUS DETAILS.dwg LAYOUT NAME: Layout1 PLOTTED: Wednesday, February 01, 2017 - 5:27pm USER: CMontalvo



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CONSULTANT'S SHEET
PROJECT NO. 15450-02

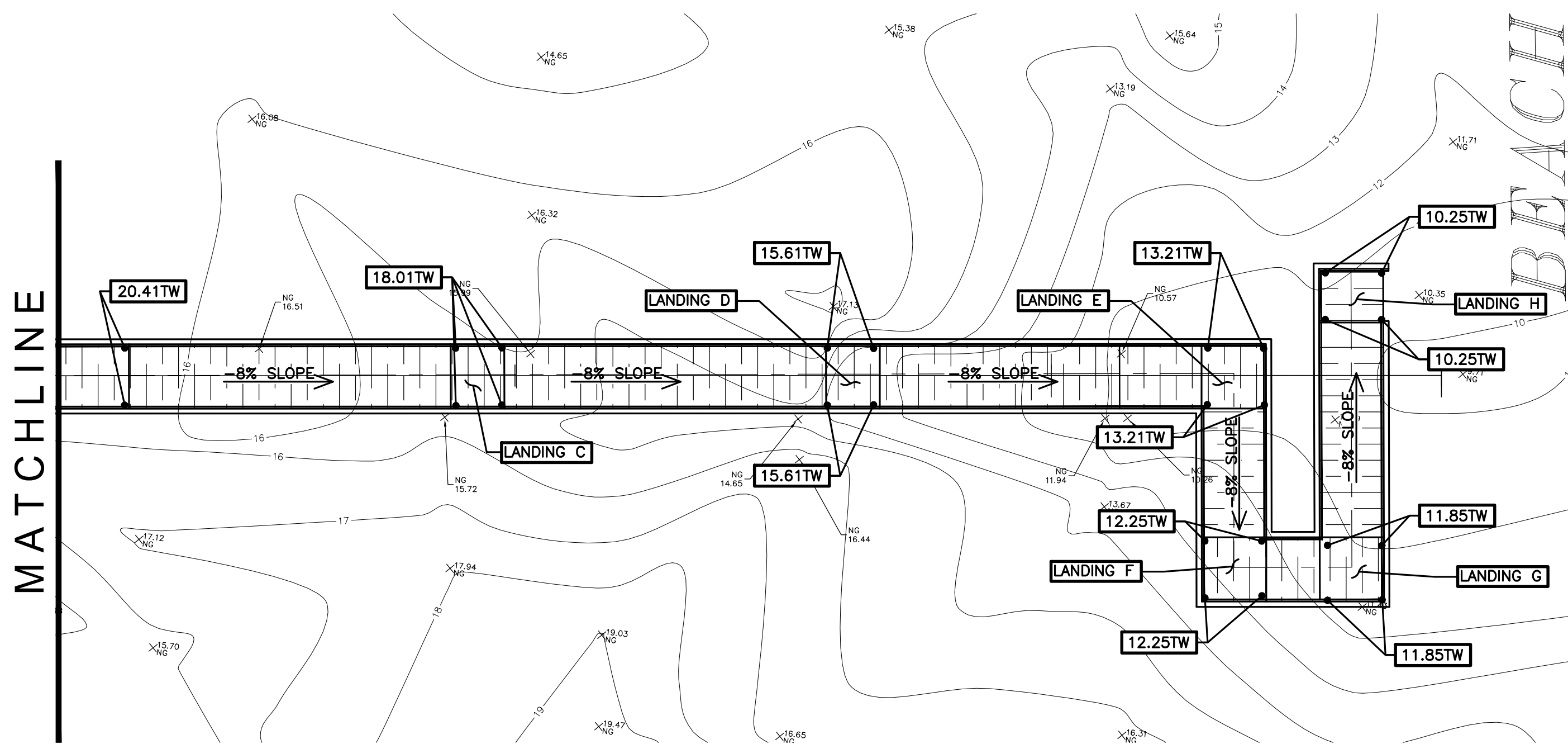
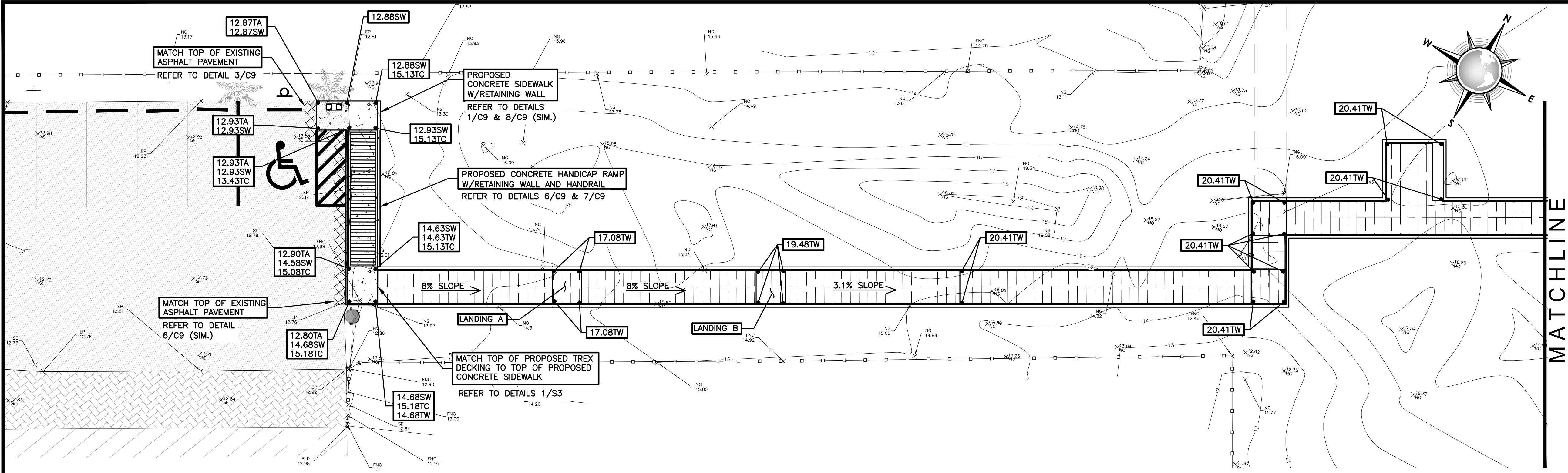
INTERNATIONAL CONSULTING ENGINEERS, INC.
555 N. CARANCAHUA ST. STE. 860
CORPUS CHRISTI, TX 78401
PHONE: 361.926.5805
FAX: 361.926.5806
I.C.E.I. REG. #10837

CITY OF SOUTH PADRE ISLAND
A SEASIDE CIRCLE BEACH ACCESS
IMPROVEMENTS BEACH ACCESS POINT #6
MISCELLANEOUS STRUCTURAL DETAILS

DRAWING NO.
S4

SHEET 16 of 36

FILE NAME: F:\2015\City of South Padre Island\Seaside Circle Beach Access Point #6\Drawings\Civil\08-C7-GRADING PLAN.dwg LAYOUT NAME: Layout11 PLOTTED: Monday, February 06, 2017 - 10:08am USER: C:\Montalvo



GENERAL NOTES:

- CONTRACTOR SHALL COORDINATE ALL EXCAVATION WITH OTHER RELATED WORK SUCH AS NEW CONCRETE SIDEWALK, TIMBER RAMPS AND WALKWAYS, THAT SHOW EXTENT OF NEW CONSTRUCTION.
- CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE LOCATION OF EXISTING UNDERGROUND UTILITIES NOT SHOWN MUST BE FIELD VERIFIED.
- CONTRACTOR SHALL BACKFILL ALL VOIDS LEFT BY DEMOLITION AND COMPACT IN A MANNER SUITABLE TO FINAL IMPROVEMENTS USING EXCAVATED MATERIAL.
- ALL DEMOLISHED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE PROMPTLY REMOVED FROM THE SITE UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- ANY DAMAGE TO EXISTING PAVEMENT, DRAINAGE, PRIVATE UTILITY, OR OTHER STRUCTURES SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITION AT CONTRACTOR'S EXPENSE.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THE SAFETY OF THE PEDESTRIANS AND ALL VEHICULAR TRAFFIC FROM CONSTRUCTION RELATED ACTIVITIES DURING THE COURSE OF THIS PROJECT. A FENCE SHALL BE PROVIDED WHICH COMPLETELY ENCLOSES THE WORK SITE 24 HOURS A DAY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION AND SAFETY OF THE WORK, WORKERS, SUBCONTRACTORS, MATERIALS, AND EQUIPMENT.
- FOR DUNE PROFILE AND GRADES, REFER TO DRAWING S2.
- CONTRACTOR SHALL USE EXCAVATED MATERIAL AS FILL MATERIAL FOR THE SIDEWALK.



PROPOSED LEGEND

- | | |
|---------|------------------------------------|
| 14.50SW | TOP OF CONCRETE SIDEWALK ELEVATION |
| 17.00TW | TOP OF TIMBER WALKWAY ELEVATION |
| 14.50TA | TOP OF ASPHALT REPAIR ELEVATION |
| 17.00TC | TOP OF CURB ELEVATION |
| 17.00TF | TOP OF FENCE ELEVATION |
| 00.0 | FINISHED GRADE ELEVATION |
| | PROPOSED CONCRETE SIDEWALK |
| | PROPOSED TIMBER WALKOVER |
| | PROPOSED ASPHALT REPAIR |
| | SLOPE DIRECTION |
| | PROPOSED SIGN |
| | PROPOSED WHEEL STOP |

CONSULTANT'S SHEET
PROJECT NO. 15450-02

THIS DOCUMENT IS
RELEASED FOR THE
PURPOSE OF REVIEW
UNDER THE AUTHORITY
OF JESUS J. JIMENEZ
P.E. # 100765
ON 2/06/17
IT IS NOT TO BE USED
FOR ANY OTHER
PURPOSE.

IE
INTERNATIONAL CONSULTING ENGINEERS
PHONE: 361.926.5805 555 N. CARANCAHUA ST. STE. 860
FAX: 361.926.5806 CORPUS CHRISTI, TX 78401
I.C.E. FIRM REGISTRATION #F-10837

South Padre Island

CITY OF SOUTH PADRE ISLAND
A) SEASIDE CIRCLE BEACH ACCESS
IMPROVEMENTS BEACH ACCESS POINT #6

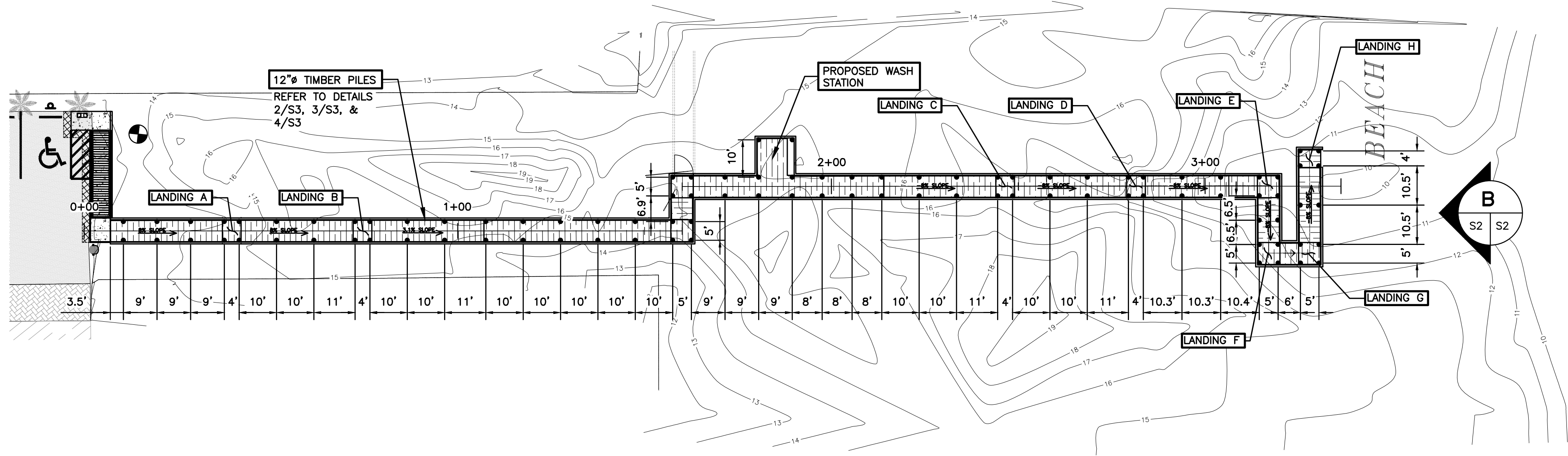
GRADING PLAN

DRAWING NO.

C7

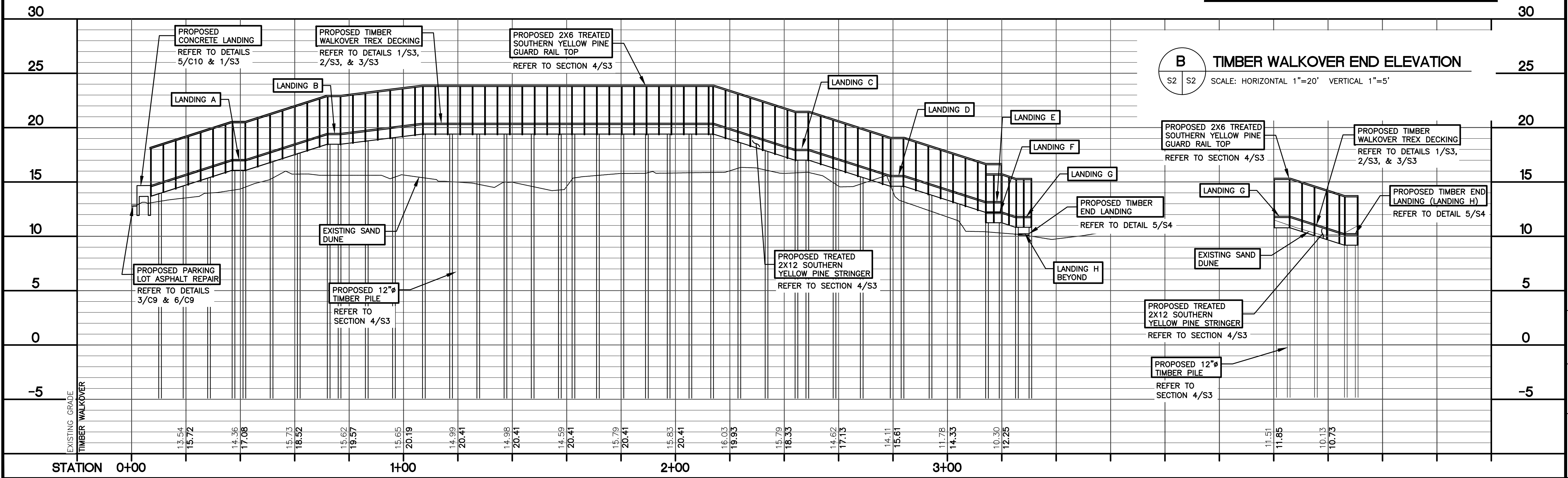
SHEET 8 of 36

FILE NAME: F:\2015\City of South Padre Island\Seaside Circle Beach Access Point #6\Drawings\Structural\14-S2-WALKOVER PLAN AND PROFILE.dwg LAYOUT NAME: PLAN AND PROFILE PLOTTED: Monday, February 06, 2017 - 10:06am USER: Chontalio

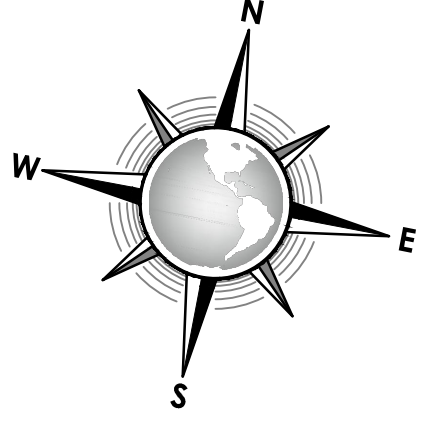


A BEACH TIMBER WALKOVER PLAN AND PROFILE
S2 S2 SCALE: HORIZONTAL 1"=20' VERTICAL 1"=5'

NOTE:
1. REFER TO CIVIL DRAWING C7 FOR GRADING PLAN.
2. REFER TO CIVIL DRAWING C6 FOR STAKING PLAN.
3. DIMENSIONS ARE FROM ϕ TO ϕ OF EACH PILE.
4. 2X2 PICKETS AND HANDRAIL ARE NOT SHOWN FOR CLARITY.



B TIMBER WALKOVER END ELEVATION
S2 S2 SCALE: HORIZONTAL 1"=20' VERTICAL 1"=5'



CONSULTANT'S SHEET
PROJECT NO. 15450-02

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P.E. # 100765
ON 2/06/17
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PHONE: 361.926.5805 555 N. CARANCAHUA ST. STE. 860
FAX: 361.926.5806 CORPUS CHRISTI, TX 78401
I.C.E. FIRM REGISTRATION #F-10837



CITY OF SOUTH PADRE ISLAND
A) SEASIDE CIRCLE BEACH ACCESS
IMPROVEMENTS BEACH ACCESS POINT #6
TIMBER WALKOVER
PLAN AND PROFILE

DRAWING NO.
S2
SHEET 14 of 36

REVISION NO.	DATE	BY	DESCRIPTION

SHORELINE TASK FORCE AGENDA REQUEST FORM

MEETING DATE: February 13, 2017

ITEM: 7

TO: Shoreline Task Force

FROM: Brandon Hill, Shoreline Management Director

ITEM DESCRIPTION:

Discussion and possible action on Pearl Mitigation Plan with GLO comments.

DISCUSSION:

See attachment



TEXAS GENERAL LAND OFFICE
GEORGE P. BUSH, COMMISSIONER

February 7, 2017

Via Electronic Mail

Brandon Hill
Shoreline Management Department
City of South Padre Island
P.O Box 3410
South Padre Island, Texas 78597-3410

Beachfront Construction Certificate & Dune Protection Permit in the City of South Padre Island

Site Address: 310 Padre Boulevard, South Padre Island
Legal Description: Lot 1, Block 1, South Padre Island Beach Resort
Lot Applicant: City of South Padre Island c/o Brandon Hill
GLO ID No.: BDSPI-17-0027

Dear Mr. Hill:

The General Land Office has reviewed the application for a dune protection permit and beachfront construction certificate for the above-referenced location. The City proposes to plant at least 5,000 square feet of dune vegetation to mitigate for unauthorized adverse effects to dune vegetation during construction of the Walkover at the Pearl Beach Access CMP Project 15-041-000-8385. According to the Bureau of Economic Geology, the proposed construction is located in an area that is accreting.

Based on the materials forwarded to our office for review, we have the following comments:

- The City must ensure the legal owner of the property has authorized the proposed mitigation prior to issuing the beachfront construction certificate and dune protection permit.
- The City must use indigenous vegetation that will achieve the same protective capability as the surrounding natural dunes.¹
- The City shall provide written notification to the GLO after determining that the mitigation is complete. The GLO may conduct a field inspection to verify compliance.²
- Construction activities must not impact the public's ability to access or use the beach.

¹ 31 Tex. Admin. Code § 15.7(e)(4).

² 31 Tex. Admin. Code § 15.4(g)(4).

February 7, 2017

Page 2 of 2

If you have any questions, please contact me by phone at (512) 463-0413 or by email at natalie.bell@glo.texas.gov.

Sincerely,

A handwritten signature in black ink that reads "Natalie Bell". The signature is written in a cursive, flowing style with a large initial "N" and a long, sweeping underline.

Natalie Bell
Beach Access & Dune Protection Program
Coastal Resources Division
Texas General Land Office

MEMORANDUM

TO: Shoreline Task Force
Natalie Bell, General Land Office
Carly Vaughn, General Land Office

FROM: Brandon N. Hill, Director of Shoreline Management

DATE: January 27, 2017

RE: Preliminary determination on the Pearl walkover

The enclosed materials present plans for the mitigation of dune sands and vegetation incurred during the construction of the Pearl public beach access walkover. The Shoreline Management Department believes the calculations presented here for dune sands and vegetation displaced by the City's efforts are sound, and the plans for mitigating these side effects will help to rectify any biophysical problems caused by the walkover's construction.

With consideration given to conformance with TAC regulations our preliminary determination is that:

1. The proposed activity will not reduce the size of the public beach. [TAC 15.5 (b)(1)]
2. The proposed activity does not appear to involve construction upon the public beach. [TAC 15.5 (c)(1)]
3. The proposed activity will not encroach upon the public beach. [TAC 15.5 (c)(1)]
4. The proposed activity will not close any existing public beach accesses within the area, nor will the construction close or prevent the use of any existing public beach parking spaces. [TAC 15.5 (d)(1)]

With consideration given to the City's *Dune Protection and Beach Renourishment and Access Plan* [B&D Ord. Section 22-10]:

1. The proposed activity will not result in the potential for increased flood damage to the subject property or adjacent properties.
2. The proposed activity will result in minimal run-off or drainage patterns that will aggravate erosion on and off the site.
3. The proposed activity will cause minimal changes to the existing dune hydrology east of the Historic Building Line.
4. The proposed activity will result in minimal adverse effects on dune complexes of vegetation.
5. The proposed activity will not significantly increase the potential for washover or blowouts.



Brandon N. Hill

Project Mitigation Overview

The Pearl Walkover extends roughly 300 ft. from the HBL (seawall) to the LOV. The construction of this walkover involved the displacement of roughly 5000 ft² of vegetation-covered dune and 5640 ft³ of dune sands. Since construction at the site ceased, wind-blown sand has filled in much of the space between the ground and walkover surface (designed to be 3') and vegetation has grown in along the edges of the walkover so that not much space is left for use as mitigation for displaced sand and grasses.

The 5640 ft³ of disturbed sand remained on the property and has since become vegetated. After seeing this site Natalie Bell and Angie Sunlin remarked that bringing in additional sediment would not be necessary. The City has met with property owner Mark Langsdale and established a shared desire to propagate a strong stand of dune vegetation on the property. The two areas targeted for planting are the emerging dune just south of the walkover and the windblown sand area between the Pearl's property walkover and their retaining wall. These two locations are prime for dune vegetation to become established in.

This is a benchmark for the city moving forward. We hope to allow heavily maintained areas of the shoreline to return to natural state. Due to the importance of the success of this planting the city has chosen to employ Steve Mercer of Coastal Transplants to perform the work. City staff will irrigate the surface repeatedly before the planting takes place. Mr. Mercer will be planting a total of 5000 ft² of sea oats and bitter panicum with one culm planted on center 1' apart. This spacing and density has been used repeatedly in USACE studies and shown to be more cost effective than placing two or three culms at one, in which case culms often compete against one another and mortality rates are higher. The planting will be scheduled for March and ought to take a total of three days to complete. The plants will be watered again at seven days after planting has concluded. The areas will be roped off utilizing PVC posts and marine grade rope. This will discourage foot traffic over the sensitive areas. Keep off the Dune signs will also be posted to ensure the clear intent of the plantings. The areas selected for planting can be seen in the attached photograph. Due to some technical issues a properly formatted map was not obtainable at this time. The green polygons represent the areas that have been identified targets for planting. While this aerial does not show the current vegetation on the lot these polygons reflect where there is a need. As you can see in the table there is well over 6,000 ft² that has been observed. The city will be prioritizing the two largest polygons as those have the greatest need for vegetative stabilization.

Deliverables:

The city shall provide the plants and professional company which will handle this project

The city will protect and monitor the health of the plots

The city will provide before, during and after photographs of the planting areas.

The city will provide the GLO with a final report once the project is completed.



Dune excavated areas *January 2016*

- Areas shown in red were excavated to make room for the Pearl public beach access walkover
- square footage of vegetation displaced = 5000 ft²
 - cubic footage of sand displaced = 5640 ft³

Calculating Volume

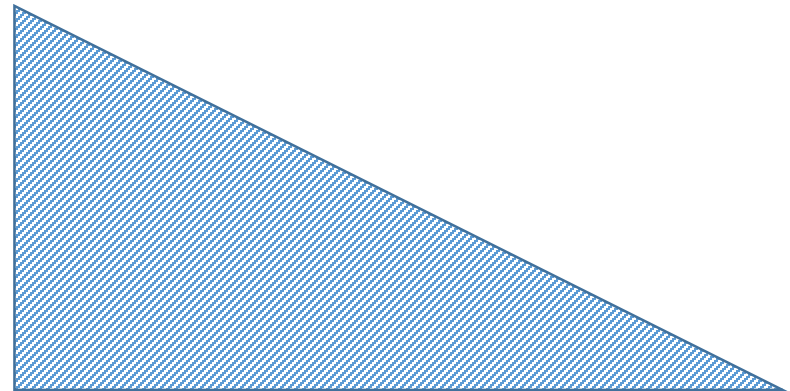
Calculating the volume of sand displaced by this project proved difficult, as the ground surface has clearly shifted significantly since construction and site conditions are not accurately reflected from the construction drawings.

Using the original surveys, we constructed a basic model of the topography prior to walkover construction. We then used the drawings to calculate the vertical amount of material removed through this project. This number varied from zero to nine feet.

The area removed in walkover construction, when viewed as a cross section, is roughly triangular. The difference in elevation between the pre- and post-construction conditions represents the height of the triangle.

**Graded to 2:1
slope**

**removed during
construction**



Calculating Volume

Calculating the volume of sand displaced by this project proved difficult, as the ground surface has clearly shifted significantly since construction and site conditions are not accurately reflected from the construction drawings.

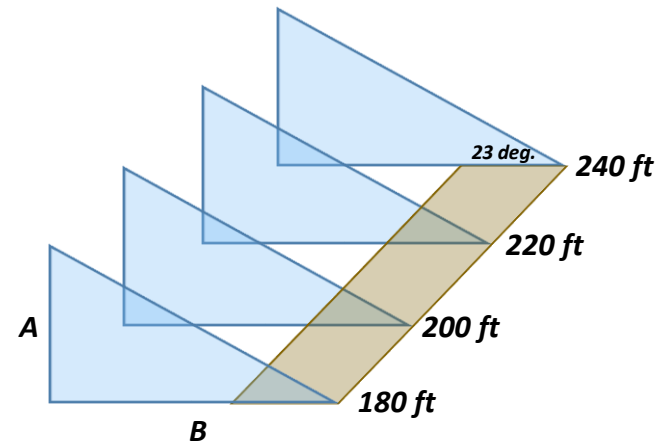
Using the original surveys, we constructed a basic model of the topography prior to walkover construction. We then used the drawings to calculate the vertical amount of material removed through this project. This number varied from zero to nine feet.

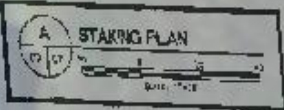
The area removed in walkover construction, when viewed as a cross section, is roughly triangular. The difference in elevation between the pre- and post-construction conditions represents the height of the triangle.

The sand was sloped at 26 degrees, according to blueprints. This means if the vertical distance removed was six feet, the horizontal distance scraped down would be twelve feet.

With measurements of the length (**B**) and height (**A**) of the irregular triangular prism representing the displaced sand, we can calculate the volume.

<u>L (ft)</u>	<u>E₁ (ft)</u>	<u>E₂ (ft)</u>	<u>A</u>	<u>B</u>	<u>Vol.</u>
180	10	15	5	10	500
200	16	15	1	2	20
220	20	15	5	10	500
240	22	13	9	18	1620
260	20	12	8	16	1280
280	16	11	5	10	500
300	13	9	4	8	320
320	14	8	6	12	720
340	12	9	3	6	180
360	9	9	0	0	0
TOTAL VOLUME					5640





 Reply  Reply All  Forward



Tue 12/20/2016 8:15 AM

Sales <sales@coastaltransplants.com>

Pearl plants

To Brandon Hill

 You forwarded this message on 12/20/2016 8:21 AM.

Brandon,

The cost for installed plants for the Pearl mitigation is \$4375.00. This includes everything except water and approximately 2500 gallons will be required. More if additional irrigation is required after installation week. This will include two species - sea oats and bitter panicum. This will include fertilization at installation as follow up fertilizations throughout the growing season.

This does not include permits and fees, underground obstructions, parking or public safety barriers if required by the pearl or city. (none of this should be an issue)

Steve Mercer
Coastal Transplants
910-431-9814

SHORELINE TASK FORCE AGENDA REQUEST FORM

MEETING DATE: February 13, 2017

ITEM: 8

TO: Shoreline Task Force

FROM: Brandon Hill, Shoreline Management Director

ITEM DESCRIPTION:

Discussion and possible action on 5308 Gulf Blvd beach and dune permit application.

DISCUSSION:

See attachment.



Beach & Dune Application

City of South Padre Island
4601 Padre Blvd.
South Padre Island, TX 78597
Phone: (956) 761-3044
Fax: (956) 761-3898

Site for Proposed Work

Legal Description:

Lot 8, Block 170, Padre Beach section XI, a subdivision in the town of South Padre Island, Cameron County, Texas

Physical Address:

5308 Gulf Blvd.

Property Owner Information

Name: Steven P. Egan
Mailing Address: 8405 N. 2nd
City: McAllen State: TX.
Zip: 78504 Country: USA
Phone Number: _____
Fax Number: _____
E-Mail Address: _____

Applicant / Agent for Owner

Name: RGV Construction, LLC Tony Flores
Mailing Address: P.O. Box 720137
City: McAllen State: TX
Zip: 78504 Country: USA
Phone Number: (956) 212-4114
Fax Number: (956) 972-1924
E-Mail Address: rgvconstructionllc@gmail.com

I / We, owners of the above-mentioned property, authorize the applicant stated above, to act in my behalf in order to acquire a Beach and Dune permit for the construction proposed below. (owner initials here _____)

Owner(s) Signature(s): _____
Date: _____

Applicant Signature: [Signature]
Date: 11/31/17

Project Description

Describe with as much as detail as possible, the construction proposed. If more room is needed, please include an additional page. Include the number of habitable units, amenities, swimming pools, fences, kinds of fences, whether footings and/or retaining walls will be installed, and locations of proposed landscaping and parking

Removal of current driveway and reinstall with grass strips

Total Square Footage of Footprint of Habitable Structure: 1

Total Area of Impervious Surface (i.e. retaining walls, walkways, drives, patios, etc.): _____

Percentage Impervious Surface [(impervious surface / habitable footprint) * 100]: _____

Please Note: the percentage of impervious surface cannot exceed 5% in an eroding area.

Approximate Duration of Construction: 2 weeks

Financial Plan for the Removal of All Hard Structures

All properties which are allowed to build retaining walls on their property are allowed to do so with the condition that a financial plan for the removal of the retaining wall is submitted to the Public Works Department of the City of South Padre Island. Removal of the retaining wall at the owner's expense may be required if/once the retaining wall comes into regular contact with wave action for twenty (20) out of thirty (30) consecutive days. The City accepts the submission of a Retaining Wall Covenant, or other financial guarantee, insuring the removal of the retaining wall if the required conditions are met.

Type of Plan Submitted: _____ Date Submitted: _____

Drainage

Describe the impact that the proposed construction will have on the natural drainage pattern on the site and adjacent lots.

- ☒ No change in the drainage on site.
- ☐ The proposed construction will change the grading and the drainage on the subject property. (An explanation will be required detailing where the water will drain.)

Explanation / Other Information: _____

Impacts to Beach / Dune System

Answer each question as completely as possible in narrative form

1. What damage will this proposed construction have on the dune vegetation located at the project site?

- ☒ No damage to dune vegetation whatsoever.
- ☐ The proposed construction will impact _____ % of the dune vegetation site. (An explanation of the "impact" will be required.)
- ☐ The proposed construction will require the removal and relocation of _____ % of the dune vegetation on site. (The submission of a mitigation plan will be required.)

Explanation / Other Information: _____

2. How will the proposed construction alter the dune size/shape at the project site?

- ☒ No change to dune size/shape whatsoever.
- ☐ The proposed construction will change _____ % of the size/shape of dunes on site. (Details will be required.)
- ☐ The proposed construction will require the removal and relocation of _____ % of the dunes on site. (The submission of a mitigation plan will be required.)

Explanation / Other Information: _____

3. How will the proposed construction change the hydrology of the dunes at the project site?

- ☒ No change to dune hydrology whatsoever.
- ☐ The proposed construction will impact dune hydrology on site. (Details will be required.)

Explanation / Other Information: _____

4. Describe alternatives to the proposed construction or method of construction which will cause fewer or no adverse effects on dunes and dune vegetation.

5. Describe alternatives to the proposed construction or method of construction which will cause fewer or no adverse impairment to beach access.

Mitigation Plan

Describe the methods which you will use to avoid, minimize, mitigate and/or compensate for any adverse effects on dunes or dune vegetation.

Explanation / Other Information: _____

Financial Plan for Dune Mitigation:

If required by the City Council, a financial guarantee (irrevocable letter of credit or a performance bond, etc.) may be necessary to insure the mitigation of dunes/dune vegetation takes place as proposed and required of the applicant.

Type of Plan Submitted: _____ Date of Submission: _____

Checklist of Additional Required Application Information

An accurate map, plat or site plan showing:

- ☐ 1. Legal description of the property (lot, block, subdivision) and the immediately adjoining property.
- ☐ 2. Location of all existing structures - including the habitable and inhabitable structures, swimming pools, decks, fences, parking areas, landscape areas, etc.
- ☐ 3. Location of the Historical Building Line on the subject property and the extension of the line on the properties immediately adjoining the subject property to the north and to the south.
- ☐ 4. Location and elevation of existing retaining walls - both on the subject property and those properties immediately adjoining the subject property to the north and to the south.
- ☐ 5. Location of proposed structure(s) - if proposing the construction of a retaining wall, please also include the proposed elevation of the retaining wall.
- ☐ 6. Location of proposed driveways, parking areas (showing the # of proposed parking spaces) and landscape areas.
- ☐ 7. Location of all existing and proposed beach access paths and/or dune walkovers.
- ☐ 8. Location and extent of any man-made vegetated mounds, restored dunes, fill activities, or any other pre-existing human modifications on the tract.
- ☐ 9. Topographical survey of the site identifying all elevations, existing contours of the project area (including dunes and scales) and the proposed contours of the final grade.

Other required application information:

- ☐ 1. A grading and layout plan showing proposed contours for the final grade.
- ☐ 2. The floor plan(s) and elevation(s) of the structure proposed to be constructed or expanded.
- ☐ 3. Photographs of the site which clearly show the current location of the vegetation line & existing dunes on the tract within the last 6 months.
- ☐ 4. Copy of the Flood Rate Map showing the location of the subject property. (FEMA.GOV - Map Search)
- ☐ 5. Copy of the Historical Erosion Rate Map as determined by the University of Texas at Austin, Bureau of Economic Geology. (beg.utexas.edu)
- ☐ 6. Application Fee of \$180 for Staff Approved applications and \$300 for City Council Approved applications.

Your application is not complete unless all information requested above is submitted.

Application submissions require only three (3) copies of the complete information plus a digital copy.



SHORELINE TASK FORCE AGENDA REQUEST FORM

MEETING DATE: February 13, 2017

ITEM: 9

TO: Shoreline Task Force

FROM: Brandon Hill, Shoreline Management Director

ITEM DESCRIPTION:

Discussion and possible action on 2100 Gulf Blvd beach and dune application.

DISCUSSION:

See attachment.



Beach & Dune Application

City of South Padre Island
4601 Padre Blvd.
South Padre Island, TX 78597
Phone: (956) 761-3044
Fax: (956) 761-3898

Site for Proposed Work

Legal Description: LOTS 1,2,3 & 4 BLK. 19, PADRE BEACH, SECTION II, SPI. Physical Address: 200 Gulf Boulevard

Property Owner Information

Name: Padre Grand Inc. Christina Achleitner Director
Mailing Address: 200 Gulf Boulevard
City: South Padre Island State: Texas
Zip: _____ Country: United States
Phone Number: 956 7924567
Fax Number: _____
E-Mail Address: cachleitner24@gmail.com

I / We, owners of the above-mentioned property, authorize the applicant stated above, to act in my behalf in order to acquire a Beach and Dune permit for the construction proposed below. (owner initials here CA)

Owner(s) Signature(s): Christina Achleitner
Date: Jan 23, 2017

Applicant / Agent for Owner

Name: Alfredo G. Hernandez
Mailing Address: 6305 Paredes Ln Road
City: Brownsville State: Texas
Zip: 78521 Country: United States
Phone Number: 956 5748300
Fax Number: 956 5748305
E-Mail Address: fred@aghconsultants.com

Applicant Signature: [Signature]
Date: Jan 23, 2017

Project Description

Describe with as much as detail as possible, the construction proposed. If more room is needed, please include an additional page. Include the number of habitable units, amenities, swimming pools, fences, kinds of fences, whether footings and/or retaining walls will be installed, and locations of proposed landscaping and parking.

Raised 20'x20' concrete gym on concrete pilings, area below concrete floor is going to remain open, existing ground elevation (pavers) 11.0 ft, approximate elevation of the lowest horizontal member 19.0 ft. Gym to be constructed at South East side of the property, this area is located on Flood Zone "X" and Flood Zone "VE" (Elev. 14).

Wooden stairs at West side of the Gym.

Total Square Footage of Footprint of Habitable Structure: 392 sf
Total Area of Impervious Surface (i.e. retaining walls, walkways, drives, patios, etc.): 10 sf
Percentage Impervious Surface [(impervious surface / habitable footprint) * 100]: 2.5%

Please Note: the percentage of impervious surface cannot exceed 5% in an eroding area.

Approximate Duration of Construction: 4 months

Financial Plan for the Removal of All Hard Structures

All properties which are allowed to build retaining walls on their property are allowed to do so with the condition that a financial plan for the removal of the retaining wall is submitted to the Public Works Department of the City of South Padre Island. Removal of the retaining wall at the owner's expense may be required if/once the retaining wall comes into regular contact with wave action for twenty (20) out of thirty (30) consecutive days. The City accepts the submission of a Retaining Wall Covenant, or other financial guarantee, insuring the removal of the retaining wall if the required conditions are met.

Type of Plan Submitted: _____ Date Submitted: _____

Drainage

Describe the impact that the proposed construction will have on the natural drainage pattern on the site and adjacent lots.

- ☒ No change in the drainage on site.
- ☐ The proposed construction will change the grading and the drainage on the subject property. (An explanation will be required detailing where the water will drain.)

Explanation / Other Information: _____

Impacts to Beach / Dune System

Answer each question as completely as possible in narrative form.

1. What damage will this proposed construction have on the dune vegetation located at the project site?

- ☒ No damage to dune vegetation whatsoever.
- ☐ The proposed construction will impact _____% of the dune vegetation site. (An explanation of the "impact" will be required.)
- ☐ The proposed construction will require the removal and relocation of _____% of the dune vegetation on site. (The submission of a mitigation plan will be required.)

Explanation / Other Information: _____

2. How will the proposed construction alter the dune size/shape at the project site?

- ☒ No change to dune size/shape whatsoever.
- ☐ The proposed construction will change _____% of the size/shape of dunes on site. (Details will be required.)
- ☐ The proposed construction will require the removal and relocation of _____% of the dunes on site. (The submission of a mitigation plan will be required.)

Explanation / Other Information: _____

3. How will the proposed construction change the hydrology of the dunes at the project site?

- ☒ No change to dune hydrology whatsoever.
- ☐ The proposed construction will impact dune hydrology on site. (Details will be required.)

Explanation / Other Information: _____

4. Describe alternatives to the proposed construction or method of construction which will cause fewer or no adverse effects on dunes and dune vegetation.

N/A _____

5. Describe alternatives to the proposed construction or method of construction which will cause fewer or no adverse impairment to beach access.

N/A _____

Mitigation Plan

Describe the methods which you will use to avoid, minimize, mitigate and/or compensate for any adverse effects on dunes or dune vegetation.

Explanation / Other Information: Construction to be on existing area with pavers and raised 8 ft over natural ground, bottom area to remain open.

Financial Plan for Dune Mitigation:

If required by the City Council, a financial guarantee (irrevocable letter of credit or a performance bond, etc.) may be necessary to insure the mitigation of dunes/dune vegetation takes place as proposed and required of the applicant.

Type of Plan Submitted: _____ Date of Submission: _____

Checklist of Additional Required Application Information

An accurate map, plat or site plan showing:

- ☒ 1. Legal description of the property (lot, block, subdivision) and the immediately adjoining property.
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- ☐ 8. Location and extent of any man-made vegetated mounds, restored dunes, fill activities, or any other pre-existing human modifications on the tract.
- ☐ 9. Topographical survey of the site identifying all elevations, existing contours of the project area (including dunes and scales) and the proposed contours of the final grade.

Other required application information:

- ☐ 1. A grading and layout plan showing proposed contours for the final grade.
- ☒ 2. The floor plan(s) and elevation(s) of the structure proposed to be constructed or expanded.
- ☐ 3. Photographs of the site which clearly show the current location of the vegetation line & existing dunes on the tract within the last 6 months.
- ☒ 4. Copy of the Flood Rate Map showing the location of the subject property. (FEMA.GOV - Map Search)
- ☐ 5. Copy of the Historical Erosion Rate Map as determined by the University of Texas at Austin, Bureau of Economic Geology. (beg.utexas.edu)
- ☐ 6. Application Fee of \$180 for Staff Approved applications and \$300 for City Council Approved applications.

Your application is not complete unless all information requested above is submitted.

Application submissions require only three (3) copies of the complete information plus a digital copy.

COASTAL BASE FLOOD ELEVATION
APPLY ONLY LANDWARD OF 0.0 NGV



APPROXIMATE SCALE
500 0 500 FEET

SITE

X RM2

ZONE VE
(EL 16)

O F

ZONE VE (EL 14)

ZONE VE (EL 13)

ZONE X

ZONE AE
(EL 12)

ZONE

ZONE X

ZONE AE
(EL 8)

NATIONAL FLOOD INSURANCE PROGRAM

FIRM
FLOOD INSURANCE RATE MAP

TOWN OF
SOUTH PADRE ISLAND,
TEXAS
CAMERON COUNTY
ONLY PANEL PRINTED

NOTE:

THIS MAP INCORPORATES APPROXIMATE BOUNDARIES OF
COASTAL BARRIER RESOURCES SYSTEM (CBRS) AND OR
OUTERBAR PROTECTED AREAS ESTABLISHED UNDER THE
COASTAL BARRIER REPAIRMENT ACT OF 1990 (PL. 101-581)

COMMUNITY-PANEL NUMBER
480115 0001 D

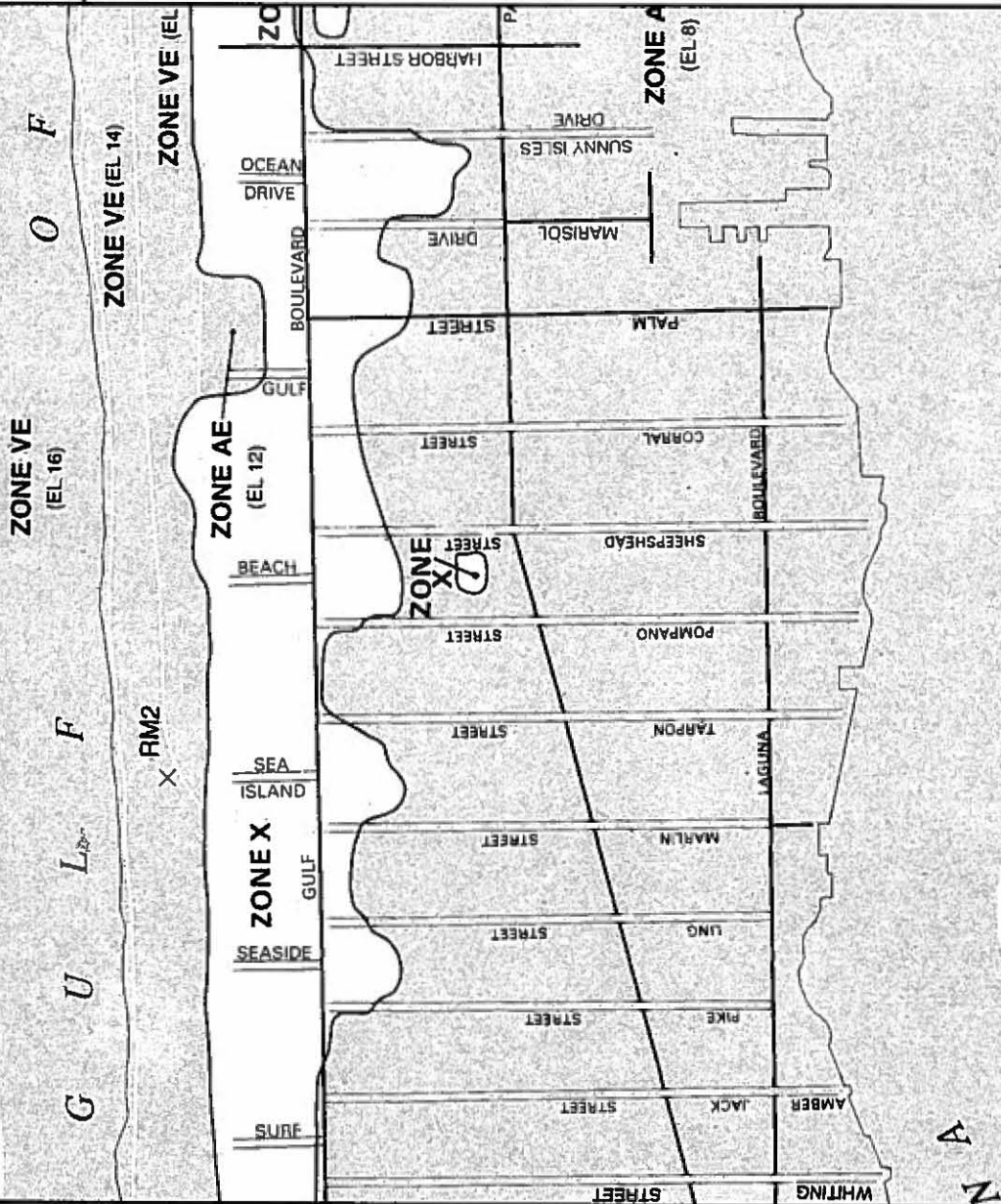
MAP REVISED:
MARCH 9, 1999



Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT On-Line. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For the latest product information about National Flood Insurance Program flood maps check the FEMA Flood Map Store at www.msc.fema.gov

COASTAL BASE FLOOD ELEVATION
APPLY ONLY LANDWARD OF 0.0 M



LEGEND

SPECIAL FLOOD HAZARD AREAS INUNDATED BY 100-YEAR FLOOD

ZONE A No base flood elevations determined.

ZONE AE Base flood elevations determined.

ZONE AH Flood depths of 1 to 3 feet (usually areas of ponding); base flood elevations determined.

ZONE AO Flood depths of 1 to 3 feet (usually sheet flow on sloping terrain); average depths determined for areas of alluvial fan flooding; velocities also determined.

ZONE A99 To be protected from 100-year flood by federal flood protection system under construction; no base flood elevations determined.

ZONE V Coastal flood with velocity hazard (wave action); no base flood elevations determined.

ZONE VE Coastal flood with velocity hazard (wave action); base flood elevations determined.

FLOODWAY AREAS IN ZONE AE

OTHER FLOOD AREAS

ZONE X Areas of 500-year flood, areas of 100-year flood with average depths of less than 1 foot or with drainage area less than 1 square mile, and areas protected by levees from 100-year flood.

OTHER AREAS Areas determined to be outside 500-year floodplain.

ZONE D Areas in which flood hazard is undetermined.

UNDEVELOPED COASTAL BARRIERS

Coastal barrier areas are normally located within or adjacent to special flood hazard areas.

Identified 1983

Identified 1990

Otherwise Protected Area

Floodplain Boundary

Floodway Boundary

Zone D Boundary

Boundary Dividing Special Flood Hazard Zones, and Areas Subject to Flooding from Coastal Base Flood Elevations Within Special Flood Hazard Zones.

Base Flood Elevation Line: Elevation in Feet

513

161 9871

Base Flood Elevation in Feet Where Uniform Within Zone

Cross Section Line

Base Flood Elevation in Feet Where Uniform Within Zone

Base Flood Elevation in Feet Where Uniform Within Zone

Base Flood Elevation in Feet Where Uniform Within Zone

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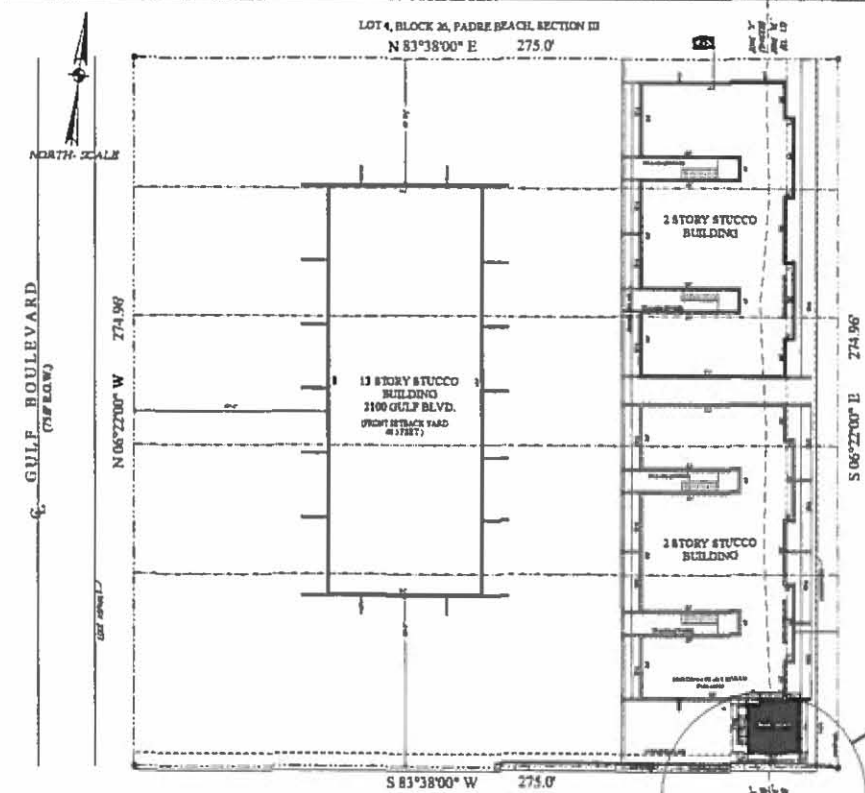
Base Flood Elevation in Feet Where Uniform Within Zone

Base Flood Elevation in Feet Where Uniform Within Zone

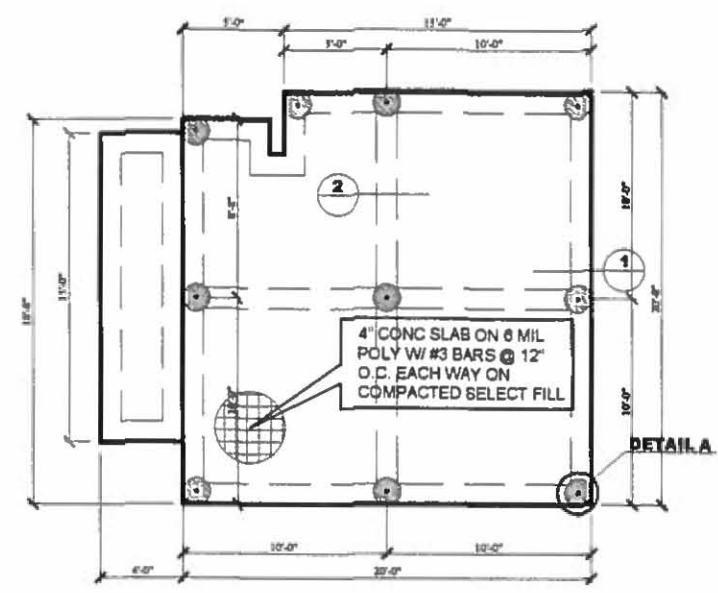
Base Flood Elevation in Feet Where Uniform Within Zone

Base Flood Elevation in Feet Where Uniform Within Zone

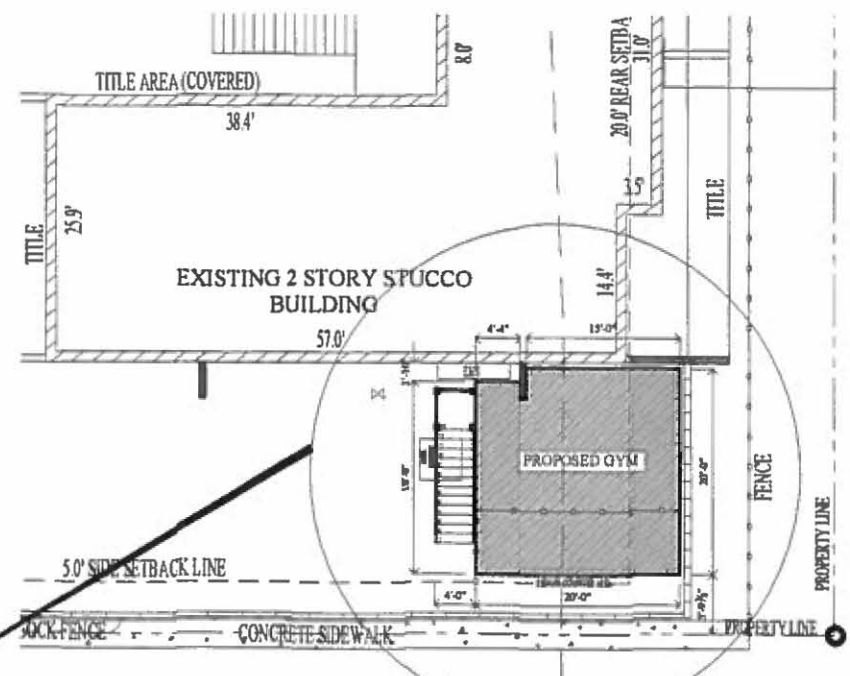
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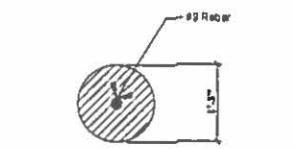
1 SITE PLAN
SCALE: 1/4" = 1'-0"



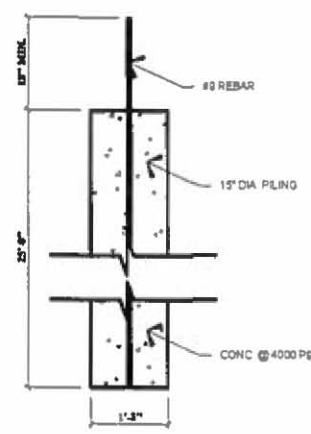
1 FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



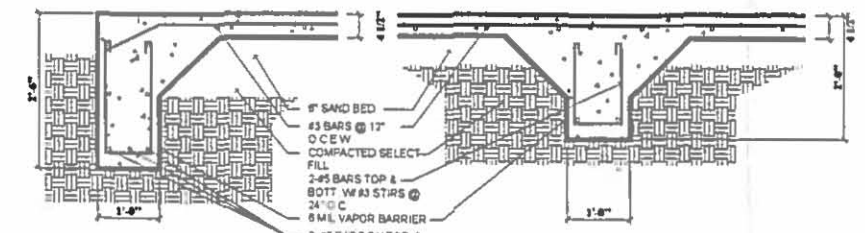
2 SITE PLAN
SCALE: 1/4" = 1'-0"



PLAN VIEW



A PILING DETAIL
SCALE: 3/4" = 1'-0"



1. EXTERIOR BEAM
SCALE: 3/4" = 1'-0"

2. INTERIOR BEAM
SCALE: 3/4" = 1'-0"

INDEX OF DRAWINGS	
DWG. NO.	DESCRIPTION
PG-01	SITE PLAN & FOUNDATION PLAN
PG-02	FLOOR PLAN & ELEVATIONS

- GENERAL NOTES:**
1. CONCRETE SHALL DEVELOP AT 3,000 PSI COMPRESSIVE STRENGTH AT 28 DAYS MINIMUM COMPRESSIVE STRENGTH.
 2. CONCRETE SHALL HAVE A MAXIMUM SLUMP OF 5".
 3. REINFORCING SHALL BE INTERMEDIATE GRADE DEFORMED BARS CONFORMING TO SPECIFICATION ASTM A615-60.
 4. FILL MATERIAL SHALL BE COMPRISED OF NON-SWELLING HOMOGENEOUS EARTH WHICH SHALL HAVE A MAXIMUM PI OF 12. SUCH MATERIAL SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY AT OPTIMUM MOISTURE. FILL MATERIAL SHALL BE COMPRISED OF 6" MAXIMUM LIFTS & SHALL BE 8" LOOSE.
 5. CUT BEAM TRENCHES AFTER SITE HAS BEEN COMPACTED.
 6. CUT PLUMBING TRENCHES BEFORE BEAM TRENCHES HAVE BEEN CUT.
 7. PLUMBER TO SLEEVE ALL PIPES PASSING THRU PERIMETER AND INTERIOR BEAMS.
 8. ALL PLUMBING SHALL BE BEDDED IN 6" OF CLEAN SAND JETTED IN PLACE.
 9. AFTER PIPE PLACEMENT, FILL PLUMBING DITCHES WITH CLEAN SAND TO 6" ABOVE TOP OF PIPE. JETTED IN PLACE.
 10. HAND COMPACT, SELECT FILL TO 95% PROCTOR TO BRING TRENCH FILL TO FINISHED LEVEL.
 11. PROVIDE 1/2" MINIMUM CLEAR COVER ON BEAM STEEL AND 1/4" CLEAR COVER ON ALL SLAB STEEL. PROVIDE 1/2" BRICK LIFTERS OF OTHER SUITABLE SUPPORTS TO MAINTAIN STEEL BEAMS IN PLACE. PROVIDE A MINIMUM OF 3" PLASTIC SUPPORT CHAIRS @ REBAR SLAB MESH IN THE POSITIONS CALLED FOR ON PLANS & SPECIFICATIONS.
 12. MOISTURE BARRIER WILL BE 6-MIL POLYETHYLENE LAPPED AND SEALED AT ALL JOINTS.
 13. THE BUILDING AREA SHALL BE CLEARED & SCARIFIED A MINIMUM OF 6" FOR THE REMOVAL OF ALL DEBRIS AND ORGANIC MATERIAL PRIOR TO FOUNDATION CONSTRUCTION.
 14. PROVIDE MINIMUM OF 30" DIAMETER SPLICE FOR ALL BEAM AND SLAB STEEL. RUN STEEL FULL STOCK LENGTHS. HOOK ALL BEAM STEEL AT DISCONTINUOUS ENDS WITH A 90 DEG. HOOK 8" LONG (TOP BARS ONLY). STAGGER TOP & BOTTOM BEAM SPLICES.
 15. FABRICATION OF STEEL SHALL BE IN ACCORDANCE WITH THE AISC STANDARD BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (AISC 318-71).
 16. AT ALL BEAM INTERSECTIONS LET DEEPER DEPTH BEAM CARRY THROUGH.
 17. ALL STRUCTURAL STEEL SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH THE LATEST AISC SPECIFICATIONS FOR FABRICATION AND ERECTION OF STEEL FOR BUILDING.
 18. ENGINEER MUST INSPECT SITE PREPARATION PRIOR TO ADDING FILL MATERIAL.
 19. ENGINEER MUST INSPECT SOIL COMPACTION OF EACH LIFT, AND TESTING LAB SHALL VERIFY DENSITIES OF COMPACTED FILL.
 20. ENGINEER MUST INSPECT PLACEMENT OF ALL STEEL AND VAPOR BARRIER PRIOR TO POUR.
 21. ALL ROUGH-IN PLUMBING LINES SHALL BE ROUTED BELOW BEAM LINE IF POSSIBLE.
 22. THE FILL MATERIAL AS WELL AS SUB-SOIL SHALL BE THOROUGHLY DAMPENED IMMEDIATELY PRIOR TO POURING CONCRETE TO THESE SPECIFICATIONS.

General Notes

PADRE GRAND GYM
2100 Gulf Blvd.
South Padre Island, Texas 78597

PERLA TORRES
DRAFTING & DESIGN
415 E. WASHINGTON, SUITE A
PORT ISABEL, TEXAS 78578
(956) 943-7664
PERLAT@LIVE.COM

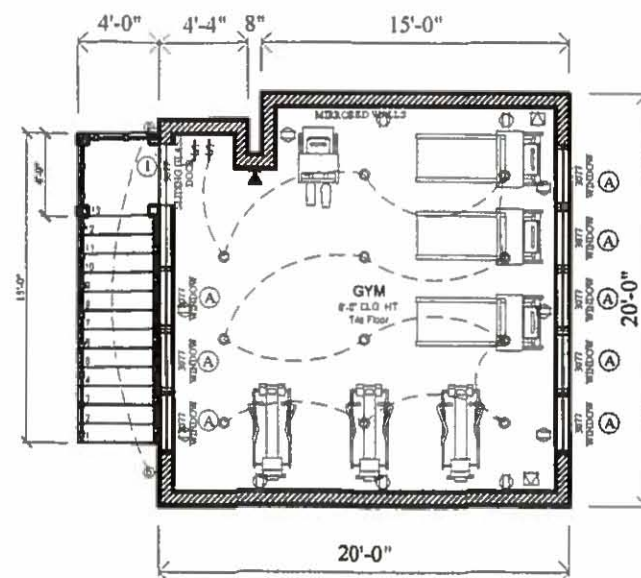
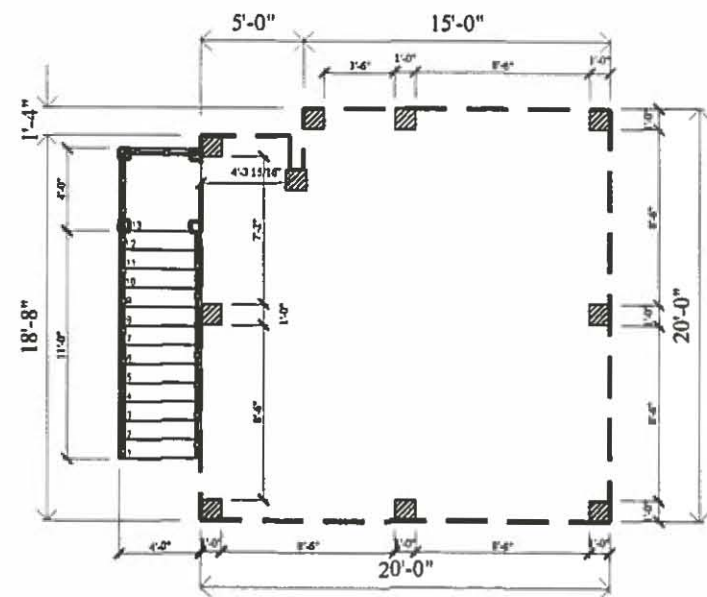
No.	Revision/Issue	Date

Project Name & Address
Padre Grand Condominiums
Lots 1,2,3,4, Block 19,
Padre Beach Section II,
Town of South Padre Island
Cameron County, Texas

Sheet Title
SITE PLAN & FOUNDATION PLAN

Scale	1/4" = 1'-0"	Sheet	PG-01
Date	11/20/14	Drawn By	PTORRES

EVERY EFFORT HAS BEEN MADE TO AVOID MISTAKES DURING THE PREPARATION OF THESE DOCUMENTS. PERLA TORRES DRAFTING & DESIGN CANNOT GUARANTEE AGAINST HUMAN ERROR WHEN DRAFTING THESE PLANS. THE CONTRACTOR ASSIGNED TO DO THIS JOB MUST DOUBLE CHECK ALL DIMENSIONS AND DETAILS AS REQUIRED PER BUILDING CODES.



2nd FLOOR: SF TOTALS:	
2ND FLOOR:	392.00
STAIRS	60.00
TOTAL:	452.00

DOOR SCHEDULE (2nd Floor)	
TYPE	SIZE (WxH)
①	3'-0" x 7'-7" SLIDING GLASS DOOR

WINDOW SCHEDULE (Low-E High Impact)	
TYPE	SIZE (WxH)
④	3'-0" x 7'-7" Picture Window

NOTE: MATCH STYLE & SIZE OF WINDOWS & DOORS TO EXISTING BUILDING.

TYPE	SIZE (WxH)	Q
(A)	3'-0" x 7'-7" Picture Window	

NOTES: MATCH STYLE & SIZE OF WINDOWS & DOORS TO EXISTING BUILDING.

DRYWALL LEGEND:

 EXTERIOR WALLS - BLOCK WITH STUCCO

FLOOR PLAN NOTES:

1. ALL INTERIOR WALLS SHALL BE 2" X 4" @ 16" O.C. W/ 1PLY GYP BOARD EACH SIDE TYPICAL.

2. EXTERIOR WALLS SHALL BE STUCCO OVER BLOCK.

3. ALL LOCAL CODES, ORDINANCES, FEDERAL AND STATE REGULATIONS SHALL BE CONSIDERED AS PART OF SPECIFICATIONS FOR THE PROPOSED CONSTRUCTION AND SHALL TAKE PREFERENCE OVER ANYTHING SHOWN DESCRIBED OR IMPLIED WHERE VARIANCES OCCUR.

4. CONTRACTOR TO VERIFY ALL DIMENSIONS IN BIDDING ON JOB SITE.

6. CONTRACTOR SHALL CHECK ALL MEASUREMENTS AND MAKE REQUIRED ADJUSTMENTS FOR PROPER CONSTRUCTION.

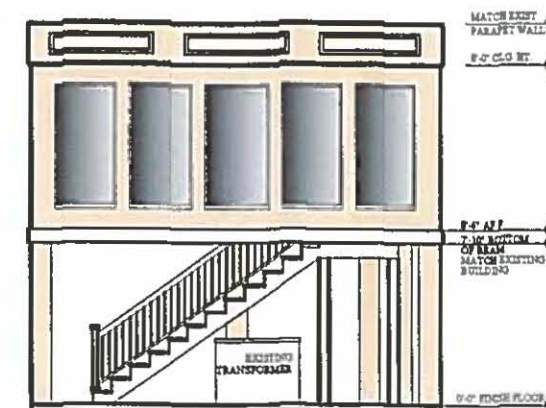
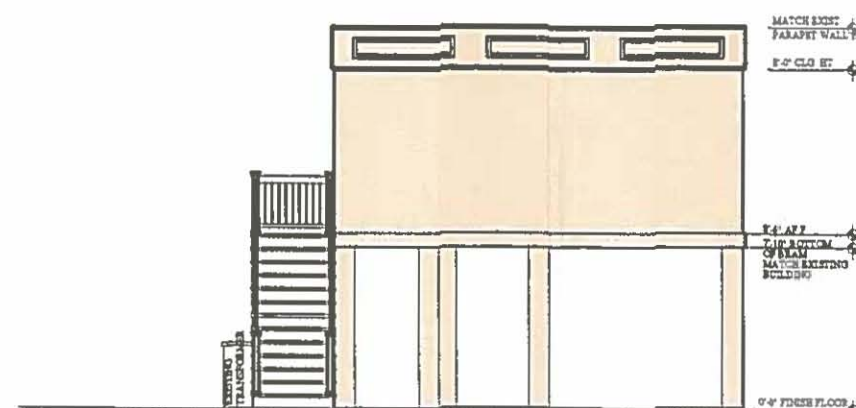
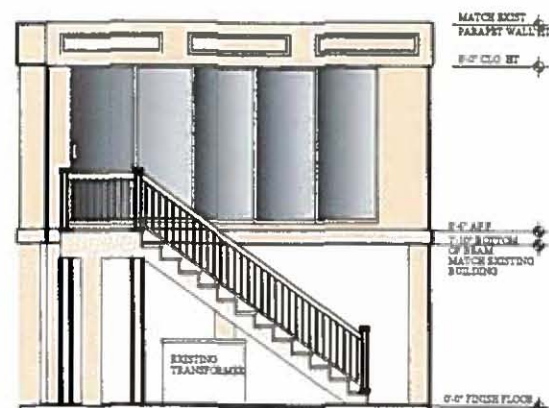
LIGHTING & POWER LEGEND:

- ☐ RECESSED LIGHTING
- ☐ WALL MOUNTED LIGHT FIXTURE
- ☐ TELEPHONE JACK @ 12" FROM FLOOR
- ☐ TELEVISION CONNECTION @ 12" FROM FLOOR

LIGHTING & POWER NOTES

1. SWITCH PLATES SHALL BE LOCATED AT 42" A.F.F. TO CENTER (TYPICAL).

2. CONSULT WITH CLIENT FOR ADDITIONAL OUTLETS AND APPLIANCE LOCATIONS.



PADRE GRAND GYM
2100 Gulf Blvd.
South Padre Island, Texas 78597



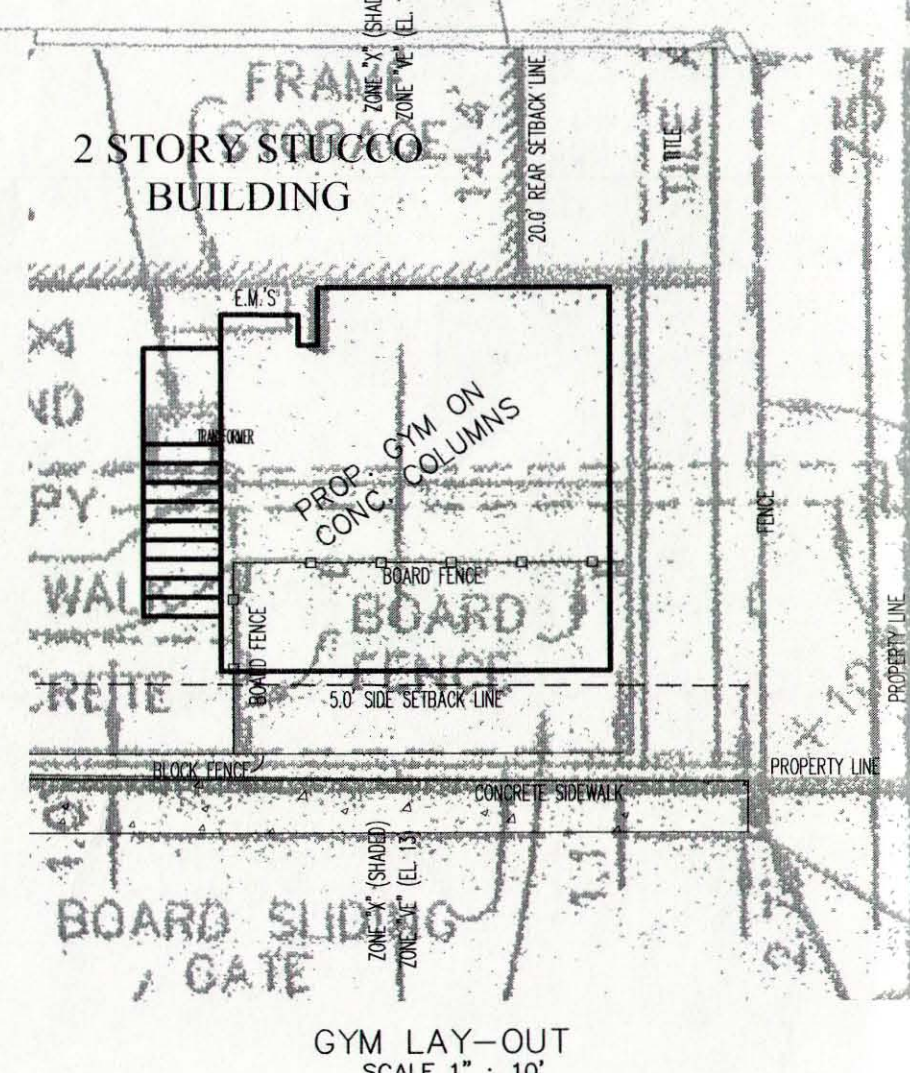
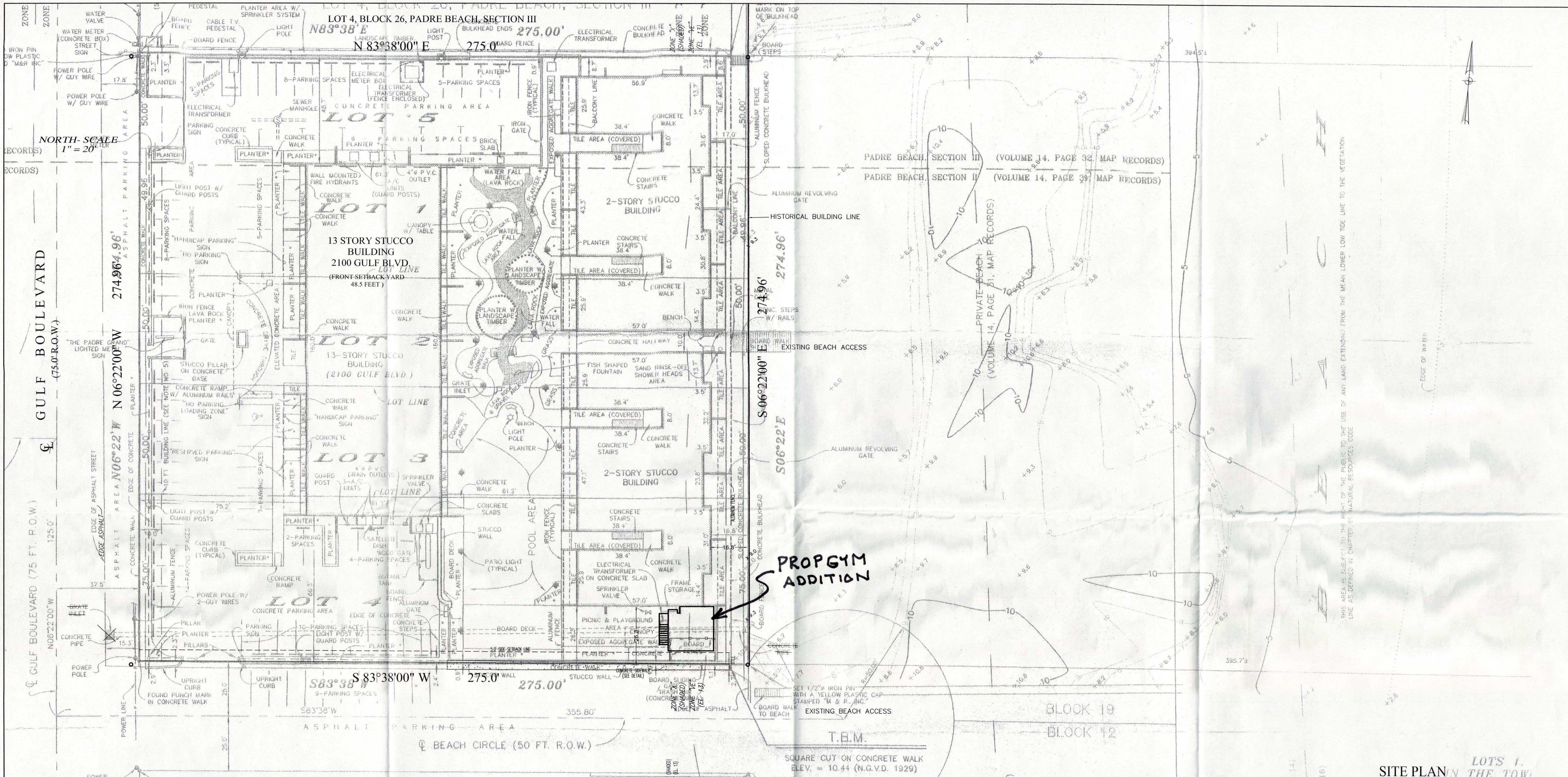
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Padre Grand Condominiums
Lots 1,2,3,4, Block 19,
Padre Beach Section II,
Town of South Padre Island
Cameron County, Texas

FLOOR PLAN
&
ELEVATIONS

Source	MPN-2	PG-02
Date	7/1/81	
Drawn By	P. TORRES	

EVERY EFFORT HAS BEEN MADE TO AVOID MISTAKES DURING THE PREPARATION OF THESE DOCUMENTS. PERLA TORRES DRAFTING & DESIGN CANNOT GUARANTEE AGAINST HUMAN ERROR WHEN DRAFTING THESE PLANS. THE CONTRACTOR ASSIGNED TO DO THIS JOB MUST DOUBLE CHECK ALL DIMENSIONS AND DETAILS AS REQUIRED PER BUILDING CODES.



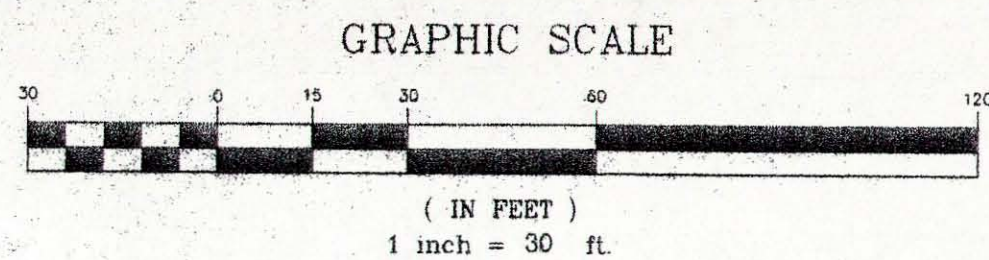
LOTS 1, 2, 3 AND 4, BLOCK 19, PADRE BEACH, SECTION III, IN THE TOWN OF SOUTH PADRE ISLAND, CAMERON COUNTY, TEXAS, ACCORDING TO THE MAP RECORDED IN VOLUME 14, PAGE 31, MAP RECORDS OF CAMERON COUNTY, TEXAS; AND LOT 5, BLOCK 26, PADRE BEACH, SECTION III, IN THE TOWN OF SOUTH PADRE ISLAND, CAMERON COUNTY, TEXAS, ACCORDING TO THE MAP RECORDED IN VOLUME 14, PAGE 32, MAP RECORDS OF CAMERON COUNTY, TEXAS; AND BEING THE LANDS LYING EAST AND ADJACENT TO SAID LOTS UP TO THE GULF OF MEXICO.

THE PADRE GRAND

GYM ADDITION
SCALE: 1" = 20'

AGH ENGINEERING & SURVEYING
P.O. BOX 4180 Brownsville, Texas 78523-4180
Tel. (956) 838-0300

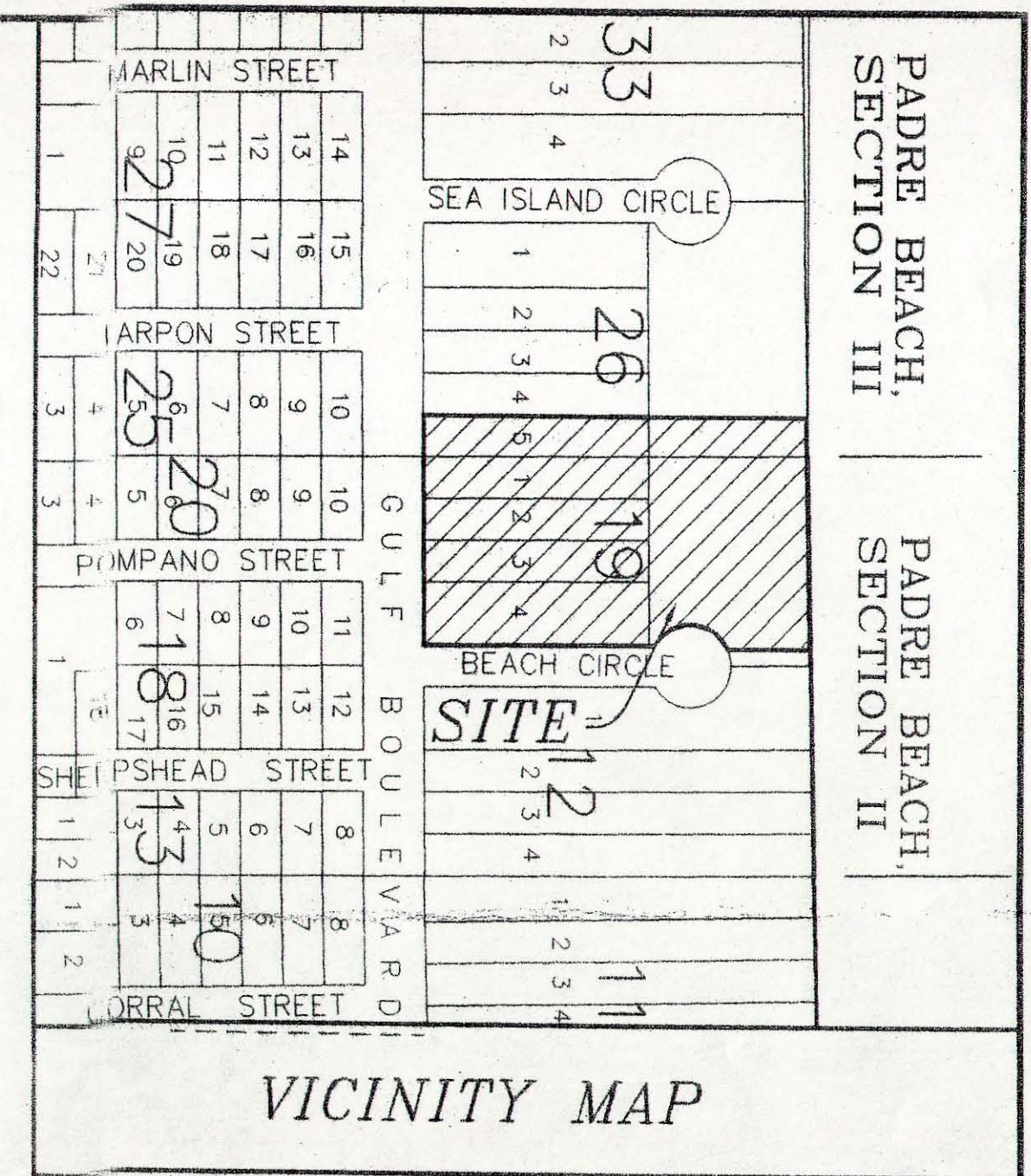
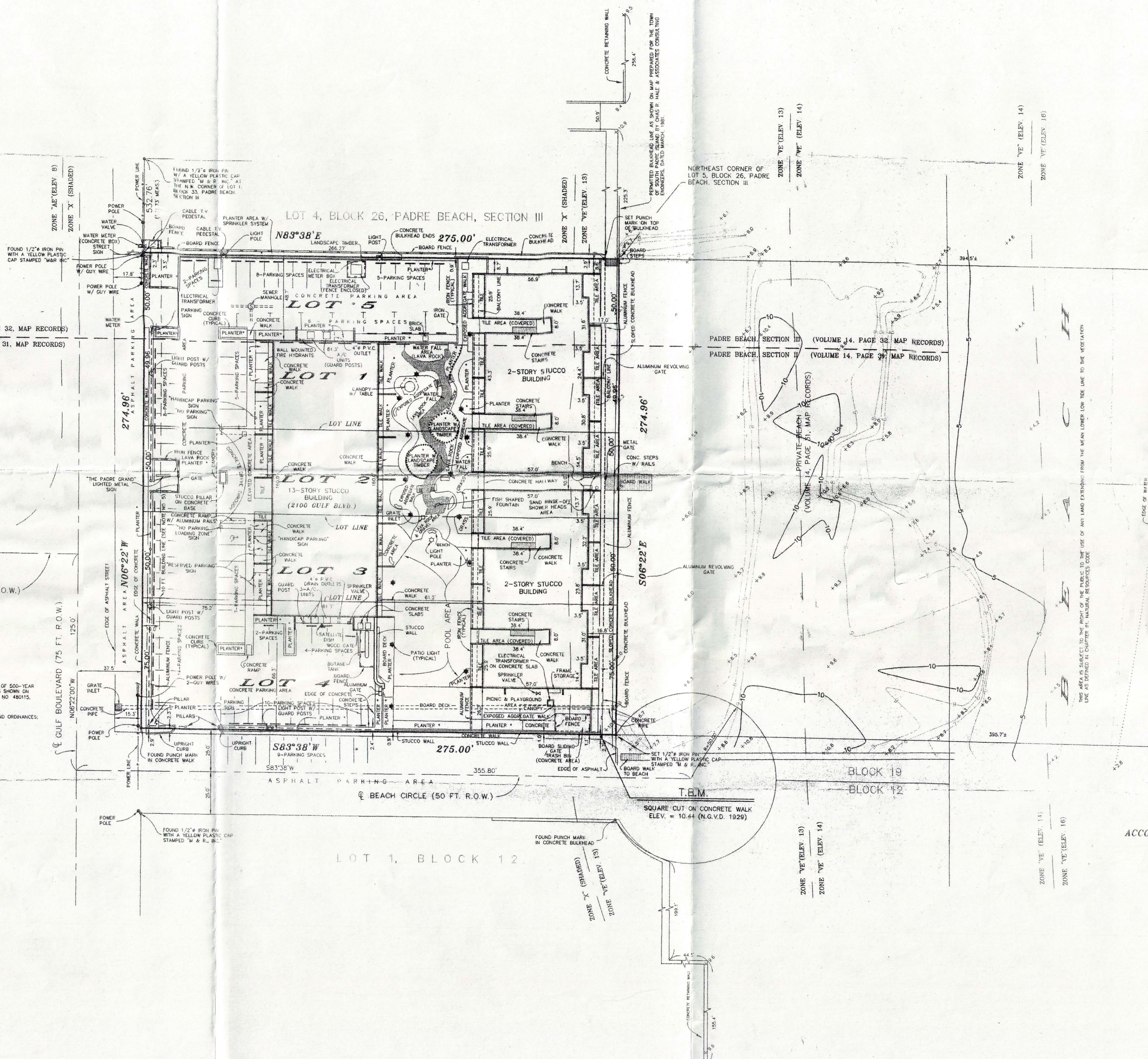
6305 Parcels Line Road 78526
TYPE FIRM No. E-5197
TBL'S FIRM No. 100840-00
FAX: (956) 574-8305



MERIDIAN OF PADRE BEACH,
SECTIONS II, AND III

PADRE BEACH, SECTION III (VOLUME 14, PAGE 32, MAP RECORDS)
PADRE BEACH, SECTION II (VOLUME 14, PAGE 31, MAP RECORDS)

- NOTES:
- 1) THIS TRACT LIES IN ZONES "AE" (ELEV. 8), "X" (SHADED) (AREAS OF 500-YEAR FLOOD), "VE" (ELEV. 13), "VE" (ELEV. 14) AND "VE" (ELEV. 16) AS SHOWN ON PLAT, PER THE F.I.A. FLOOD INSURANCE RATE MAP OF COMMUNITY NO. 480115, PANEL NO. 0001 D, REVISED MARCH 09, 1999.
 - 2) 10 FT. BUILDING LINE PER SOUTH PADRE ISLAND ZONING CODES AND ORDINANCES, SECTION 20-7-D-1 AREA REGULATIONS DATED AUGUST 6, 1992.
 - 3) "X" DENOTES EXISTING GROUND ELEVATION



ASBUILT SURVEY OF
THE LANDS IMMEDIATELY EAST OF
LOTS 1, 2, 3 AND 4, BLOCK 19, PADRE BEACH, SECTION II,
IN THE TOWN OF SOUTH PADRE ISLAND, CAMERON COUNTY, TEXAS,
ACCORDING TO THE MAP RECORDED IN VOLUME 14, PAGE 31, MAP RECORDS OF
CAMERON COUNTY, TEXAS;
AND LOT 5, BLOCK 26, PADRE BEACH, SECTION III, IN THE TOWN
OF SOUTH PADRE ISLAND, CAMERON COUNTY, TEXAS, ACCORDING
TO THE MAP RECORDED IN VOLUME 14, PAGE 32, MAP RECORDS
OF CAMERON COUNTY, TEXAS; AND BEING THE LANDS LYING EAST
AND ADJACENT TO SAID LOTS UP TO THE GULF OF MEXICO.

SURVEYED FOR:
PADRE GRANDE CONDOMINIUMS
NOVEMBER 5, 2002



Mejia & Rose, Incorporated
Engineering Surveying
1643 West Price Road (956) 544-3022
P.O. Box 3761 Brownsville, Texas 78520
Fax (956) 544-3068

SHORELINE TASK FORCE AGENDA REQUEST FORM

MEETING DATE: February 13, 2017

ITEM: 10

TO: Shoreline Task Force

FROM: Brandon Hill, Shoreline Management Director

ITEM DESCRIPTION:

Discussion and possible action on 340 Padre Blvd beach and dune application.

DISCUSSION:

See attachment.

PENINSULA ISLAND RESORT AND SPA

1/30/2017

BEACH AND DUNES PERMIT APPLICATION

For
Proposed Drop-Off Road
340 Padre Boulevard
South Padre Island, Texas, 78597

Proposed Drop-Off Road

BEACH AND DUNES PERMIT APPLICATION

APPLICATION



Beach & Dune Application

City of South Padre Island
4801 Padre Blvd.
South Padre Island, TX 78597
Phone: (956) 761-3044
Fax: (956) 761-3898

Site for Proposed Work	
Legal Description: <u>LOT 1, BLOCK 1, PADRE PARTNERS SUB.</u>	Physical Address: <u>340 PADRE BOULEVARD SOUTH PADRE ISLAND, TX 78597</u>

Property Owner Information	Applicant / Agent for Owner
Name: <u>CARLOS SALINAS</u>	Name: <u>JESUS GARCIA</u>
Mailing Address: <u>340 PADRE BLVD</u>	Mailing Address: <u>400 SOUTH GARCIA ST.</u>
City: <u>SOUTH PADRE ISLAND</u> State: <u>TX</u>	City: <u>PORT ISABEL</u> State: <u>TX</u>
Zip: <u>78597</u> Country: <u>CAMERON</u>	Zip: <u>78578</u> Country: <u>CAMERON</u>
Phone Number: <u>956-761-2514</u>	Phone Number: <u>956-525-5515</u>
Fax Number: <u>956-761-6095</u>	Fax Number: <u>956-554-8521</u>
E-Mail Address: <u>carlos.salinas@hotmail.com</u>	E-Mail Address: <u>gatcousa@hotmail.com</u>
I / We, owners of the above-mentioned property, authorize the applicant stated above, to act in my behalf in order to acquire a Beach and Dune permit for the construction proposed below. (owner initials here _____)	
Owner(s) Signature(s): <u>Carla Salinas</u>	Applicant Signature: <u>[Signature]</u>
Date: <u>1/31/2017</u>	Date: <u>1/31/2017</u>

Project Description
Describe with as much as detail as possible, the construction proposed. If more room is needed, please include an additional page. Include the number of habitable units, amenities, swimming pools, fences, kinds of fences, whether footings and/or retaining walls will be installed, and locations of proposed landscaping and parking.
<u>CONSTRUCTION OF DROP-OFF ROAD TO PROVIDE SERVICE TO GUESTS AND CLIENTS OF PENINSULA ISLAND RESORT AND SPA, CURRENTLY GUESTS NEED TO WALK 400 FEET TO HOTEL ROOMS</u>
Total Square Footage of Footprint of Habitable Structure: <u>85,350 S.F. EXISTING</u>
Total Area of Impervious Surface (i.e. retaining walls, walkways, drives, patios, etc.): <u>3,200 S.F.</u>
Percentage Impervious Surface ((Impervious surface / habitable footprint) * 100): <u>4%</u>
Please Note: the percentage of impervious surface cannot exceed 6% in an eroding area.
Approximate Duration of Construction: <u>2 MONTH.</u>

Financial Plan for the Removal of All Hard Structures

All properties which are allowed to build retaining walls on their property are allowed to do so with the condition that a financial plan for the removal of the retaining wall is submitted to the Public Works Department of the City of South Padre Island. Removal of the retaining wall at the owner's expense may be required if/once the retaining wall comes into regular contact with wave action for twenty (20) out of thirty (30) consecutive days. The City accepts the submission of a Retaining Wall Covenant, or other financial guarantee, insuring the removal of the retaining wall if the required conditions are met.

Type of Plan Submitted: _____ Date Submitted: _____

Drainage

Describe the impact that the proposed construction will have on the natural drainage pattern on the site and adjacent lots.

- ☒ No change in the drainage on site.
- ☐ The proposed construction will change the grading and the drainage on the subject property. (An explanation will be required detailing where the water will drain.)

Explanation / Other Information: _____

Impacts to Beach / Dune System

Answer each question as completely as possible in narrative form.

1. What damage will this proposed construction have on the dune vegetation located at the project site?

- ☒ No damage to dune vegetation whatsoever.
- ☐ The proposed construction will impact _____ % of the dune vegetation site. (An explanation of the "impact" will be required.)
- ☐ The proposed construction will require the removal and relocation of _____ % of the dune vegetation on site. (The submission of a mitigation plan will be required.)

Explanation / Other Information: _____

2. How will the proposed construction alter the dune size/shape at the project site?

- ☒ No change to dune size/shape whatsoever.
- ☐ The proposed construction will change _____ % of the size/shape of dunes on site. (Details will be required.)
- ☐ The proposed construction will require the removal and relocation of _____ % of the dunes on site. (The submission of a mitigation plan will be required.)

Explanation / Other Information: _____

3. How will the proposed construction change the hydrology of the dunes at the project site?

- ☒ No change to dune hydrology whatsoever.
- ☐ The proposed construction will impact dune hydrology on site. (Details will be required.)

Explanation / Other Information: _____

4. Describe alternatives to the proposed construction or method of construction which will cause fewer or no adverse effects on dunes and dune vegetation.

5. Describe alternatives to the proposed construction or method of construction which will cause fewer or no adverse impairment to beach access.

Mitigation Plan

Describe the methods which you will use to avoid, minimize, mitigate and/or compensate for any adverse effects on dunes or dune vegetation.

Explanation / Other Information: _____

_____**Financial Plan for Dune Mitigation:**

If required by the City Council, a financial guarantee (irrevocable letter of credit or a performance bond, etc.) may be necessary to insure the mitigation of dunes/dune vegetation takes place as proposed and required of the applicant.

Type of Plan Submitted: _____

Date of Submission: _____

Checklist of Additional Required Application Information

An accurate map, plat or site plan showing:

- ☒ 1. Legal description of the property (lot, block, subdivision) and the immediately adjoining property.
- ☒ 2. Location of all existing structures - including the habitable and inhabitable structures, swimming pools, decks, fences, parking areas, landscape areas, etc.
- ☐ 3. Location of the Historical Building Line on the subject property and the extension of the line on the properties immediately adjoining the subject property to the north and to the south.
- ☒ 4. Location and elevation of existing retaining walls - both on the subject property and those properties immediately adjoining the subject property to the north and to the south.
- ☐ 5. Location of proposed structure(s) - if proposing the construction of a retaining wall, please also include the proposed elevation of the retaining wall.
- ☒ 6. Location of proposed driveways, parking areas (showing the # of proposed parking spaces) and landscape areas.
- ☐ 7. Location of all existing and proposed beach access paths and/or dune walkovers.
- ☐ 8. Location and extent of any man-made vegetated mounds, restored dunes, fill activities, or any other pre-existing human modifications on the tract.
- ☒ 9. Topographical survey of the site identifying all elevations, existing contours of the project area (including dunes and scales) and the proposed contours of the final grade.

Other required application information:

- ☐ 1. A grading and layout plan showing proposed contours for the final grade.
- ☐ 2. The floor plan(s) and elevation(s) of the structure proposed to be constructed or expanded.
- ☐ 3. Photographs of the site which clearly show the current location of the vegetation line & existing dunes on the tract within the last 6 months.
- ☐ 4. Copy of the Flood Rate Map showing the location of the subject property (FEMA.GOV - Map Search).
- ☐ 5. Copy of the Historical Erosion Rate Map as determined by the University of Texas at Austin, Bureau of Economic Geology (beg.utexas.edu).
- ☐ 6. Application Fee of \$180 for Staff Approved applications and \$300 for City Council Approved applications.

Your application is not complete unless all information requested above is submitted.

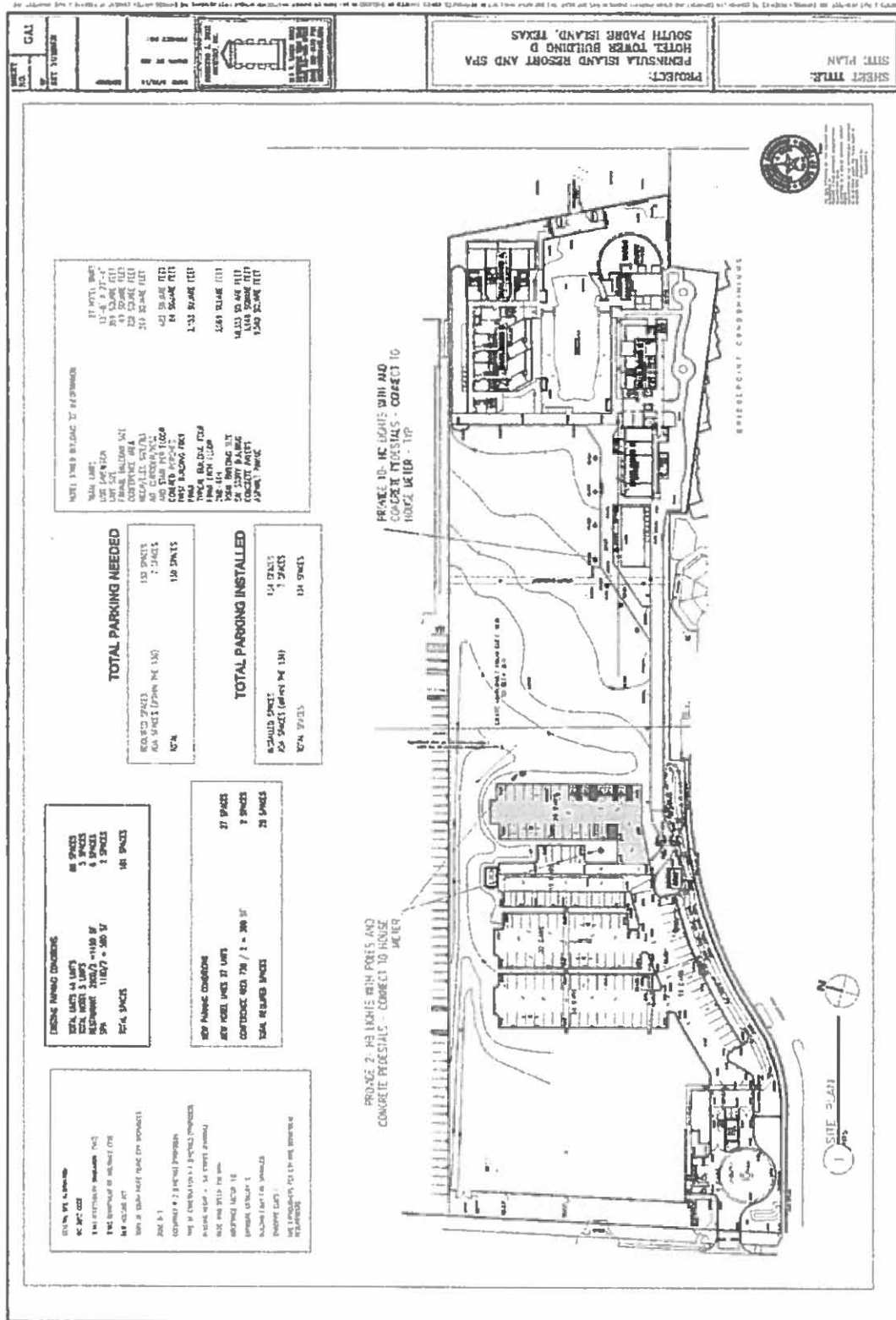
Application submissions require only three (3) copies of the complete information plus a digital copy.

LOCATION

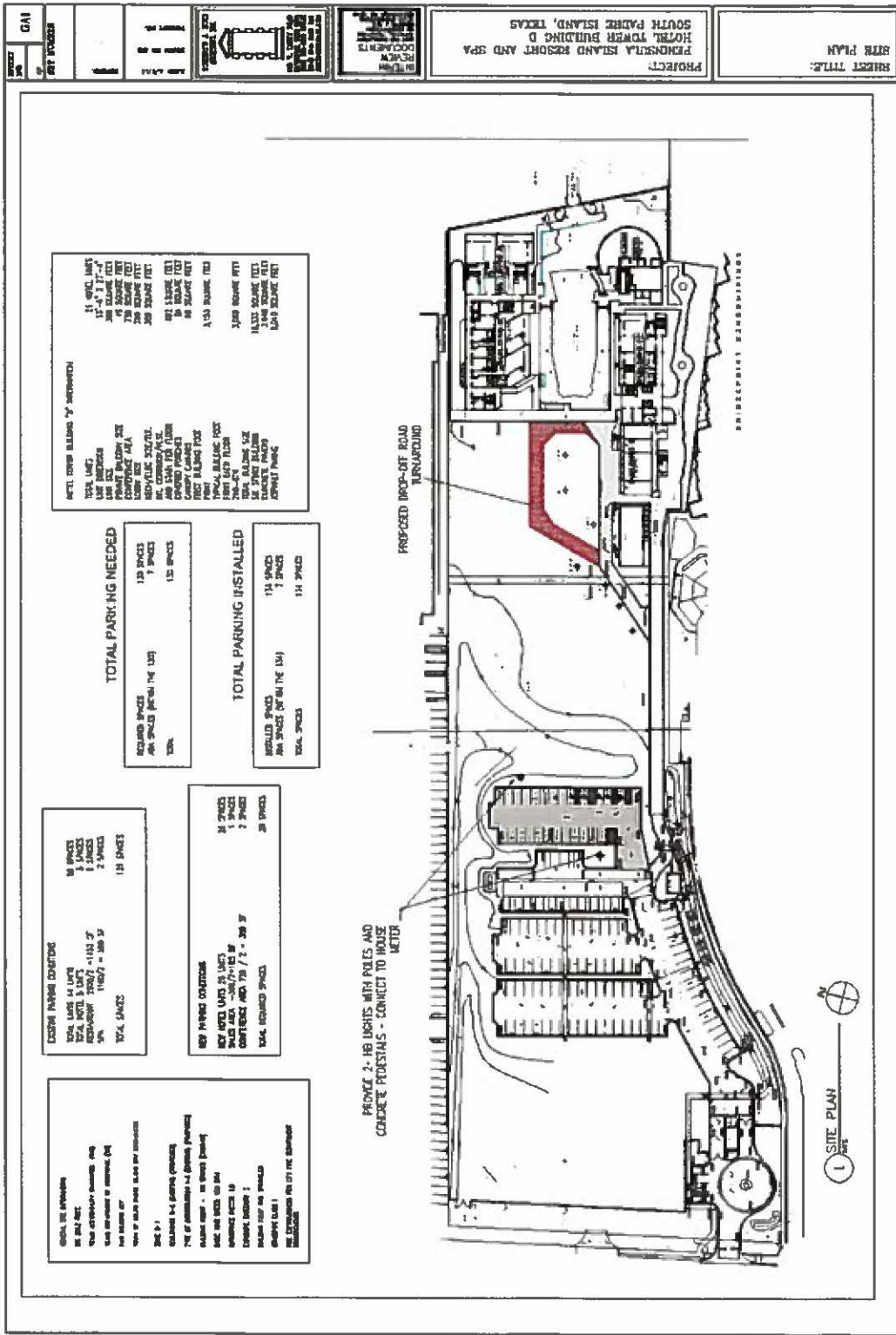


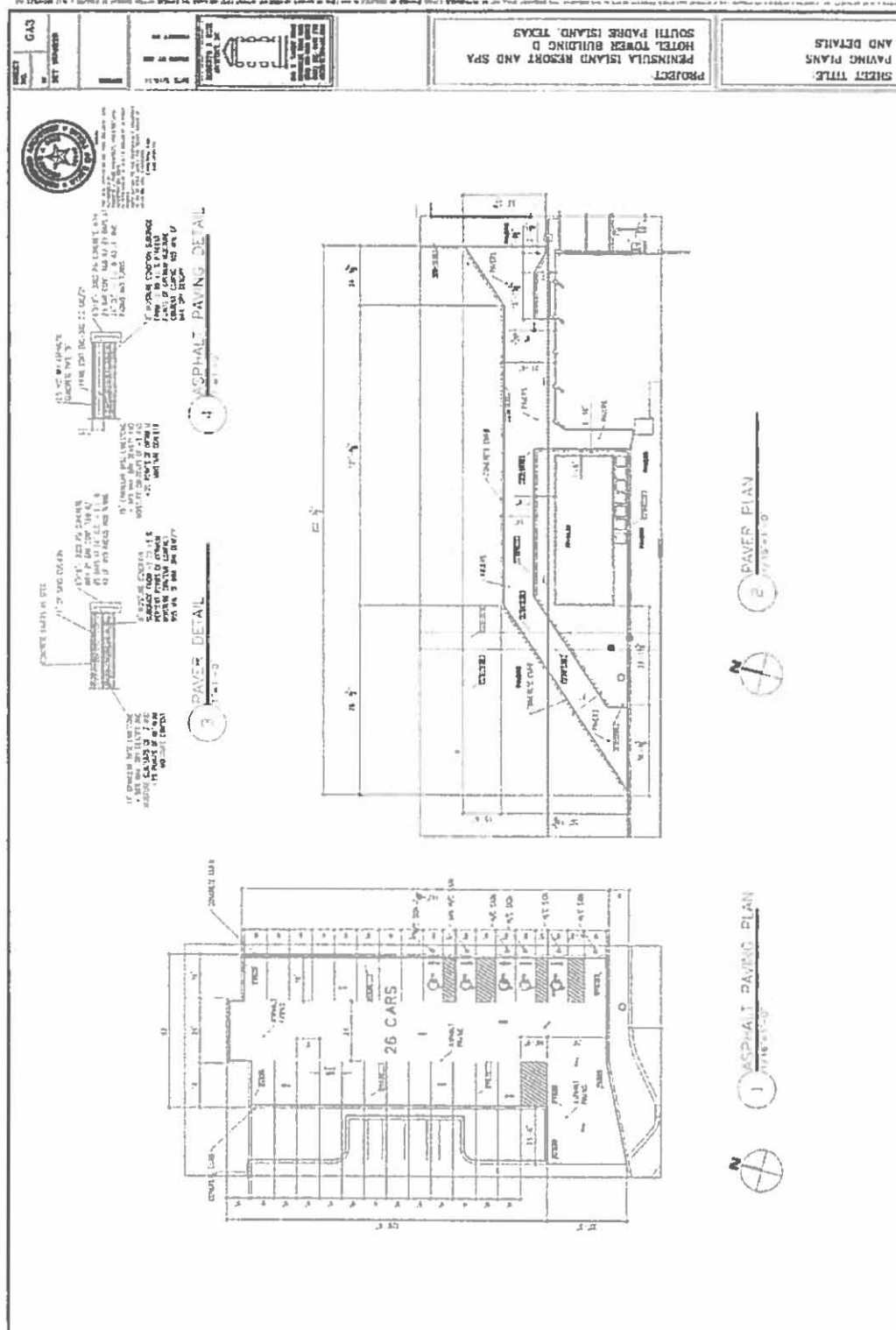
EXISTING ACCESS

**PROPOSED DROP-OFF ROAD
TURN AROUND IN RED**

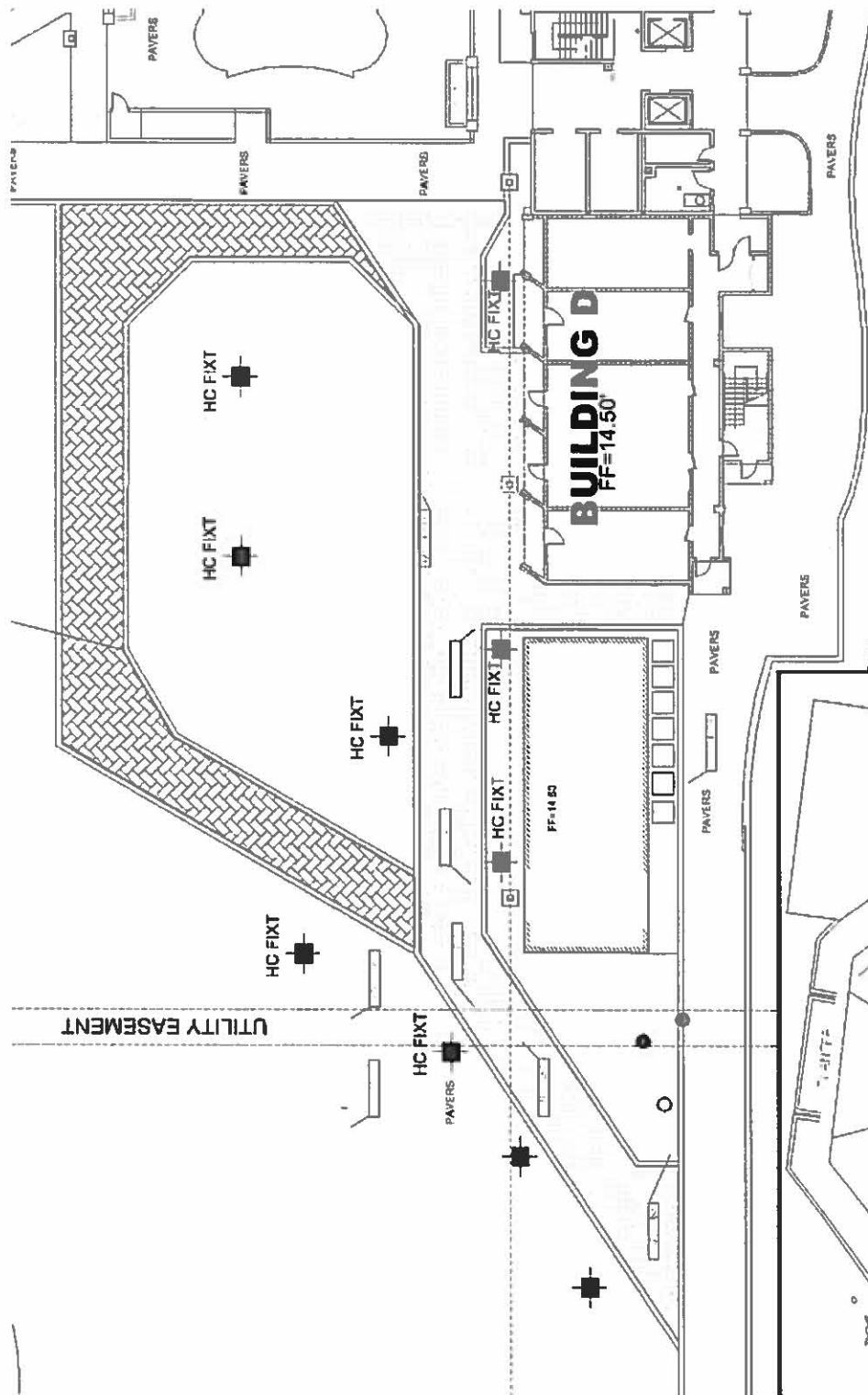


EXISTING SITE PLAN

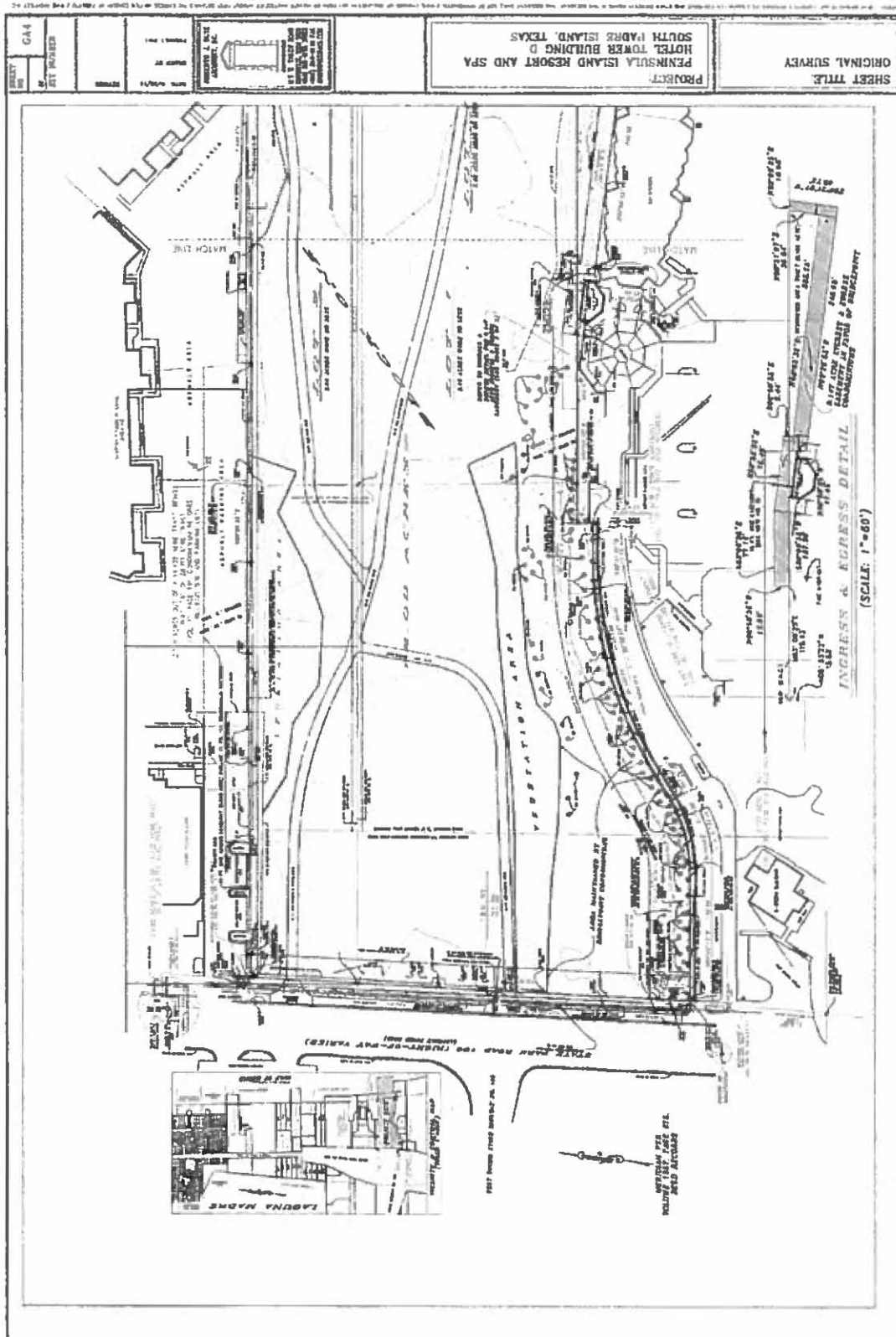
**PROPOSED DROP OFF**



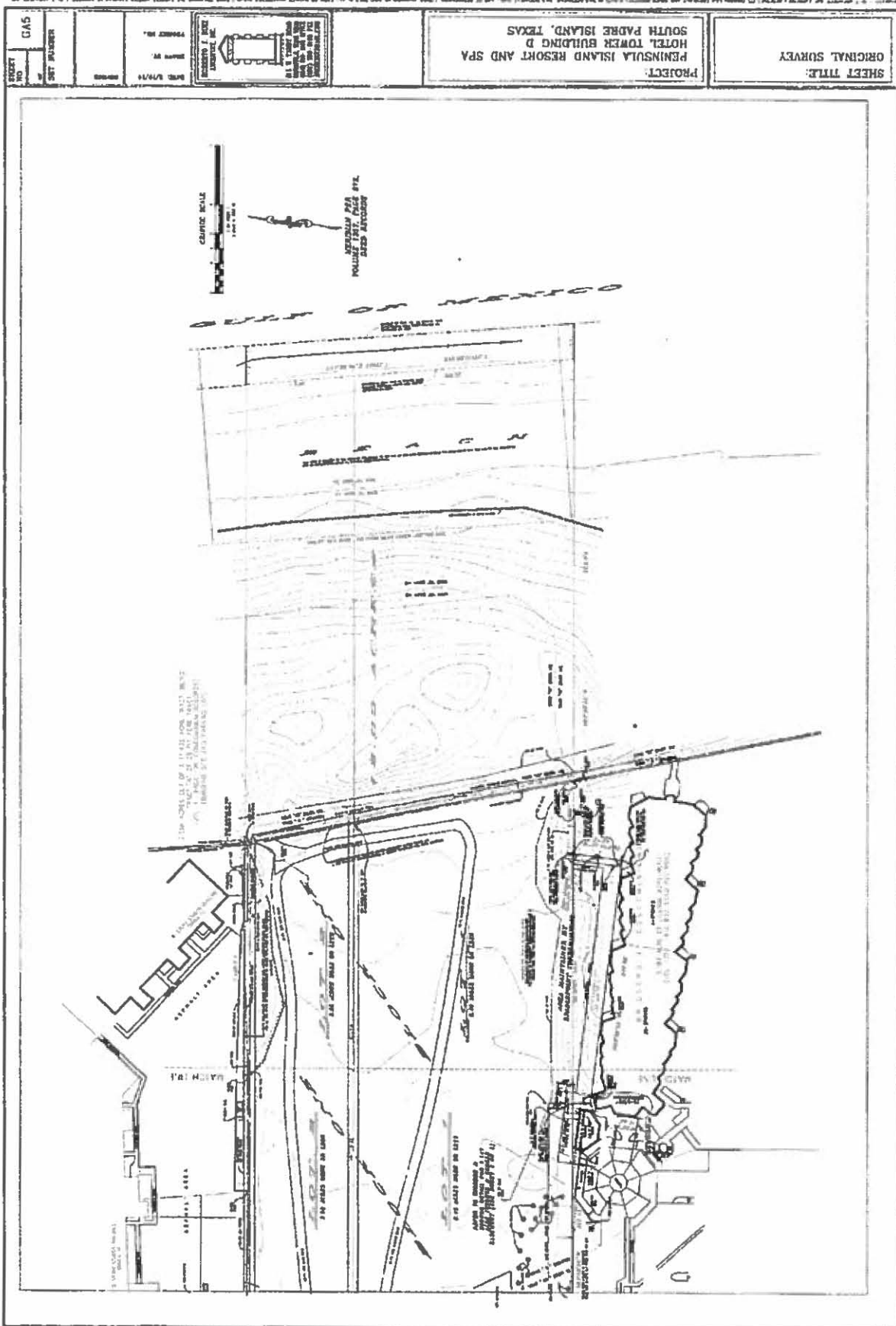
EXISTING ROAD DETAIL

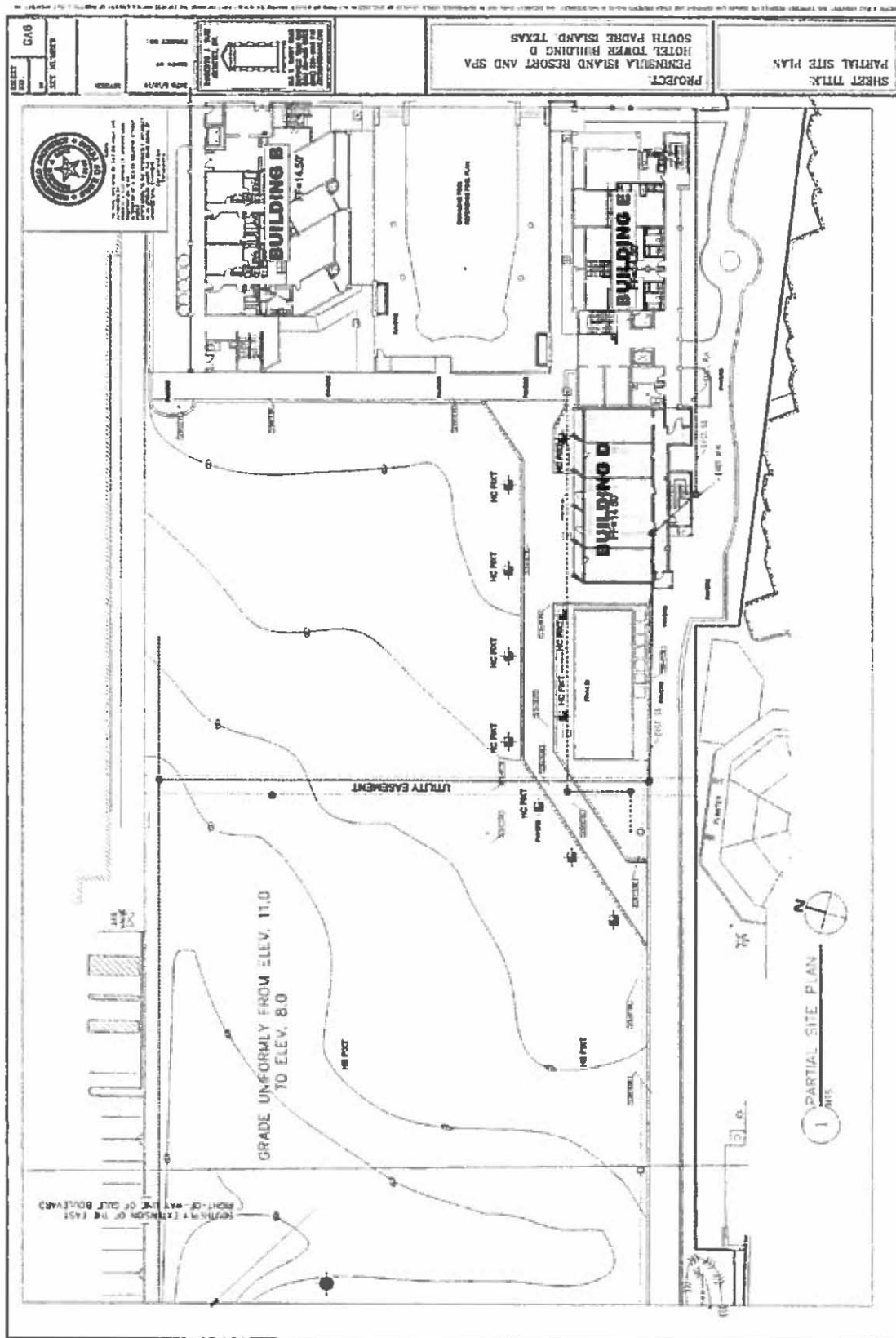


PROPOSED DROP-OFF TURNAROUND DETAIL



ELEVATIONS





SITE CONDITIONS



SITE PICTURES







**PROPOSED DROP-OFF
TURNAROUND**



WALKING DISTANCE



EXISTING



PROPOSED IMPERVIOUS SURFACE

SHORELINE TASK FORCE AGENDA REQUEST FORM

MEETING DATE: February 13, 2017

ITEM: 11

TO: Shoreline Task Force

FROM: Brandon Hill, Shoreline Management Director

ITEM DESCRIPTION:

Discussion and possible action on The Shores beach and dune application.

DISCUSSION:

See attachment.

Brandon Hill

From: Natalie Bell <Natalie.Bell@GLO.TEXAS.GOV>
Sent: Sunday, November 13, 2016 1:45 PM
To: Brandon Hill
Subject: The Shores Beach Maintenance permit
Attachments: BDSPI-13-0129.pdf

Hi Brandon-

Reuben reminded me a few days ago that The Shores beach maintenance permit may be either expired or nearly expired. Are City permits good for 2 or 3 years?

The Shores should be the only entity with a permit to do their own beach maintenance in front of their property, since the City works on the remainder of SPI jurisdiction. If you don't like the way they have been performing their maintenance than we can tweak some things when (and if) they apply for another permit.

Natalie Bell
Team Lead, Beach Access & Dune Protection Program
Coastal Resources Division
Texas General Land Office
(512) 463-0413



May 9, 2013

Via Electronic Mail

Mr. Reuben Trevino
City of South Padre Island
P.O. Box 3410
South Padre Island, Texas 78597-3410

Beachfront Construction and Dune Protection Permit in the Town of South Padre Island

Site Address: 8605 Padre Boulevard
Legal Description: The Shores Master Planned Development
Lot Applicant: Dennis Franke
GLO ID No.: BDSPI-13-0129

Dear Mr. Trevino:

The General Land Office has reviewed the application for a dune protection permit and beachfront construction certificate for the above-referenced location. The applicant proposes to conduct beach maintenance along approximately 2,640 linear feet of beach in an area that, according to the Bureau of Economic Geology, is eroding at a rate of five to six feet per year.

Based on the materials forwarded to our office for review, we have the following comments:

- Daily raking of high tide line could negatively impact the beach profile. The applicant should minimize the raking of the beach to only when the influx of materials is heavy enough to impact the public's ability to use the public beach easement. The GLO encourages the removal of litter and other debris by handpicking or raking and strongly discourages the use of machines.¹
- The proposed beach maintenance activities must minimize the redistribution of sand and alteration of the beach profile to the greatest extent possible.²
- The proposed beach maintenance activity must not restrict or interfere with public use of the beach.³
- The applicant must avoid, minimize and mitigate for the disturbance of any dunes or dune vegetation.⁴

¹ 31 Tex. Admin. Code § 15.7(l).

² 31 Tex. Admin. Code § 15.7(l).

³ 31 Tex. Admin. Code § 15.7(e).

⁴ 31 Tex. Admin. Code § 15.4(f)(3).

Stephen F. Austin Building • 1700 North Congress Avenue • Austin, Texas 78701-1495

P.O. Box 12873 • Austin, Texas 78711-2873

512.463.5001 • 800.998.4GLO

glo.texas.gov

May 9, 2013
Page 2 of 2

If you have any questions, please contact me by phone at (512) 463-0413 or by email at natalie.bell@glo.texas.gov.


Sincerely,

A handwritten signature in blue ink that reads "Natalie Bell". The signature is written in a cursive, flowing style.

Natalie Bell
Beach/Dune Program
Coastal Resources Division
Texas General Land Office

Message Id: 518BFA11.8AF : 39 : 64829
Subject: GLO comments on beachfront construction application
Created By: Natalie.Bell@GLO.TEXAS.GOV
Scheduled Date:
Creation Date: 5/9/2013 2:33 PM
From: Natalie Bell

Recipients

Recipient	Action	Date & Time	Comment
 MySPI.org	Transferred	5/9/2013 2:33 PM	
To: Reuben Trevino (RTrevino@MySPI.org)			

Post Offices

Post Office	Delivered	Route
MySPI.org		MySPI.org

Files

File	Size	Date & Time
BDSPI-13-0129.pdf	369145	5/9/2013 2:30 PM
MESSAGE	1963	5/9/2013 2:33 PM

Options

Auto Delete: No
Concealed Subject: No
Expiration Date: None
Notify Recipients: Yes
Priority: Standard
Reply requested by None
Security: Standard
To Be Delivered: Immediate

Record Id

Record Id:	518BB3C1.DOM1.PO_1.100.1743374.1.1AD3.1
Common Record Id:	518BB3C1.DOM1.PO_1.200.2000027.1.8BEB.1

GLO B/D ID No: **BDSPI-13-0129**

Received: 4/25/13 Date Due: 5/9/13

Resource Personnel: Natalie Bell

Date Received: 4/25/13

Legal Personnel: WNT

Date Received: 4/30/13

[illegible]

From: Reuben Trevino <RTrevino@MySPI.org>
To: Natalie Bell <Natalie.Bell@GLO.TEXAS.GOV>
Date: 4/25/2013 1:45 PM
Subject: The Shores Subd beach maintenance BD application
Attachments: Shore BM- Beach & Dune Application - 04.18.13.pdf; Shores BM predet.doc

Afternoon Natalie

Attached is the application and predetermination memo for the Shores Subd. Beach Maintenance permit.
Let me know if any additional information is required.

Thanks

Reuben Trevino
Coastal Resources Manager
City of South Padre Island

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MEMORANDUM

TO: Beach & Dune Task Force
Natalie Bell, General Land Office

FROM: Reuben Trevino, Coastal Resources Manager

DATE: April 25, 2013

RE: Preliminary determination on the impact of the proposed permit application by Dennis Franke for the Shore Development, Inc.

The preliminary determination of this project is that there is no proposed construction so there will be no increase in impervious surface.

All proposed activity is east of the 440 building line, therefore:

1. The activity could conceivably reduce the size of the public beach. The applicant has stated that raked material will be placed within 20 feet of the line of vegetation [TAC 15.5 (b)(1)]
2. The proposed activity does not appear to involve construction upon the public beach. [TAC 15.5 (c)(1)]
3. All proposed activity will take place east of the 440 Building Line; therefore the potential does exist for the proposed material placement to encroach upon the public beach; [TAC 15.5 (c)(2)]

The proposed construction activity will not close any existing public beach accesses within the area, nor will the construction close or prevent the use of any existing public beach parking spaces.

Concerning the Dune Protection element, our preliminary determination is that the application conforms to the requirements of the City's *Dune Protection and Beach Renourishment and Access Plan*, in that: [B&D Ord. Section 22-10]

1. The activity should not result in the increased flood damage to the subject property or adjacent properties.
2. The activity will not result in run-off or drainage patterns that aggravate erosion on and off the site. All material will be placed east of the LOV.
3. Little to no change is expected in the existing dune hydrology to the east of the 440 Building Line. All material will be placed east of the LOV.

4. The proposed activity will not likely disturb portions of the flora or fauna on site if the material is placed east of the LOV.
5. The activity will not significantly increase the potential for washover or blowouts. The protection of the property from washovers and blowouts is a matter of the level of protection provided by increases in the overall elevation of the subject property, the strength of the proposed structures, and the width of the beach and existing dunes, none of which will be impacted with this application request.

Reuben Trevino

Town of South Padre Island
Beach & Dune Application



Site for Proposed Work:

Legal Description: SHORES

Physical Address: 8500 PADRE BOULEVARD

Property Owner Information:

Applicant/Agent for Owner:

Name: SHORES DEVELOPMENT, INC.
Mailing Address 8605 PADRE BOULEVARD
City, State, Zip SO. PADRE ISLAND, TX 78597
Phone Number: 956 761-2606
Fax Number 956 761-2650
E-mail Address: DENNIS@FRANKEREALTORS.COM

Name: DENNIS FRANKE
Mailing Address 8605 PADRE BOULEVARD
City, State, Zip SO. PADRE ISLAND, TX 78597
Phone Number: 956 761-2606
Fax Number 956 761-2650
E-mail Address: DENNIS@FRANKEREALTORS.COM

Applicant Signature: _____

Date of Signature: _____

I/We, owners of the above-mentioned property, authorize the applicant stated above, to act in my behalf in order to acquire a Beach and Dune permit for the construction proposed below. (owner initials here--> _____)

Owner(s) Signature(s): _____

Date of Signature: 4/1 2013

Project Description:

Describe with as much detail as possible, the construction proposed. If more room is needed, please include an additional page. Include the number of habitable units, amenities, swimming pools, fences, kinds of fences, whether footings and/or retaining walls will be installed, and locations of proposed landscaping and parking.

Shores Development, Inc. is requesting a Beach Dune Permit to access the Beach in front of the Shores Master Planned Development (approx. 1/2 mile of Beach) to provide, supplemental to the city, Beach raking of the water line (tide line) to remove seaweed and other organic materials that washes in with the tide and deposit that material on the fore dune line along the Beach to assist in Dune Development and provide a clean Beach. The only area to be raked will be the tide line and no Beach sand will be significantly disturbed or removed.

Total Square footage of footprint of habitable structure: N/A

Total Area of impervious surface (i.e. retaining walls, walkways, drives, patios, etc.): N/A

Percentage of impervious surface [(impervious surface / habitable footprint) * 100]: N/A

Please Note: the percentage of impervious surface cannot exceed 5% in an eroding area.

Approximate Duration of Construction: _____

REGULAR MAINTENANCE

Financial Plan for the removal of all hard structures.

All Properties which are allowed to build retaining walls on their property are allowed to do so with the condition that a financial plan for the removal of the retaining wall is submitted to the Public Works Department of the Town of South Padre Island. Removal of the retaining wall at the owner's expense may be required if/once the retaining wall comes into regular contact with wave action for twenty (20) out of thirty (30) consecutive days. The Town accepts the submission of a Retaining Wall Covenant, or other financial guarantee, insuring the removal of the retaining wall if the required conditions are met.

Type of Plan submitted: N/A

Date of submission: _____

Drainage:

Describe the impact that the proposed construction will have on the natural drainage pattern on the site and adjacent lots.

a) no change in the drainage on site. <input checked="" type="checkbox"/>	b) the proposed construction will change the grading and the drainage on the subject property. (An explanation will be required detailing where the water will drain.)
---------------------------------------------------------------------------	------------------------------------------------------------------------------------------------------------------------------------------------------------------------

Explanation/other info: THERE WILL BE NO CONSTRUCTION.

Impacts to Beach/Dune System:

Answer each question as completely as possible in narrative form:

1) What damage will this proposed construction have on the dune vegetation located at the project site?

a) no damage to dune vegetation whatsoever. <input checked="" type="checkbox"/>	b) the proposed construction will impact _____ % of the dune vegetation on site. (explanation of the "impact" will be required)	c) the proposed construction will require the removal and relocation of _____ % of the dune vegetation on site. (the submission of a mitigation plan will be required)
---------------------------------------------------------------------------------	---------------------------------------------------------------------------------------------------------------------------------	------------------------------------------------------------------------------------------------------------------------------------------------------------------------

Explanation/other info: THERE WILL BE NO DAMAGE TO THE DUNES OR VEGETATION. THE ORGANIC MATERIAL PLACED ON THE FORE DUNE WILL ENHANCE THE DUNE SIZE AND VEGETATION.

2) How will the proposed construction alter the dune size/shape at the project site?

a) no change to dune size/shape whatsoever	b) the proposed construction will change <u>.01</u> % of the size/shape of dunes on site. (details will be required)	c) the proposed construction will require the removal and relocation of _____ % of the dunes on site. (the submission of a mitigation plan will be required)
--------------------------------------------	----------------------------------------------------------------------------------------------------------------------	--------------------------------------------------------------------------------------------------------------------------------------------------------------

Explanation/other info: THE ORGANIC MATERIAL PLACED ON THE FORE DUNE WILL HELP IT GROW OVER A PERIOD OF TIME.

3) How will the proposed construction change the hydrology of the dunes at the project site?

a) no change to dune hydrology whatsoever X	b) the proposed construction will impact dune hydrology on site. (details will be required)
-------------------------------------------------------	---------------------------------------------------------------------------------------------

Explanation/details: THERE SHOULD BE NO CHANGE TO DUNE HYDROLOGY.

4) Describe alternatives to the proposed construction or method of construction which will cause fewer or no adverse effects on dunes and dune vegetation.

N/A

5) Describe alternatives to the proposed construction or method of construction which will cause fewer or no adverse impairment to beach access.

N/A

Mitigation Plan: Describe the methods which you will use to avoid, minimize, mitigate and/or compensate for any adverse effects on dunes or dune vegetation.

THE MITIGATED RESULTS WILL BE A MUCH CLEANER AND DESIREABLE BEACH AND THE ENHANCEMENT OF THE FORE DUNE.

Financial Plan for Dune Mitigation:

If required by the Board of Aldermen, a financial guarantee (irrevocable letter of credit or a performance bond, etc.) may be necessary to insure the mitigation of dunes/dune vegetation takes place as proposed and required of the applicant.

Type of Plan submitted: N/A

Date of submission: _____

Checklist of Additional Required Application Information:

An accurate map, plat or site plan showing:

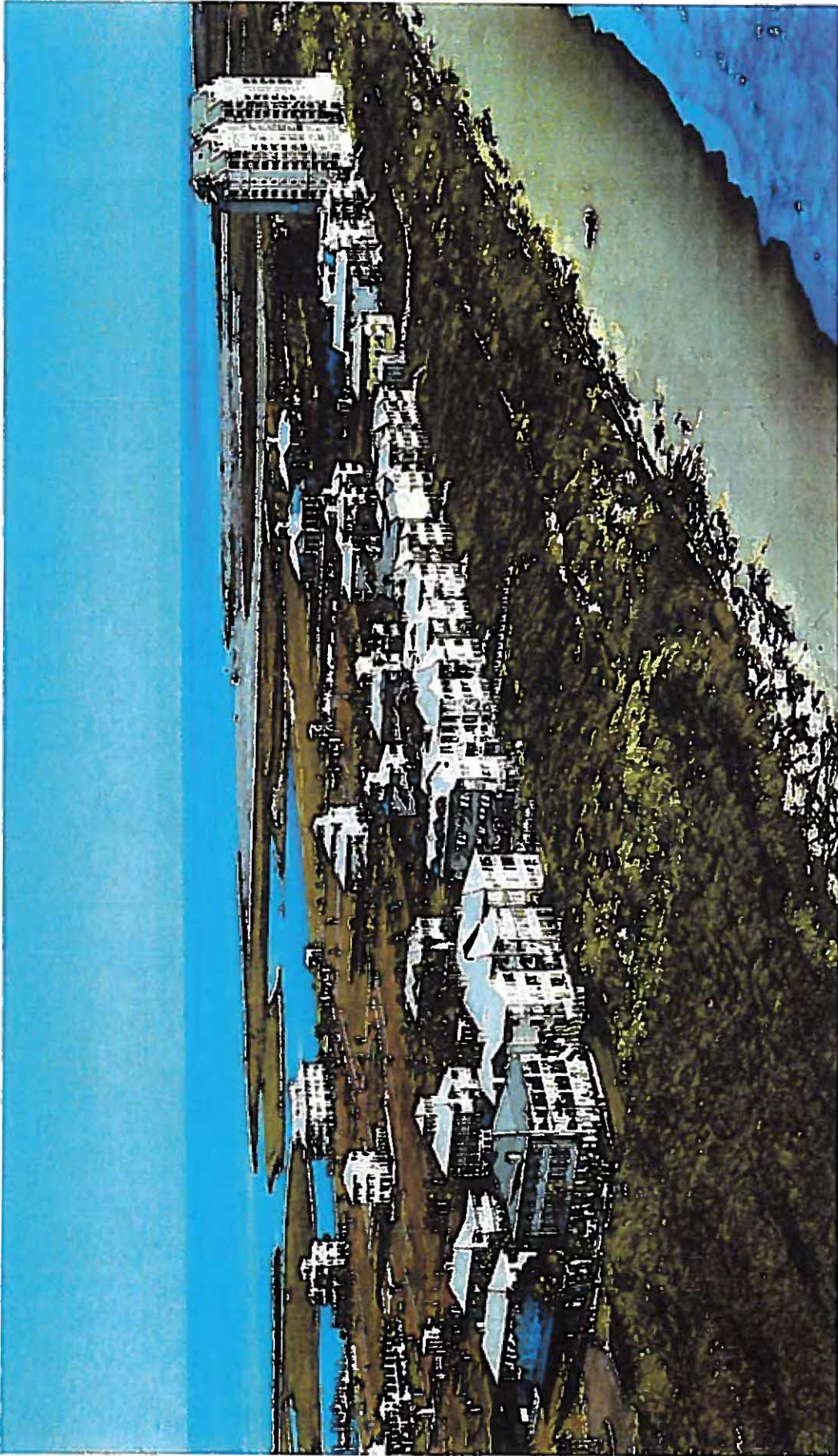
- 1) Legal description of the property (lot, block, subdivision) and the immediately adjoining property.
- 2) Location of all existing structures - including the habitable and inhabitable structures, swimming pools, decks, fences, parking areas, landscape areas, etc.
- 3) Location of the Historical Building Line on the subject property and the extension of the line on the properties immediately adjoining the subject property to the north and to the south.
- 4) Location and elevation of existing retaining walls - both on the subject property and those properties immediately adjoining the subject property to the north and to the south.
- 5) Location of proposed structure(s) - if proposing the construction of a retaining wall, please also include the proposed elevation of the retaining wall.
- 6) Location of proposed driveways, parking areas (showing the # of proposed parking spaces), and landscape areas.
- 7) Location of all existing and proposed beach access paths and/or dune walkovers.
- 8) Location and extent of any man-made vegetated mounds, restored dunes, fill activities, or any other pre-existing human modifications on the tract.
- 9) Topographical survey of the site identifying all elevations, existing contours of the project area (including dunes and slopes), and the proposed contours of the final grade.

Other required application information:

- 1) A grading and layout plan showing proposed contours for the final grade
- 2) The floor plan(s) and elevation(s) of the structure proposed to be constructed or expanded.
- 3) Photographs of the site which clearly show the current location of the vegetation line & existing dunes on the tract
- 4) Copy of the Flood Rate Map showing the location of the subject property.
- 5) Copy of the Historical Erosion Rate Map as determined by the Univ. of Texas @ Austin, Bureau of Economic Geology
- 6) \$180 application fee.

YOUR APPLICATION IS NOT COMPLETE UNLESS ALL INFORMATION REQUESTED ABOVE IS SUBMITTED.
FOR APPLICATIONS WHICH REQUIRE BEACH AND DUNE TASK FORCE REVIEW, 21 COPIES WILL BE REQUIRED.

All other application submissions require only three (3) copies of the complete information.



CURRENT PICTURE
OF
THE SHORES

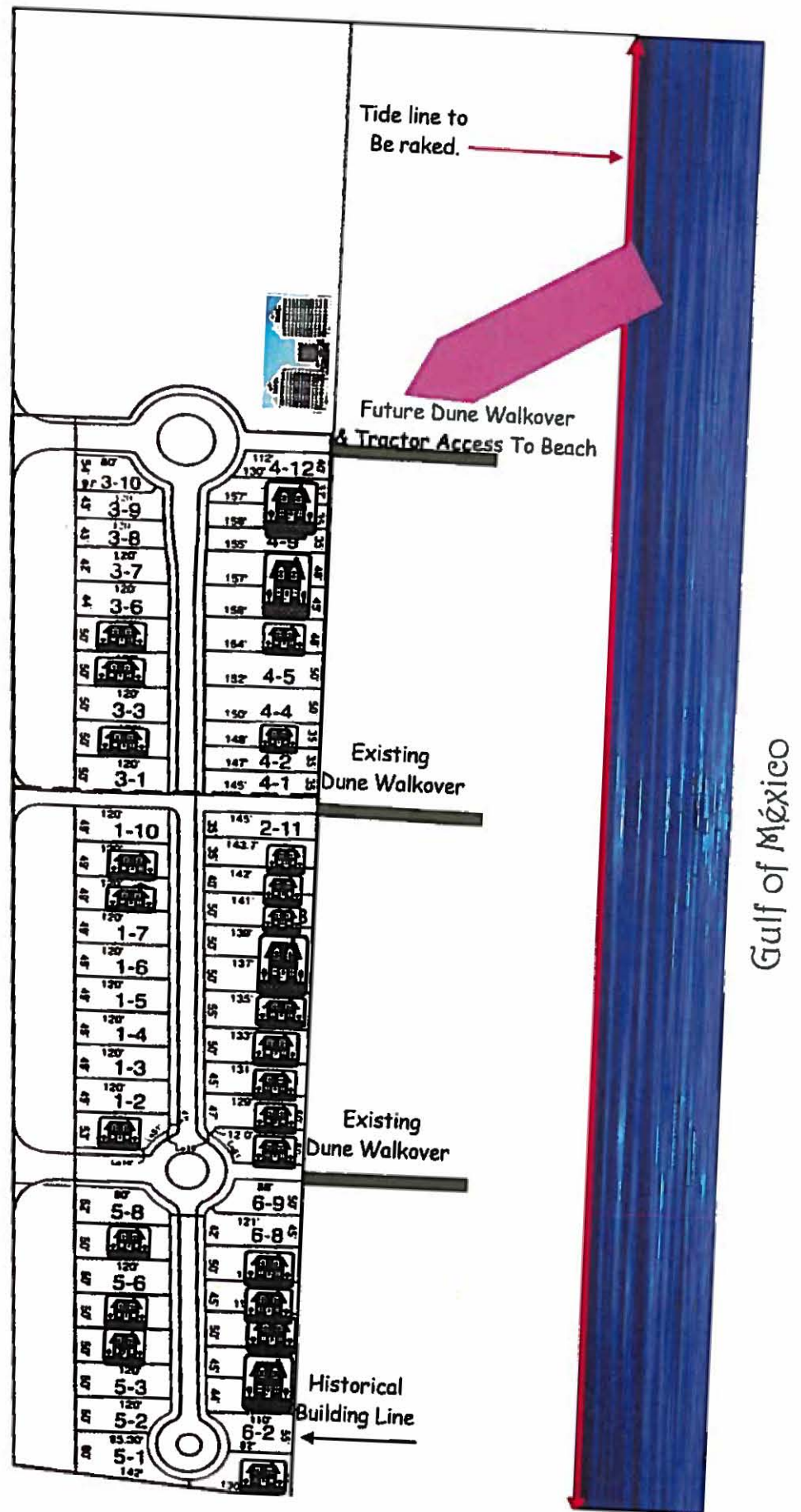
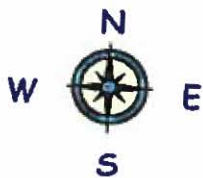


Rendering of
Overall
Shores Dev.

Shores Beach Raking Data

- The equipment used to rake the Beach will be a John Deer four-wheel drive tractor with a six foot hay rake. See attached picture.
- The operator of the tractor is a well-qualified operator with considerable experience in operation of the equipment. He will be knowledgeable in pedestrian safety and the safety and concern for the nesting turtles. If a turtle or turtle track of a nesting turtle is spotted, the raking will stop and the Turtle Patrol will be called. Since the raking will take place early in the morning, the operator will be a value asset to the Turtle Patrol in spotting nesting turtles and their tracks.
- Beach raking will take place first thing in the morning starting at 7:30 a.m. and should be completed by 8:30 a.m. or before. Since raking will be done daily, it should only take one or two passes to clean the high tide line under normal circumstances.
- Tractor access to beach will be through a small path over the dunes located at the future dune walkover site, as shown on the enclosed plat. The access path will continually be covered with hay to provide stability and prevent eroding of the dunes.
- The raking will be only supplemental to the cities normal raking schedule. If the city is raking the beach, then the Shores will suspend raking that day.
- The City will continue to operate as it does now providing trashcans, debris removal, excess seaweed removal, beach raking on normal schedule, beach patrol, and emergency services.
- Shores will only provide additional beach raking at no cost to the town.
- Seaweed that is raked up by The Shores will be placed on the fore dune within 20 feet of the line of vegetation. Any non-organic material gathered in the raking process will be removed by hand and disposed of properly.
- The line of vegetation is clearly visible on the enclosed photographs and is approximately 200' from the mean tide line.
- The Shores beach raking will have no impact on the public use of the beach, nesting turtles, sand movement, sand dunes, or vegetation. The only impact will be a clean sparkling beach and enhancement of the fore dune.

The Shores Beachfront & 2nd Tier Beachfront Property



Gulf of México





PROPERTY DESCRIPTION

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EXHIBIT A TO SPECIAL WARRANTY DEED
(WITH VENDOR'S LIEN)
THE RUTH PAGE FOUNDATION AND RUTH PAGE FISHER
AS TRUSTEE OF THE RESIDUARY TRUST
UNDER WILL OF THOMAS HART FISHER, DECEASED (GRANTOR)
AND RICHARD FRANKE AND DENNIS FRANKE (GRANTEES)

BEING 247.74 Acres, more or less, on South Padre Island in Cameron County, Texas, being a part of that certain tract commonly referred to as the "South 2,000 Acres of the King 6,000 Acres" lying North of the parallel of North Latitude 26°08'47"; the said "South 2,000 Acres" found to have a total area of 1,806.62 Acres according to the Deed recorded in Volume 938 on Page 895, and the said 247.74 Acres, thereof, being the total area of two tracts which are hereinafter more particularly located and described as Tract No. 1 containing 53.13 Acres, more or less, and Tract No. 2, containing 194.61 Acres, more or less, and being the same tracts called Parcel One in the Final Judgment of Partition dated November 10, 1975 and recorded in Volume 1044 on Page 765 of the Cameron County Deed Records;

TRACT NO. 1 BEACH SIDE 53.136 Acs

BEING 53.13 Acres, more or less, located in the Southern portion of the above mentioned 1,806.62 Acres on South Padre Island and lying between the centerline of Texas State Park Road No. 100 and the line of Mean Higher High Tide of the Gulf of Mexico; and being more particularly located and described as follows:

BEGINNING at the Southwest corner of this tract located at a bolt at the Place of Intersection of the South boundary of the said 1,806.62 Acres with the centerline of Texas State Park Road No. 100;

THENCE with the centerline of Texas State Park Road No. 100, North 6° 47' 04" West, a distance of 2,718.84 feet to a bolt for the Northwest corner of this tract;

THENCE North 89° 30' 30" East, along a line for the North boundary of this tract, at 100.61 feet a 4 1/2 x 4 1/2" concrete monument, marked "C" and having thereon a 1" diameter aluminum cap stamped "C + A Survey" for the intersection of this boundary with the East Right-of-Way line of Texas State Park Road No. 100, and continuing an additional 512.77 feet to a concrete monument and continuing therefrom an approximate distance of 243.86 feet for a total distance of approximately 857.24 feet to an intersection with the line of Mean Higher High Tide of the Gulf of Mexico for the Northeast corner of this tract;

THENCE with the meander of the line of Mean Higher High Tide of the Gulf of Mexico approximately South 6° 23' 00" East, 1,024.90 feet; South 8° 12' 08" East, 800.25 feet; South 5° 06' 58" East, 891.27 feet to an intersection with the South boundary of the said 1,806.62 Acres for the Southeast corner of this tract;

THENCE with the South boundary of the said 1,806.62 Acre Tract, South 89° 24' 01" West, at approximately 214.56 feet a 4 1/2 x 4 1/2" concrete monument and continuing an additional 528.49 feet to a concrete monument for the Place of Intersection of this boundary with the East Right-of-Way line of Texas State Park Road No. 100, and continuing therefrom an additional distance of 100.61 feet, for a total distance of approximately 843.66 feet to the PLACE OF BEGINNING;

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CONTAINING, according to the dimensions herein stated, a total area of 33.13 Acres, more or less; of which 6.34 Acres are in the Eastern one-half of the Right-of-Way of Texas State Park Road No. 100, for a net area of 46.89 Acres, more or less.

TRACT NO. 2

BEING 194.61 Acres, more or less, located in the Southern portion of the above mentioned 1,806.62 Acres on South Padre Island, and lying between the centerline of Texas State Park Road No. 100 and the line of Mean Higher High Tide of the Laguna Madre, and being more particularly located and described as follows:

BEGINNING at the Southeast corner of this tract located at a bolt at the Place of Intersection of the South boundary of the said 1,806.62 Acres with the centerline of Texas State Park Road No. 100;

THENCE along the South line of this tract South 89° 24' 01" West, for a distance of 3,377.69 feet to a concrete monument and a point for a corner; Said point being on the Easterly line of Mean Higher High Tide of the Laguna Madre as established on July 25, 1981;

THENCE along said Easterly line of Mean Higher High Tide of the Laguna Madre as follows:

North 25° 55' 53" West,	110.60 feet to a concrete monument;
South 79° 42' 38" West,	594.26 feet to a concrete monument;
North 29° 18' 16" East,	324.93 feet to a concrete monument;
South 45° 50' 28" West,	408.76 feet to a concrete monument;
South 89° 24' 01" West,	206.49 feet to a concrete monument;
North 4° 13' 32" West,	641.22 feet to a concrete monument;
North 14° 39' 38" East,	428.12 feet to a concrete monument;
North 18° 49' 23" East,	476.26 feet to a concrete monument;
North 69° 10' 32" East,	1,034.23 feet to a concrete monument;
North 37° 11' 17" West,	713.77 feet to a concrete monument;
North 12° 04' 46" East,	201.24 feet to a concrete monument;
North 68° 10' 39" West,	350.76 feet to a concrete monument;
South 57° 32' 39" West,	219.48 feet to a concrete monument;
North 20° 26' 48" West,	620.31 feet to a concrete monument;

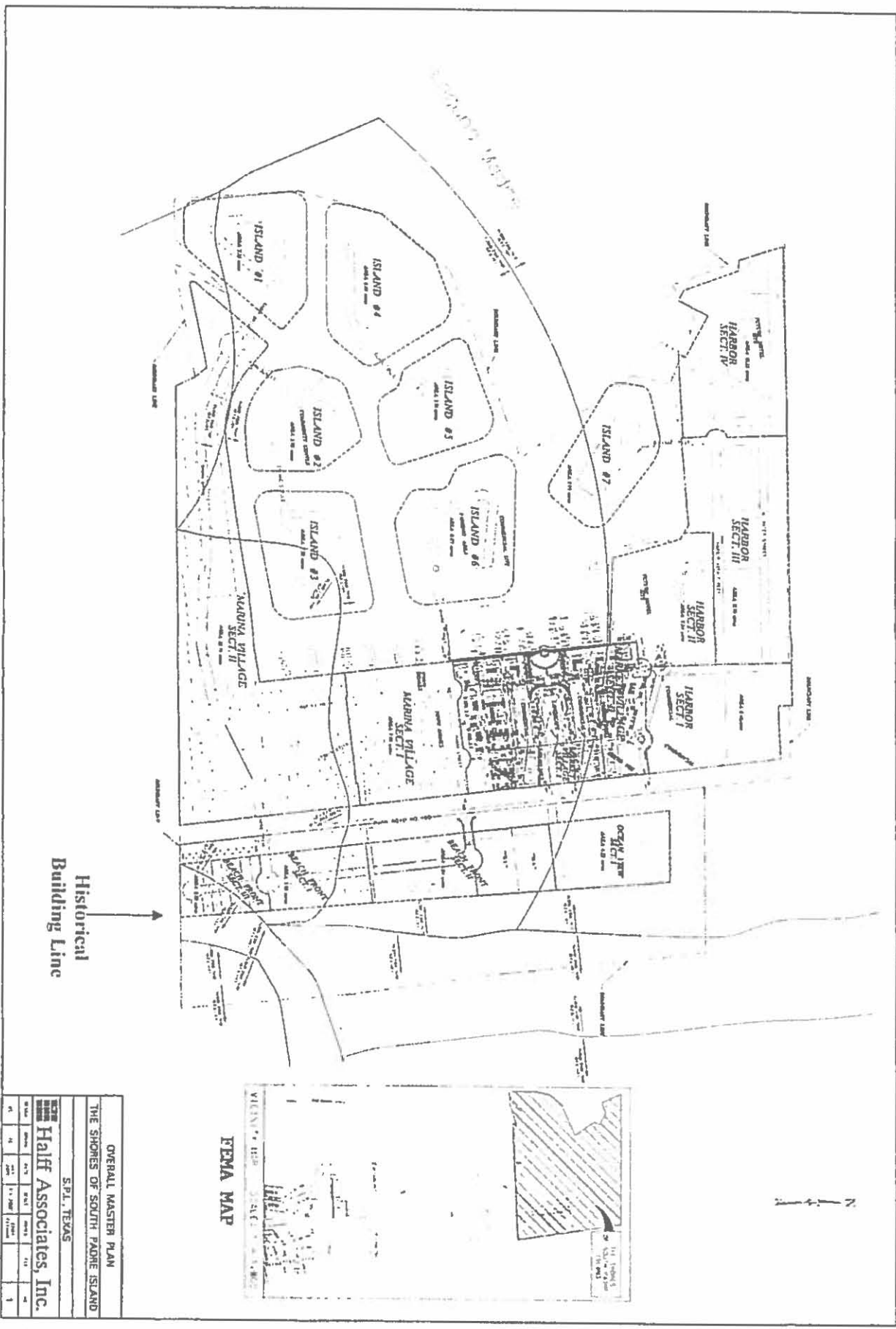
Said point being on the Northerly line of this tract;

THENCE along the Northerly line of this tract, North 89° 30' 30" East, at 2,461.73 feet a 4 1/2 x 4 1/2" concrete monument marked "C" and having thereon a 1" diameter aluminum cap stamped "C + A Survey," for the Place of Intersection of this boundary with the West Right-of-Way line of Texas State Park Road No. 100 and continuing therefrom an additional distance of 100.61 feet to a bolt in the centerline of Texas State Park Road No. 100 and the Northeast corner of this tract;

THENCE along the centerline of Texas State Park Road No. 100, South 6° 47' 04" East, for a distance of 3,162.47 feet to the PLACE OF BEGINNING.

CONTAINING, according to the dimensions herein stated, a total area of 194.61 Acres, more or less; which 7.26 Acres are in the Western one-half of the Right-of-Way of Texas State Park Road No. 100, for a net area of 187.35 Acres, more or less.

And LESS AND EXCEPT that certain tract of land lying within the State of Texas Highway right-of-way traversing Tracts 1 and 2 as more particularly described and set out in Deed dated June 1, 1971, recorded in Volume 513, Page 12, Deed Records of Cameron County, Texas.



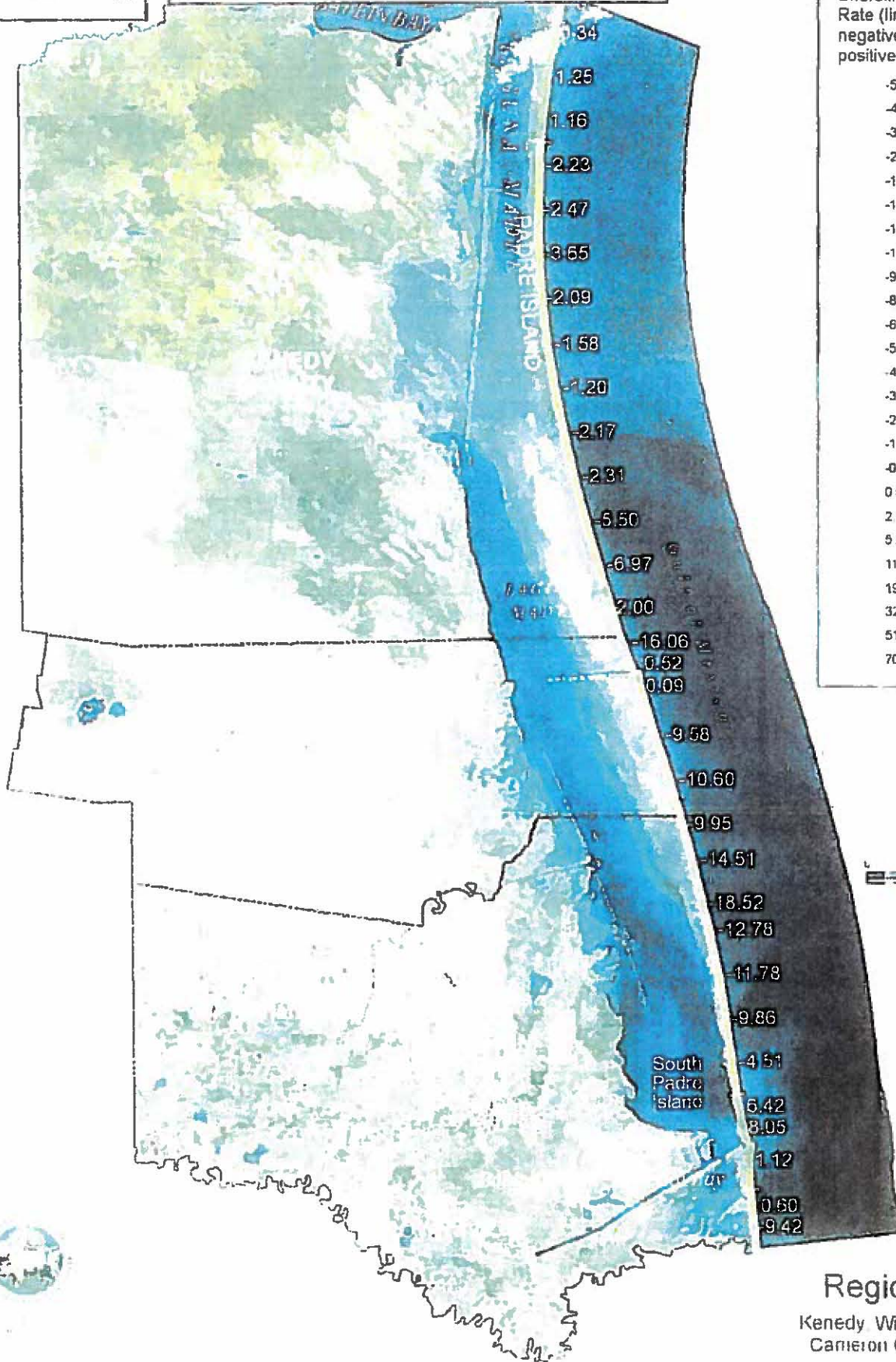
OVERALL MASTER PLAN				
THE SHORES OF SOUTH PADRE ISLAND				
S.P.I., TEXAS				
NO.	DATE	BY	CHKD.	APP.
1	10/1/88	J. L. HALL	J. L. HALL	J. L. HALL
2	10/1/88	J. L. HALL	J. L. HALL	J. L. HALL
3	10/1/88	J. L. HALL	J. L. HALL	J. L. HALL
4	10/1/88	J. L. HALL	J. L. HALL	J. L. HALL
5	10/1/88	J. L. HALL	J. L. HALL	J. L. HALL
6	10/1/88	J. L. HALL	J. L. HALL	J. L. HALL
7	10/1/88	J. L. HALL	J. L. HALL	J. L. HALL
8	10/1/88	J. L. HALL	J. L. HALL	J. L. HALL
9	10/1/88	J. L. HALL	J. L. HALL	J. L. HALL
10	10/1/88	J. L. HALL	J. L. HALL	J. L. HALL

Half Associates, Inc.

Critical Erosion in Region V

Average Annual
Shoreline Change
Rate (linear ft/yr)
negative=retreat,
positive=advance

-54.37 - -44.22
-44.21 - -31.52
-31.51 - -20.71
-20.70 - -15.08
-15.97 - -14.18
-14.17 - -12.55
-12.54 - -11.09
-11.08 - -9.79
-9.78 - -8.18
-8.17 - -6.68
-6.67 - -5.65
-5.64 - -4.64
-4.63 - -3.60
-3.59 - -2.61
-2.60 - -1.67
-1.66 - -0.68
-0.67 - 0.54
0.55 - 2.12
2.13 - 5.25
5.26 - 11.50
11.51 - 19.71
19.72 - 32.81
32.82 - 51.74
51.75 - 70.14
70.15 - 109.03



Region V

Kenedy Willacy and
Cameron Counties



The Shores at South Padre, Texas
Aerial photograph of the development, showing the layout of the roads and buildings. The map is oriented horizontally, with the ocean at the bottom and the land at the top.

FRANKE REALTORS

Dennis A. Franke dennis@frankerealtors.com
Kevin C. Franke kevin@frankerealtors.com

Richard J. Franke richardsr@frankerealtors.com
Richard J. Franke, Jr. richardjr@frankerealtors.com

May 17, 2012

Lloyd Mullins, Supervisor
Department of the Army
Galveston District, Corps of Engineers
Corpus Christi Regulatory Field Office
Attn: Regulatory Branch
5151 Flynn Parkway, Suite 306
Corpus Christi, Texas 78411-4318

Dear Mr. Mullins:

I am writing to you with regard to the Shores Development located on South Padre Island.

The Shores encompasses in approximately $\frac{1}{2}$ a mile of the Island from Gulf to Bay, just North of the Convention Center. The Shores is a Planned Development District (PDD) with its own Standard and Specifications, Design Code, Rules & Regulations, which are unique to the development and different than The Town.

The Shores does not allow seawalls; we use the natural dunes as protection from severe weather coming off the gulf; the building line is approximately 450' west of the water line; we nurture and guard our dune structure which is ecstatically pleasing and is our barrier from the sea.

The starting price for a house or condominium in The Shores is almost \$1,000,000 and ranges up to \$6,000,000 to \$7,000,000. We have a very discriminating market that can go anywhere in the world, so they do not have to come to South Pare Island but, they will come if we have the proper environment and the type of development that they demand.

The Town of South Padre Island has decided for some unknown reason to only clean the beach on an infrequent basis. Consequently, the beaches are littered with seaweed and other debris, making them very undesirable for anyone wanting to go to the beach. The beaches in general are now not only unsightly, but they smell, are insect ridden and totally unacceptable for a family and children to play in the sand, enjoy the surf or just take a walk.

phone (800) 447-4753 / (956) 761-2606 / fax 761-2650 / website: frankerealtors.com
8605 padre blvd, south padre island, texas 78597

In order to alleviate this situation, The Shores is asking for a permit to be allowed to supplement the Town's infrequent cleaning of the beach by allowing us to do the following:

- ~~1. On a one-time basis, relocate the debris piles that have been located in a hazardous way on the beach into a relatively uniform berm line which will translate into a sand dune that will provide protection in time of severe weather.~~
2. Be allowed to rake the water line on a periodic basis to pick up the seaweed and debris that come in daily and locate the seaweed into berm line. By this method, we will clean the beach along the water line and take away the debris as it comes in and not let it accumulate so the removal will be simple and efficient.

The method that the Town is currently using allows the seaweed and debris to stalk up sometimes knee deep and become embedded into the sand so when it is removed, a great deal of beach sand must be moved with it.

With this method of regular cleaning at the water line, there would be little need to rake any of the sand between the water line and the dune structure so as not to loosen or cause additional wind erosion.

Please review our request and see if it can be accomplished through a Nation Wide Permit. I very much appreciate your assistance in this matter, as it is at a point that our main attracting force, the Beach is no longer attracting visitors and potential buyers. Conversely, it is driving them away as they have no desire to be on an unkept beach; there are lots of other places they can go. We are not asking for any financial assistance or funding, The Shores Association will pay all costs.

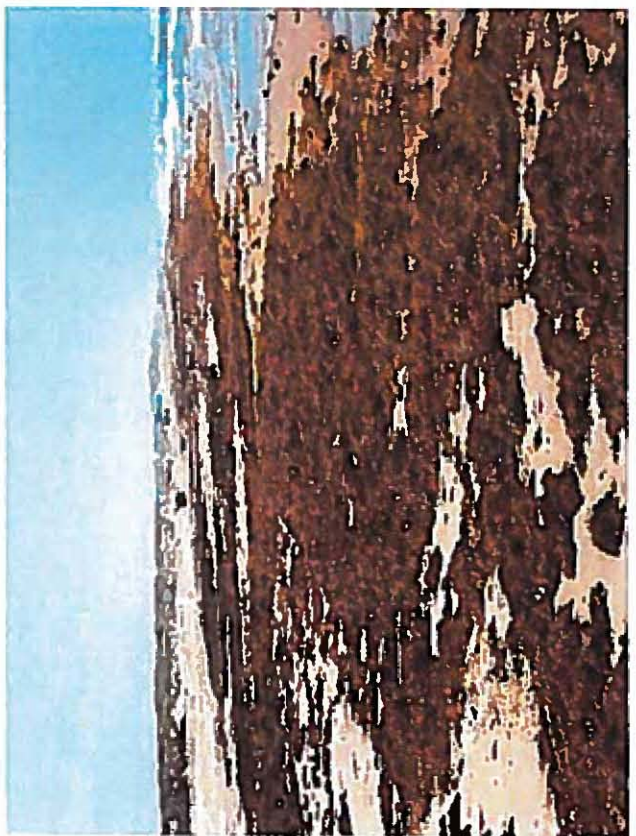
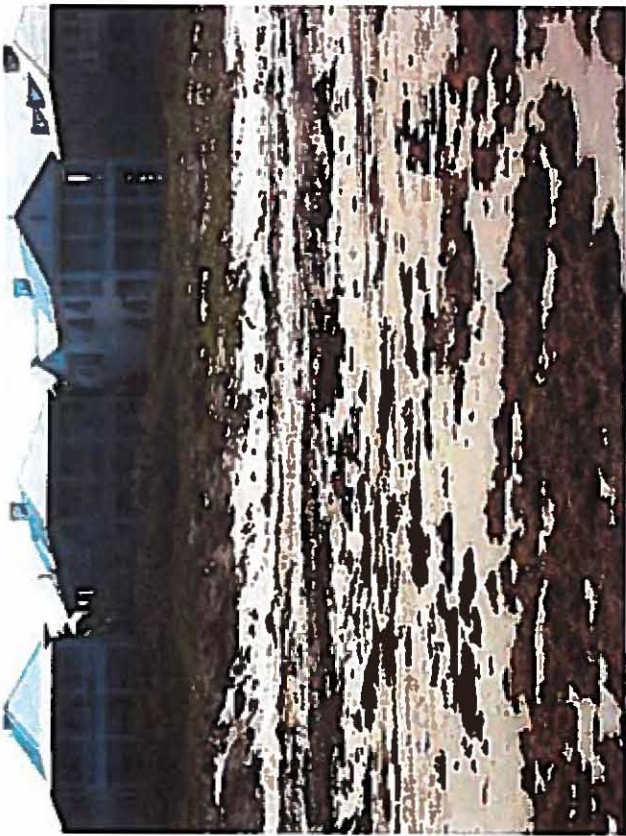
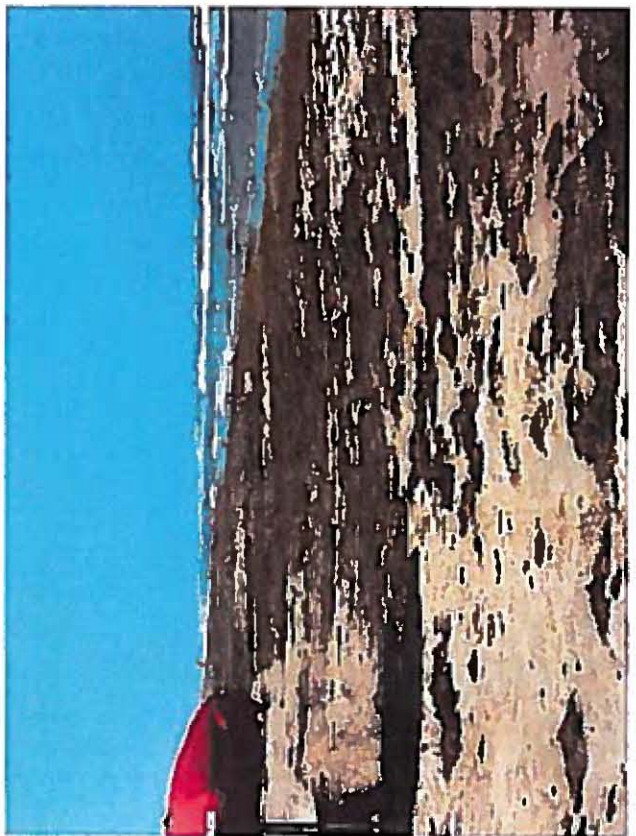
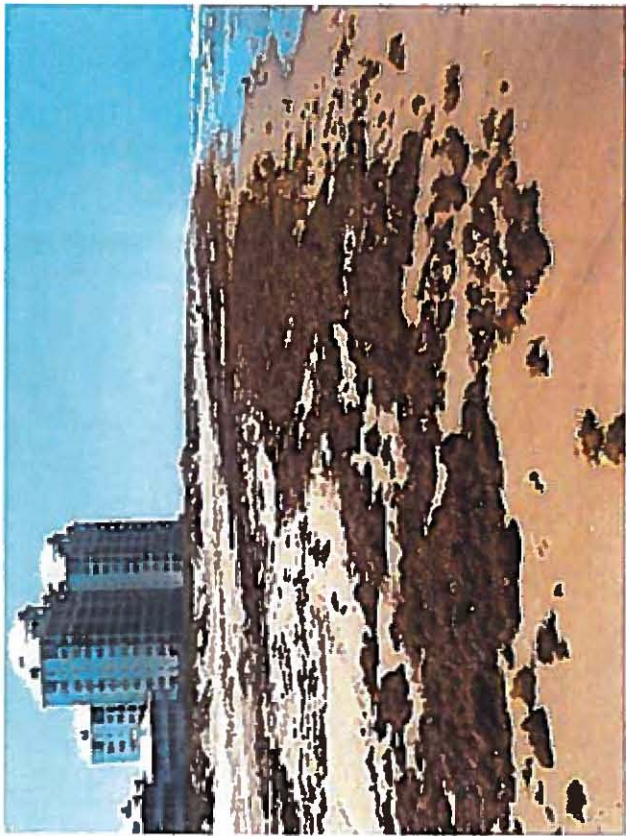
I look forward to hearing from you.

Sincerely yours,



Dennis A. Franke

DAF/ce





DEPARTMENT OF THE ARMY
CORPUS CHRISTI REGULATORY FIELD OFFICE
5151 FLYNN PARKWAY, SUITE 306
CORPUS CHRISTI, TEXAS 78411

August 20, 2012

REPLY TO
ATTENTION OF:

Corpus Christi Regulatory Field Office

SUBJECT: File No. SWG-2007-00818; Approved Jurisdictional Determination

Dennis Franke
Franke Realtors
8605 Padre Boulevard
South Padre Island, TX 78579

Dear Mr. Franke:

This is in regard to your request, dated May 17, 2012, in which you requested that we review the jurisdictional status of the proposed collection and removal of sargassum from approximately one-half mile of beach within the Shores Development. The project site is located on an approximate one-half mile portion of beach, interfacing with the Gulf of Mexico, in South Padre Island, Cameron County, Texas.

We have determined that the beach adjacent to the Gulf of Mexico is a water of the United States, approximately to the base of the foredune area. The Corps of Engineers regulates the discharge of dredged and/or fill material into waters of the United States under Section 404 of the Clean Water Act. The placement of dredged or fill material into these waters of the U.S. require a Department of the Army (DA) permit. However, since the activity and method you described in your May 17, 2012 letter and our July 11, 2012 meeting on site involves the removal of sargassum above the mean high tide line without disturbing the sand below it, and placing the sargassum in upland areas, a DA permit is not required for this activity. Please be aware that a DA permit is required for any discharge of fill material in waters of the U.S. Fill material is defined as material placed or displaced in waters of the United States where the material has the effect of replacing any portion of a water of the United States with dry land; or changing the bottom elevation of any portion of a water of the United States, as per 33 CFR 323.2(e)(1).

This determination is an approved jurisdictional determination; this approved determination is valid for 5 years from the date of this letter unless new information warrants a revision of the determination prior to the expiration date. Corps determinations are conducted to identify the limits of the Corps' Clean Water Act jurisdiction for particular sites. This determination may not be valid for the wetland conservation provisions of the Food Security Act of 1985, as amended. If you or your tenant are USDA program participants, or anticipate participation in USDA programs, you should request a certified wetland determination from the local office of the Natural Resources Conservation Service prior to starting work.

If you object to this determination, you may request an administrative appeal under Corps regulations at 33 CFR Part 331.5. Also enclosed are a combined Notification of Administrative Appeal Options and Process (NAP) and Request for Appeal (RFA) form. If you request to appeal this determination you must submit a completed RFA to the Southwestern Division Office at the following address:

Mr. Elliott Carman
Regulatory Appeals Officer
Southwest Division USACE (CESWD-PD-O)
1100 Commerce Street, Suite 831
Dallas, Texas 75242-1317
Telephone: 469-487-7061; FAX: 469-487-7199

In order for an RFA to be accepted by the Corps, the Corps must determine that it is complete, meets the criteria for appeal under 33 CFR Part 331.5, and that it has been received by the Division Office within 60 days of the date of the NAP. Should you decide to submit the RFA form, it must be received at the above address by October 15, 2012. It is not necessary to submit an RFA form to the Division office if you do not object to this determination.

Please note, this is **not authorization to begin work in jurisdictional areas**. If you have any questions concerning this matter, please contact Reagan Richter at the letterhead address or by telephone at 361-814-5847, ext. 1005. To assist us in improving our service to you, please complete the survey found at <http://per2.nwp.usace.army.mil/survey.html>.

FOR THE DISTRICT COMMANDER:



Lloyd Mullins, Supervisor
Corpus Christi Regulatory Field Office

NOTIFICATION OF ADMINISTRATIVE APPEAL OPTIONS AND PROCESS AND REQUEST FOR APPEAL

Applicant: Franke Realtors		File #: SWG-2007-00818	Date: 20-Aug-12
Attached is:		See Section below	
	INITIAL PROFFERED PERMIT (Standard Permit or Letter of Permission)		A
	PROFFERED PERMIT (Standard Permit or Letter of Permission)		B
	PERMIT DENIAL		C
X	APPROVED JURISDICTIONAL DETERMINATION		D
	PRELIMINARY JURISDICTIONAL DETERMINATION		E

SECTION I - The following identifies your rights and options regarding an administrative appeal of the above decision. Additional information may be found at <http://www.usace.army.mil/inet/functions/cw/cecwo/reg/> Or Corps regulations at 33 CFR Part 331.

A: INITIAL PROFFERED PERMIT: You may accept or object to the permit.

- **ACCEPT:** If you received a Standard Permit, you may sign the permit document and return it to the district engineer for final authorization. If you received a Letter of Permission (LOP), you may accept the LOP and your work is authorized. Your signature on the Standard Permit or acceptance of the LOP means that you accept the permit in its entirety, and waive all rights to appeal the permit, including its terms and conditions, and approved jurisdictional determinations associated with the permit.
- **OBJECT:** If you object to the permit (Standard or LOP) because of certain terms and conditions therein, you may request that the permit be modified accordingly. You must complete Section II of this form and return the form to the district engineer. Your objections must be received by the district engineer within 60 days of the date of this notice, or you will forfeit your right to appeal the permit in the future. Upon receipt of your letter, the district engineer will evaluate your objections and may: (a) modify the permit to address all of your concerns, (b) modify the permit to address some of your objections, or (c) not modify the permit having determined that the permit should be issued as previously written. After evaluating your objections, the district engineer will send you a proffered permit for your reconsideration, as indicated in Section B below.

B: PROFFERED PERMIT: You may accept or appeal the permit

- **ACCEPT:** If you received a Standard Permit, you may sign the permit document and return it to the district engineer for final authorization. If you received a Letter of Permission (LOP), you may accept the LOP and your work is authorized. Your signature on the Standard Permit or acceptance of the LOP means that you accept the permit in its entirety, and waive all rights to appeal the permit, including its terms and conditions, and approved jurisdictional determinations associated with the permit.
- **APPEAL:** If you choose to decline the proffered permit (Standard or LOP) because of certain terms and conditions therein, you may appeal the declined permit under the Corps of Engineers Administrative Appeal Process by completing Section II of this form and sending the form to the division engineer. This form must be received by the division engineer within 60 days of the date of this notice.

C: PERMIT DENIAL: You may appeal the denial of a permit under the Corps of Engineers Administrative Appeal Process by completing Section II of this form and sending the form to the division engineer. This form must be received by the division engineer within 60 days of the date of this notice.

D: APPROVED JURISDICTIONAL DETERMINATION: You may accept or appeal the approved jurisdictional determination (JD) or provide new information.

- **ACCEPT:** You do not need to notify the Corps to accept an approved JD. Failure to notify the Corps within 60 days of the date of this notice, means that you accept the approved JD in its entirety, and waive all rights to appeal the approved JD.
- **APPEAL:** If you disagree with the approved JD, you may appeal the approved JD under the Corps of Engineers Administrative Appeal Process by completing Section II of this form and sending the form to the division engineer. This form must be received by the division engineer within 60 days of the date of this notice.

E: PRELIMINARY JURISDICTIONAL DETERMINATION: You do not need to respond to the Corps regarding the preliminary JD. The preliminary JD is not appealable. If you wish, you may request an approved JD (which may be appealed), by contacting the Corps district for further instruction. Also you may provide new information for further consideration by the Corps to reevaluate the JD.

SECTION II - REQUEST FOR APPEAL or OBJECTIONS TO AN INITIAL PROFFERED PERMIT

REASONS FOR APPEAL OR OBJECTIONS: (Describe your reasons for appealing the decision or your objections to an initial proffered permit in clear concise statements. You may attach additional information to this form to clarify where your reasons or objections are addressed in the administrative record.)

ADDITIONAL INFORMATION: The appeal is limited to a review of the administrative record, the Corps memorandum for the record of the appeal conference or meeting, and any supplemental information that the review officer has determined is needed to clarify the administrative record. Neither the appellant nor the Corps may add new information or analyses to the record. However, you may provide additional information to clarify the location of information that is already in the administrative record.

POINT OF CONTACT FOR QUESTIONS OR INFORMATION:

If you have questions regarding this decision and/or the appeal process you may contact:

Lloyd Mullins, Supervisor
U.S. Army Corps of Engineers, CESWG-PE-RCC
Corpus Christi Regulatory Field Office
5151 Flynn Parkway, Suite 306
Corpus Christi, Texas 78411-4318
Telephone 361-814-5847; FAX 361-814-5912

If you only have questions regarding the appeal process you may also contact:

Elliott Carman, Appeal Review Officer
US Army Engineer Division, Southwestern
1100 Commerce Street, Suite 831
Dallas TX 75242-1317
Telephone: 469-487-7061; FAX: 469-487-7189
Email: Elliott.n.carman@usace.army.mil

RIGHT OF ENTRY: Your signature below grants the right of entry to Corps of Engineers personnel, and any government consultants, to conduct investigations of the project site during the course of the appeal process. You will be provided a 15-day notice of any site investigation, and will have the opportunity to participate in all site investigations.

Signature of appellant or authorized agent.

Date:

Telephone number:

Dennis A. Franke
Richard J. Franke, Jr.



Richard J. Franke
Kevin C. Franke

January 24, 2017

Brandon Hill, Shoreline Management Director
City of South Padre Island Shoreline Management
4601 Padre Boulevard
South Padre Island, Texas 78597

E-mail: bhill@myspi.org

RE: Beach Dune Application for Shores Access To Beach

Dear Brandon,

Please find enclosed 3 copies of the Beach Dune Application for The Shores to access the Beach for Beach Maintenance.

The check in the amount of \$480.00 has been requested and will be delivered later this week.

After you have reviewed the application, please give me a call if you have any questions.

Sincerely yours,

A handwritten signature in blue ink, appearing to read "Dennis A. Franke".

Dennis A. Franke

DAF/ce

Enclosure

Beach & Dune Application

City of South Padre Island
4601 Padre Blvd.
South Padre Island, TX 78597
Phone: (956) 761-3044
Fax: (956) 761-3898

Site for Proposed Work	
Legal Description	SHORES 1/2 MILE OF BEACH
Physical Address	8500 PADRE BOULEVARD

Property Owner Information	Applicant / Agent for Owner
Name SHORES OWNER'S ASSOCIATION AND PADRE SHORES II, LLC	Name DENNIS A. FRANKE
Mailing Address 8605 PADRE BOULEVARD	Mailing Address 8605 PADRE BOULEVARD
City SOUTH PADRE ISLAND	City SOUTH PADRE ISLAND
State TEXAS	State TEXAS
Zip 78597	Zip 78597
Country CAMERON COUNTY, USA	Country CAMERON COUNTY, USA
Phone Number 956-761-0044	Phone Number 956-761-0044
Fax Number 956-761-2650	Fax Number 956-761-2650
E-Mail Address DENNIS@FRANKEREALTY.COM	E-Mail Address DENNIS@FRANKEREALTY.COM
I / We, owners of the above-mentioned property, authorize the applicant stated above, to act in my behalf in order to acquire a Beach and Dune permit for the construction proposed below. (owner initials here _____)	
Owner(s) Signature(s) DENNIS FRANKE	Applicant Signature DENNIS FRANKE
Date 1/18/2017	Date 1/18/2017

Project Description	
Describe with as much as detail as possible, the construction proposed. If more room is needed, please include an additional page. Include the number of habitable units, amenities, swimming pools, fences, kinds of fences, whether footings and/or retaining walls will be installed, and locations of proposed landscaping and parking.	
<u>There will be no construction. The Shores Development, Inc. is requesting a Beach Dune Permit to access the Beach in front of the Shores Master Planned Development (approx. 1/2 mile of Beach) to provide, supplemental to the city, Beach raking of the water line (tide line) to remove seaweed and other organic materials that washes in with the tide and deposit that material on the fore dune line along the Beach to assist in Dune Development and provide a clean Beach. The only area to be raked will be the tide line and no Beach sand will be significantly disturbed or removed.</u>	
Total Square Footage of Footprint of Habitable Structure:	N/A
Total Area of Impervious Surface (i.e., retaining walls, walkways, drives, patios, etc.):	N/A
Percentage Impervious Surface [(impervious surface / habitable footprint) * 100]:	N/A
Please Note: the percentage of impervious surface cannot exceed 5% in an eroding area.	
Approximate Duration of Construction:	N/A REGULAR BEACH CLEANING

Financial Plan for the Removal of All Hard Structures

All properties which are allowed to build retaining walls on their property are allowed to do so with the condition that a financial plan for the removal of the retaining wall is submitted to the Public Works Department of the City of South Padre Island. Removal of the retaining wall at the owner's expense may be required if/once the retaining wall comes into regular contact with wave action for twenty (20) out of thirty (30) consecutive days. The City accepts the submission of a Retaining Wall Covenant, or other financial guarantee, insuring the removal of the retaining wall if the required conditions are met.

Type of Plan Submitted: N/A Date Submitted: _____

Drainage

Describe the impact that the proposed construction will have on the natural drainage pattern on the site and adjacent lots.

- ☒ No change in the drainage on site.
- ☐ The proposed construction will change the grading and the drainage on the subject property. (An explanation will be required detailing where the water will drain.)

Explanation / Other Information: _____

Impacts to Beach / Dune System

Answer each question as completely as possible in narrative form.

1. What damage will this proposed construction have on the dune vegetation located at the project site?

- ☒ No damage to dune vegetation whatsoever.
- ☐ The proposed construction will impact _____% of the dune vegetation site. (An explanation of the "impact" will be required.)
- ☐ The proposed construction will require the removal and relocation of _____% of the dune vegetation on site. (The submission of a mitigation plan will be required.)

Explanation / Other Information: _____

2. How will the proposed construction alter the dune size/shape at the project site?

- ☒ No change to dune size/shape whatsoever.
- ☐ The proposed construction will change _____% of the size/shape of dunes on site. (Details will be required.)
- ☐ The proposed construction will require the removal and relocation of _____% of the dunes on site. (The submission of a mitigation plan will be required.)

Explanation / Other Information: _____

3. How will the proposed construction change the hydrology of the dunes at the project site?

- ☒ No change to dune hydrology whatsoever.
- ☐ The proposed construction will impact dune hydrology on site. (Details will be required.)

Explanation / Other Information: _____

4. Describe alternatives to the proposed construction or method of construction which will cause fewer or no adverse effects on dunes and dune vegetation.

N/A

5. Describe alternatives to the proposed construction or method of construction which will cause fewer or no adverse impairment to beach access.

N/A

Mitigation Plan

Describe the methods which you will use to avoid, minimize, mitigate and/or compensate for any adverse effects on dunes or dune vegetation.

Explanation / Other Information: THE MITIGATION RESULTS ARE A MUCH CLEANER AND DESIRABLE BEACH AND
AND THE ENHANCEMENT OF THE FORE DUNE

Financial Plan for Dune Mitigation:

If required by the City Council, a financial guarantee (irrevocable letter of credit or a performance bond, etc.) may be necessary to insure the mitigation of dunes/dune vegetation takes place as proposed and required of the applicant.

Type of Plan Submitted: N/A Date of Submission _____

Checklist of Additional Required Application Information

An accurate map, plat or site plan showing:

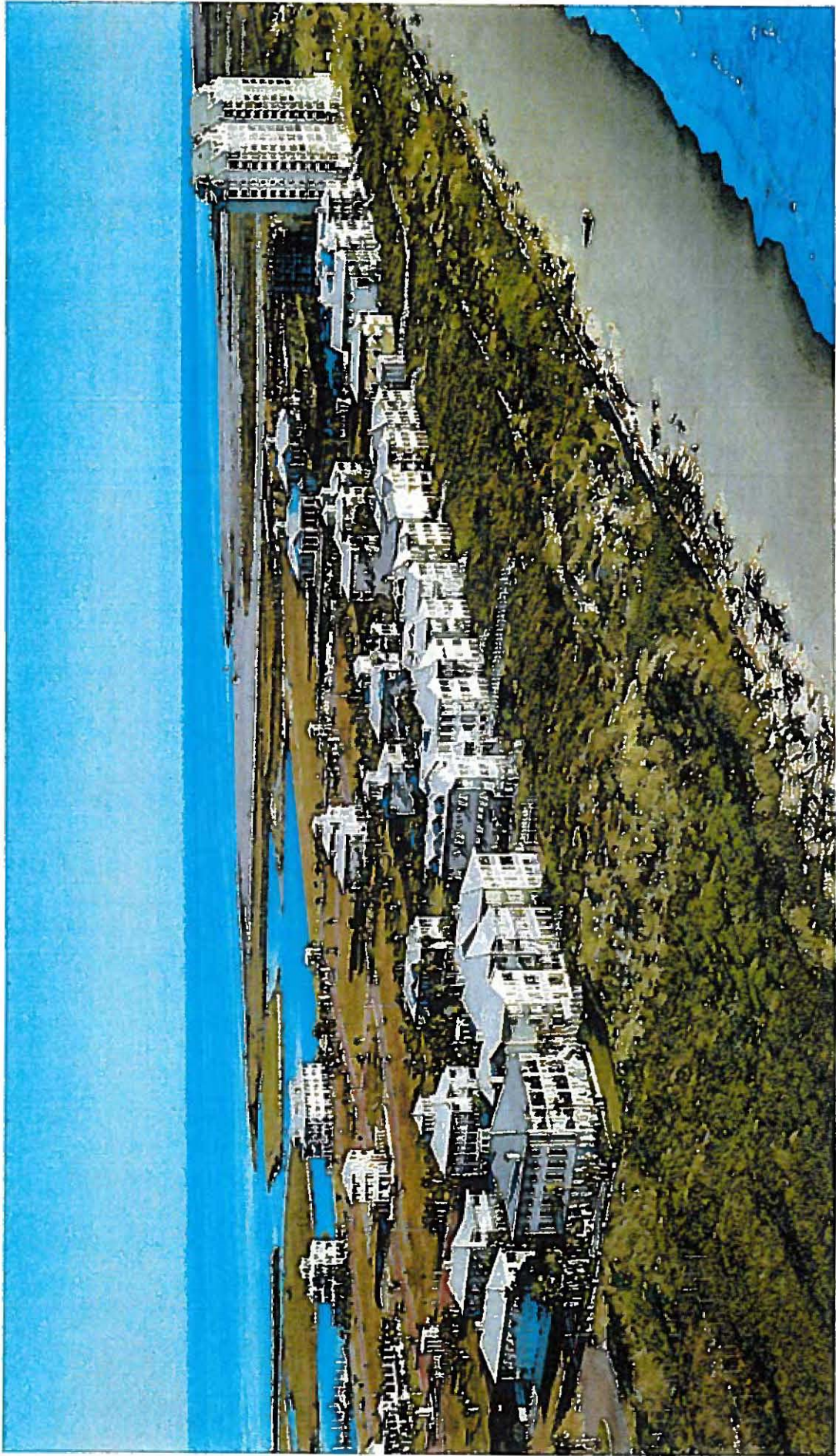
- ☒ 1. Legal description of the property (lot, block, subdivision) and the immediately adjoining property.
- ☒ 2. Location of all existing structures - including the habitable and inhabitable structures, swimming pools, decks, fences, parking areas, landscape areas, etc.
- ☒ 3. Location of the Historical Building Line on the subject property and the extension of the line on the properties immediately adjoining the subject property to the north and to the south.
- ☐ 4. Location and elevation of existing retaining walls - both on the subject property and those properties immediately adjoining the subject property to the north and to the south.
- ☐ 5. Location of proposed structure(s) - if proposing the construction of a retaining wall, please also include the proposed elevation of the retaining wall.
- ☐ 6. Location of proposed driveways, parking areas (showing the # of proposed parking spaces) and landscape areas.
- ☒ 7. Location of all existing and proposed beach access paths and/or dune walkovers.
- ☐ 8. Location and extent of any man-made vegetated mounds, restored dunes, fill activities or any other pre-existing human modifications on the tract.
- ☒ 9. Topographical survey of the site identifying all elevations, existing contours of the project area (including dunes and scales) and the proposed contours of the final grade.

Other required application information:

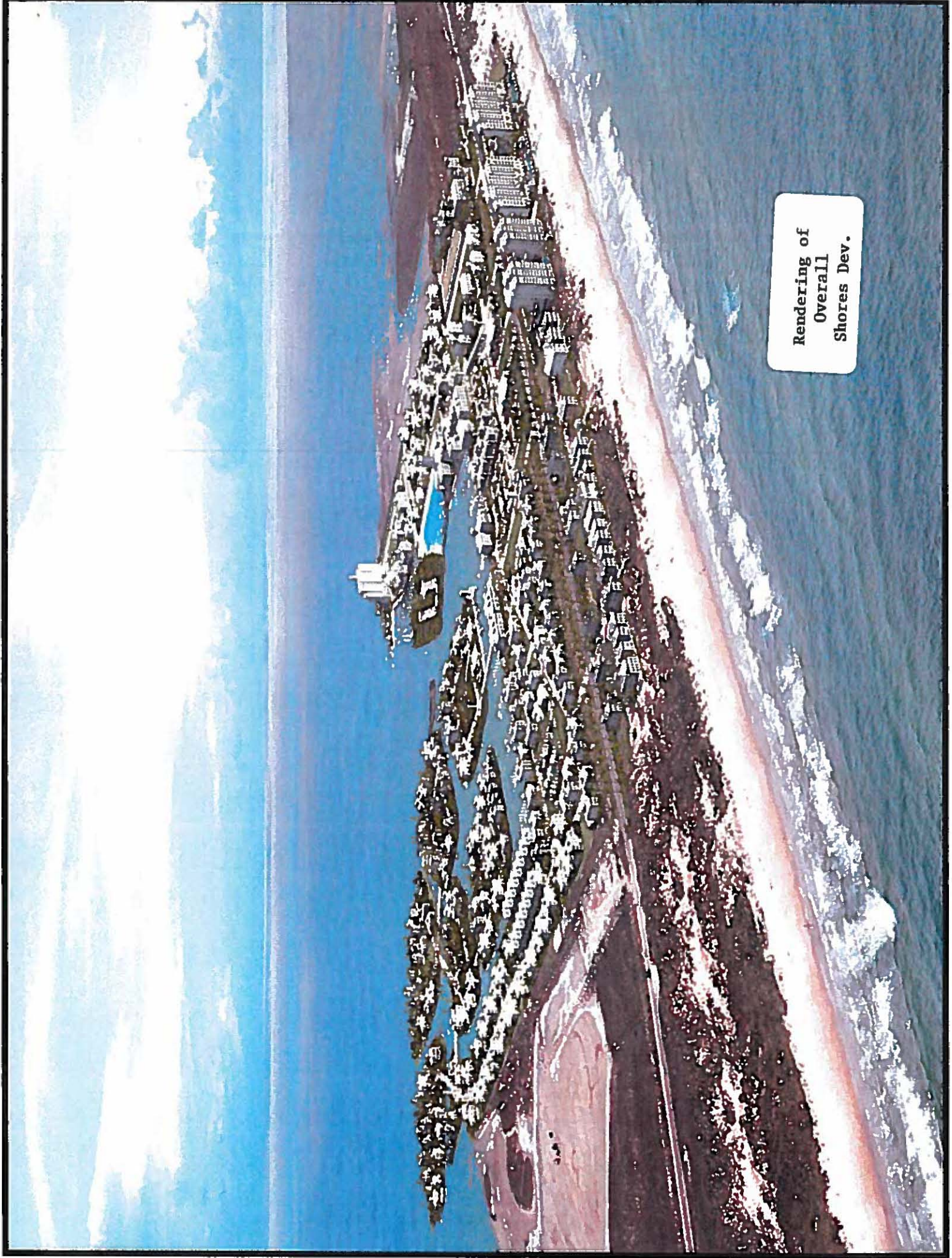
- ☐ 1. A grading and layout plan showing proposed contours for the final grade.
- ☐ 2. The floor plan(s) and elevation(s) of the structure proposed to be constructed or expanded.
- ☒ 3. Photographs of the site which clearly show the current location of the vegetation line & existing dunes on the tract within the last 6 months.
- ☒ 4. Copy of the Flood Rate Map showing the location of the subject property. (FEMA.GOV - Map Search)
- ☒ 5. Copy of the Historical Erosion Rate Map as determined by the University of Texas at Austin, Bureau of Economic Geology. (beg.utexas.edu)
- ☒ 6. Application Fee of \$180 for Staff Approved applications and \$300 for City Council Approved applications.

Your application is not complete unless all information requested above is submitted.

Application submissions require only three (3) copies of the complete information plus a digital copy.



CURRENT PICTURE
OF
THE SHORES

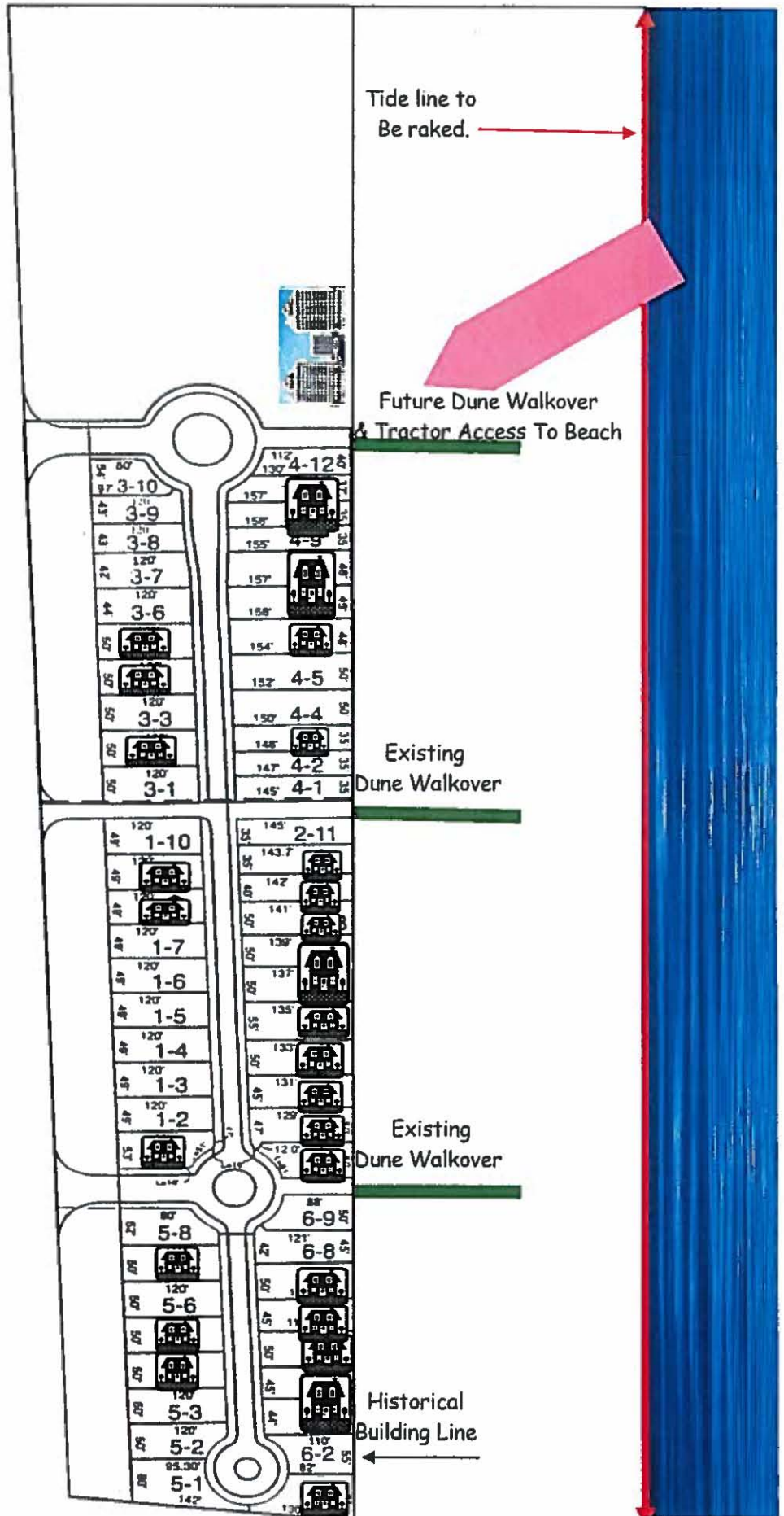


Rendering of
Overall
Shores Dev.

Shores Beach Raking Data

- The equipment used to rake the Beach will be a John Deer four-wheel drive tractor with a six foot hay rake. See attached picture.
- The operator of the tractor is a well-qualified operator with considerable experience in operation of the equipment. He will be knowledgeable in pedestrian safety and the safety and concern for the nesting turtles. If a turtle or turtle track of a nesting turtle is spotted, the raking will stop and the Turtle Patrol will be called. Since the raking will take place early in the morning, the operator will be a value asset to the Turtle Patrol in spotting nesting turtles and their tracks.
- Beach raking will take place first thing in the morning starting at 7:30 a.m. and should be completed by 8:30 a.m. or before. Since raking will be done daily, it should only take one or two passes to clean the high tide line under normal circumstances.
- Tractor access to beach will be through a small path over the dunes located at the future dune walkover site, as shown on the enclosed plat. The access path will continually be covered with hay to provide stability and prevent eroding of the dunes.
- The raking will be only supplemental to the cities normal raking schedule. If the city is raking the beach, then the Shores will suspend raking that day.
- The City will continue to operate as it does now providing trashcans, debris removal, excess seaweed removal, beach raking on normal schedule, beach patrol, and emergency services.
- Shores will only provide additional beach raking at no cost to the town.
- Seaweed that is raked up by The Shores will be placed on the fore dune within 20 feet of the line of vegetation. Any non-organic material gathered in the raking process will be removed by hand and disposed of properly.
- The line of vegetation is clearly visible on the enclosed photographs and is approximately 200' from the mean tide line.
- The Shores beach raking will have no impact on the public use of the beach, nesting turtles, sand movement, sand dunes, or vegetation. The only impact will be a clean sparkling beach and enhancement of the fore dune.

The Shores
Beachfront & 2nd Tier Beachfront Property





0305 0000





Shores
Google Earth
Current

PROPERTY DESCRIPTION

878

Vol. 1258 PAGE 878

EXHIBIT A TO SPECIAL WARRANTY DEED
(WITH VENDOR'S LIEN)
THE RUTH PAGE FOUNDATION AND RUTH PAGE FISHER
AS TRUSTEE OF THE RESIDUARY TRUST
UNDER WILL OF THOMAS HART FISHER, DECEASED (GRANTOR)
AND RICHARD FRANKE AND DENNIS FRANKE (GRANTEES)

BEING 247.74 Acres, more or less, on South Padre Island in Cameron County, Texas, being a part of that certain tract commonly referred to as the "South 2,000 Acres of the King 6,000 Acres" lying North of the parallel of North Latitude 26°08'47"; the said "South 2,000 Acres" found to have a total area of 1,806.62 Acres according to the Deed recorded in Volume 938 on Page 895, and the said 247.74 Acres, thereof, being the total area of two tracts which are hereinafter more particularly located and described as Tract No. 1 containing 53.13 Acres, more or less, and Tract No. 2, containing 194.61 Acres, more or less, and being the same tracts called Parcel One in the Final Judgment of Partition dated November 10, 1975 and recorded in Volume 1044 on Page 765 of the Cameron County Deed Records;

TRACT NO. 1

BEACH SIDE

53.136 ACRES

BEING 53.13 Acres, more or less, located in the Southern portion of the above mentioned 1,806.62 Acres on South Padre Island and lying between the centerline of Texas State Park Road No. 100 and the line of Mean Higher High Tide of the Gulf of Mexico; and being more particularly located and described as follows:

BEGINNING at the Southwest corner of this tract located at a bolt at the Place of Intersection of the South boundary of the said 1,806.62 Acres with the centerline of Texas State Park Road No. 100;

THENCE with the centerline of Texas State Park Road No. 100, North 6° 47' 04" West, a distance of 2,718.84 feet to a bolt for the Northwest corner of this tract;

THENCE North 89° 30' 30" East, along a line for the North boundary of this tract, at 100.61 feet a 4 1/2 x 4 1/2" concrete monument, marked "C" and having thereon a 1" diameter aluminum cap stamped "C + A Survey" for the intersection of this boundary with the East Right-of-Way line of Texas State Park Road No. 100, and continuing an additional 512.77 feet to a concrete monument and continuing therefrom an approximate distance of 243.86 feet for a total distance of approximately 857.24 feet to an intersection with the line of Mean Higher High Tide of the Gulf of Mexico for the Northeast corner of this tract;

THENCE with the meander of the line of Mean Higher High Tide of the Gulf of Mexico approximately South 6° 23' 00" East, 1,024.90 feet; South 8° 12' 08" East, 800.25 feet; South 3° 06' 58" East, 891.27 feet to an intersection with the South boundary of the said 1,806.62 Acres for the Southeast corner of this tract;

THENCE with the South boundary of the said 1,806.62 Acres Tract, South 89° 24' 01" West, at approximately 214.56 feet a 4 1/2 x 4 1/2" concrete monument and continuing an additional 528.49 feet to a concrete monument for the Place of Intersection of this boundary with the East Right-of-Way line of Texas State Park Road No. 100, and continuing therefrom an additional distance of 100.61 feet, for a total distance of approximately 843.66 feet to the PLACE OF BEGINNING;

Vol 1258 Page 879

CONTAINING, according to the dimensions herein stated, a total area of 51.13 Acres, more or less; of which 6.24 Acres are in the Eastern one-half of the Right-of-Way of Texas State Park Road No. 100, for a net area of 45.89 Acres, more or less.

TRACT NO. 2

BEING 194.61 Acres, more or less, located in the Southern portion of the above mentioned 1,806.62 Acres on South Padre Island, and lying between the centerline of Texas State Park Road No. 100 and the line of Mean Higher High Tide of the Laguna Madre, and being more particularly located and described as follows:

BEGINNING at the Southeast corner of this tract located at a bolt at the Place of Intersection of the South boundary of the said 1,806.62 Acres with the centerline of Texas State Park Road No. 100;

THENCE along the South line of this tract South 89° 24' 01" West, for a distance of 2,377.69 feet to a concrete monument and a point for a corner; said point being on the Easterly line of Mean Higher High Tide of the Laguna Madre as established on July 25, 1981;

THENCE along said Easterly line of Mean Higher High Tide of the Laguna Madre as follows:

North 25° 55' 53" West, 110.60 feet to a concrete monument;
 South 79° 42' 58" West, 594.26 feet to a concrete monument;
 North 29° 18' 16" East, 324.93 feet to a concrete monument;
 South 45° 50' 38" West, 408.76 feet to a concrete monument;
 South 89° 24' 01" West, 200.49 feet to a concrete monument;
 North 4° 13' 32" West, 641.22 feet to a concrete monument;
 North 14° 39' 38" East, 428.12 feet to a concrete monument;
 North 18° 49' 22" East, 476.26 feet to a concrete monument;
 North 69° 10' 32" East, 1,034.23 feet to a concrete monument;
 North 37° 11' 17" West, 713.77 feet to a concrete monument;
 North 12° 04' 46" East, 201.24 feet to a concrete monument;
 North 68° 10' 39" West, 350.76 feet to a concrete monument;
 South 57° 32' 39" West, 219.48 feet to a concrete monument;
 North 20° 26' 42" West, 620.31 feet to a concrete monument;

Said point being on the Northerly line of this tract;

THENCE along the Northerly line of this tract, North 89° 30' 30" East, at 2,661.73 feet a 4 1/2 x 4 1/2" concrete monument marked "C" and having thereon a 1" diameter aluminum cap stamped "C + A Survey," for the Place of Intersection of this boundary with the West Right-of-Way line of Texas State Park Road No. 100 and continuing therefrom an additional distance of 100.61 feet to a bolt in the centerline of Texas State Park Road No. 100 and the Northeast corner of this tract;

THENCE along the centerline of Texas State Park Road No. 100, South 6° 47' 04" East, for a distance of 3,162.47 feet to the PLACE OF BEGINNING;

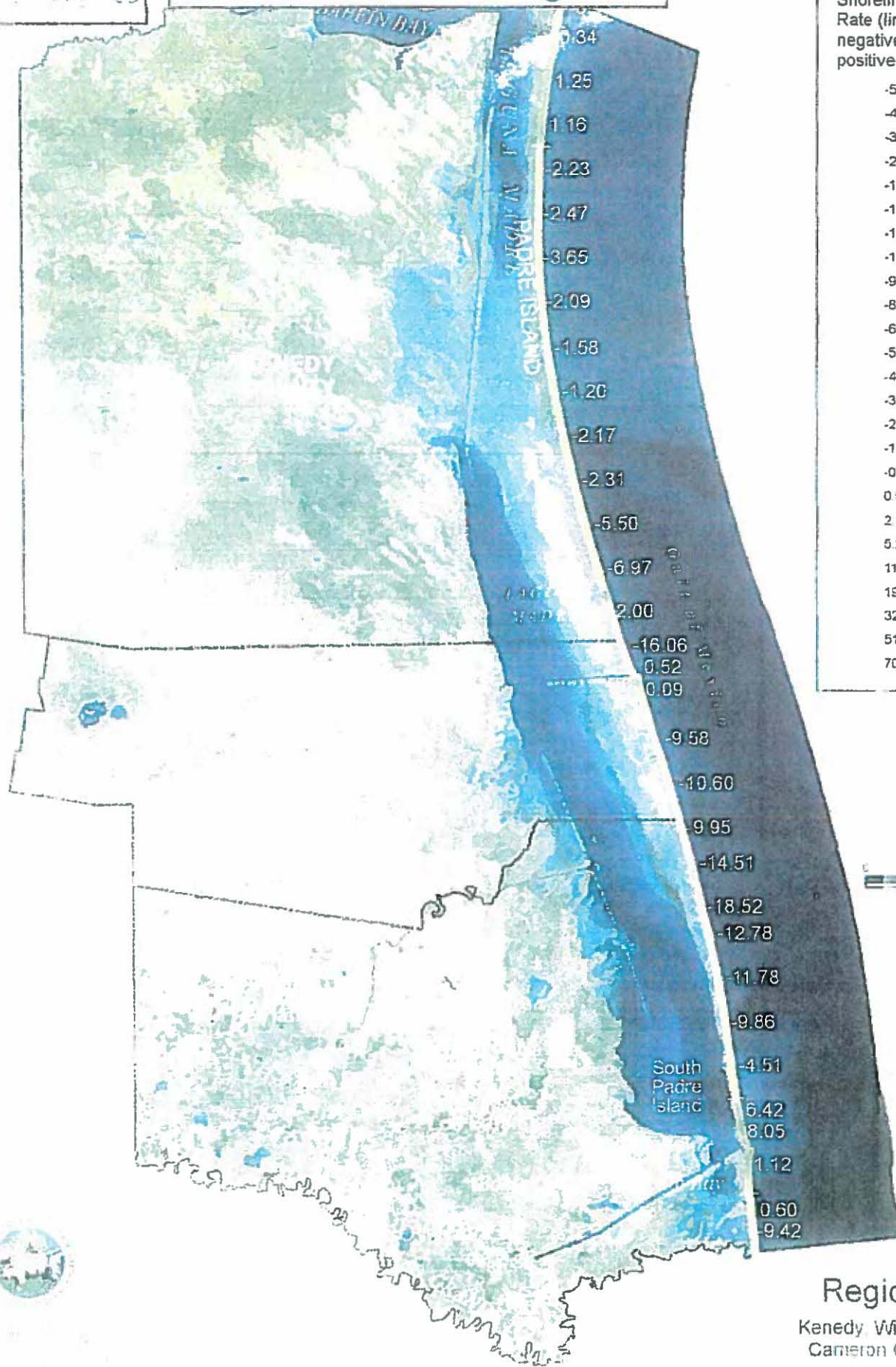
CONTAINING, according to the dimensions herein stated, a total area of 194.61 Acres, more or less; which 7.26 Acres are in the Western one-half of the Right-of-Way of Texas State Park Road No. 100, for a net area of 187.35 Acres, more or less.

And LESS AND EXCEPT that certain tract of land lying within the State of Texas Highway right-of-way traversing Tracts 1 and 2 as more particularly described and set out in Deed dated June 1, 1971, recorded in Volume 913, Page 32, Deed Records of Cameron County, Texas.

Critical Erosion in Region V

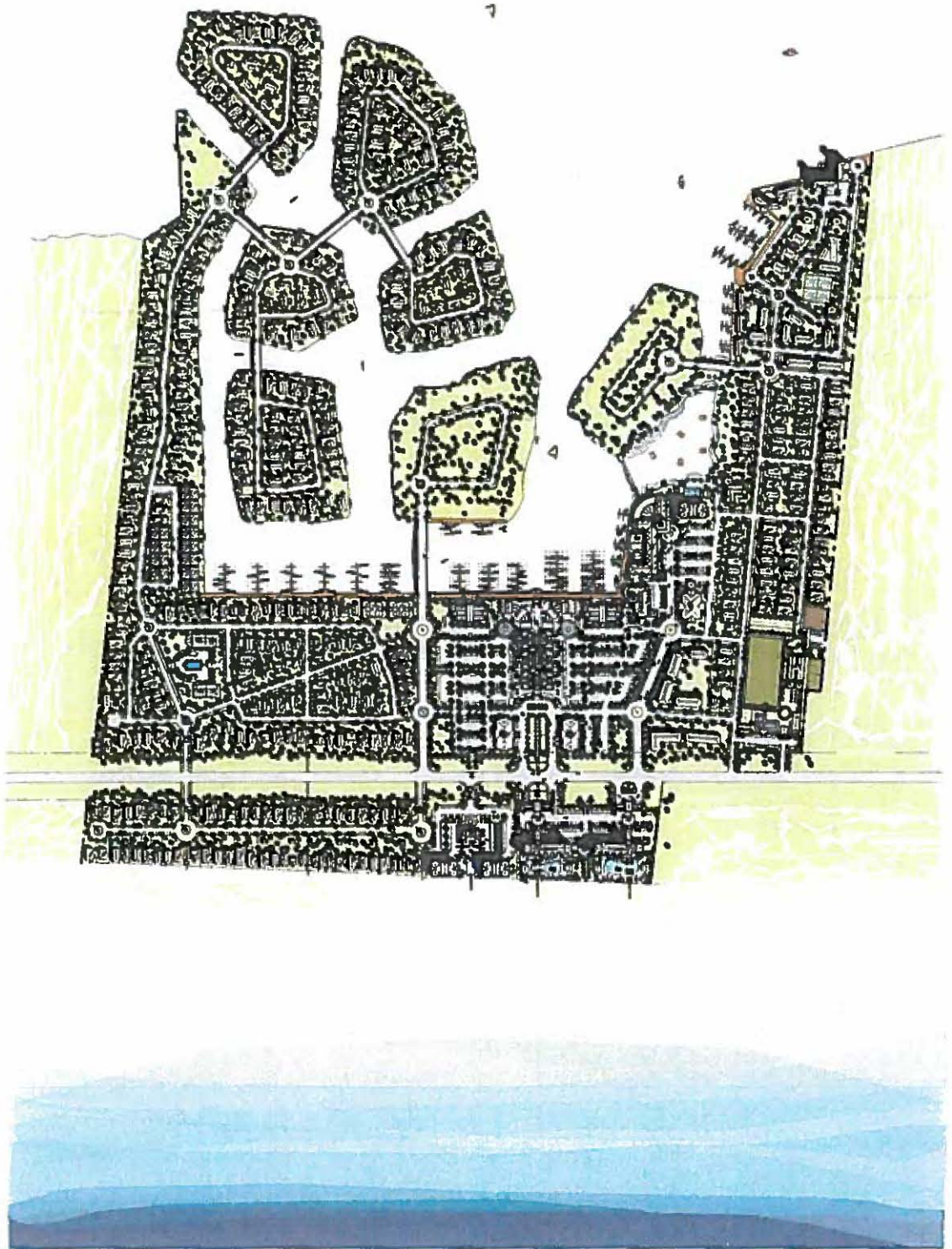
Average Annual Shoreline Change Rate (linear ft/yr)
negative=retreat,
positive=advance

-54.37 - -44.22
-44.21 - -31.52
-31.51 - -20.71
-20.70 - -15.98
-15.97 - -14.18
-14.17 - -12.55
-12.54 - -11.09
-11.08 - -9.79
-9.78 - -8.18
-8.17 - -6.66
-6.67 - -5.65
-5.64 - -4.64
-4.63 - -3.60
-3.59 - -2.61
-2.60 - -1.67
-1.66 - -0.68
-0.67 - 0.54
0.55 - 2.12
2.13 - 5.25
5.26 - 11.50
11.51 - 19.71
19.72 - 32.81
32.82 - 51.74
51.75 - 70.14
70.15 - 109.03



Region V

Kenedy Willacy and
Cameron Counties



The Shores at South Padre, Texas

A VARIOUS DEVELOPMENT BY THE SHORES AT SOUTH PADRE, TEXAS

DESIGNED BY THE SHORES AT SOUTH PADRE, TEXAS

ARCHITECTURE BY THE SHORES AT SOUTH PADRE, TEXAS

FRANKE REALTORS

Dennis A. Franke dennis@frankerealtors.com

Kevin C. Franke kevin@frankerealtors.com

Richard J. Franke

Richard J. Franke, Jr.

richardsr@frankerealtors.com

richardjr@frankerealtors.com

May 17, 2012

Lloyd Mullins, Supervisor
Department of the Army
Galveston District, Corps of Engineers
Corpus Christi Regulatory Field Office
Attn: Regulatory Branch
5151 Flynn Parkway, Suite 306
Corpus Christi, Texas 78411-4318

Dear Mr. Mullins:

I am writing to you with regard to the Shores Development located on South Padre Island.

The Shores encompasses in approximately $\frac{1}{2}$ a mile of the Island from Gulf to Bay, just North of the Convention Center. The Shores is a Planned Development District (PDD) with its own Standard and Specifications, Design Code, Rules & Regulations, which are unique to the development and different than The Town.

The Shores does not allow seawalls; we use the natural dunes as protection from severe weather coming off the gulf; the building line is approximately 450' west of the water line; we nurture and guard our dune structure which is ecstatically pleasing and is our barrier from the sea.

The starting price for a house or condominium in The Shores is almost \$1,000,000 and ranges up to \$6,000,000 to \$7,000,000. We have a very discriminating market that can go anywhere in the world, so they do not have to come to South Pare Island but, they will come if we have the proper environment and the type of development that they demand.

The Town of South Padre Island has decided for some unknown reason to only clean the beach on an infrequent basis. Consequently, the beaches are littered with seaweed and other debris, making them very undesirable for anyone wanting to go to the beach. The beaches in general are now not only unsightly, but they smell, are insect ridden and totally unacceptable for a family and children to play in the sand, enjoy the surf or just take a walk.

phone (800) 447-4753 / (956) 761-2606 / fax 761-2650 / website: frankerealtors.com
8605 padre blvd, south padre island, texas 78597

In order to alleviate this situation, The Shores is asking for a permit to be allowed to supplement the Town's infrequent cleaning of the beach by allowing us to do the following:

1. ~~On a one-time basis, relocate the debris piles that have been located in a hazardous way on the beach into a relatively uniform berm line which will translate into a sand dune that will provide protection in time of severe weather.~~
2. Be allowed to rake the water line on a periodic basis to pick up the seaweed and debris that come in daily and locate the seaweed into berm line. By this method, we will clean the beach along the water line and take away the debris as it comes in and not let it accumulate so the removal will be simple and efficient.

The method that the Town is currently using allows the seaweed and debris to stalk up sometimes knee deep and become embedded into the sand so when it is removed, a great deal of beach sand must be moved with it.

With this method of regular cleaning at the water line, there would be little need to rake any of the sand between the water line and the dune structure so as not to loosen or cause additional wind erosion.

Please review our request and see if it can be accomplished through a Nation Wide Permit. I very much appreciate your assistance in this matter, as it is at a point that our main attracting force, the Beach is no longer attracting visitors and potential buyers. Conversely, it is driving them away as they have no desire to be on an unkept beach; there are lots of other places they can go. We are not asking for any financial assistance or funding, The Shores Association will pay all costs.

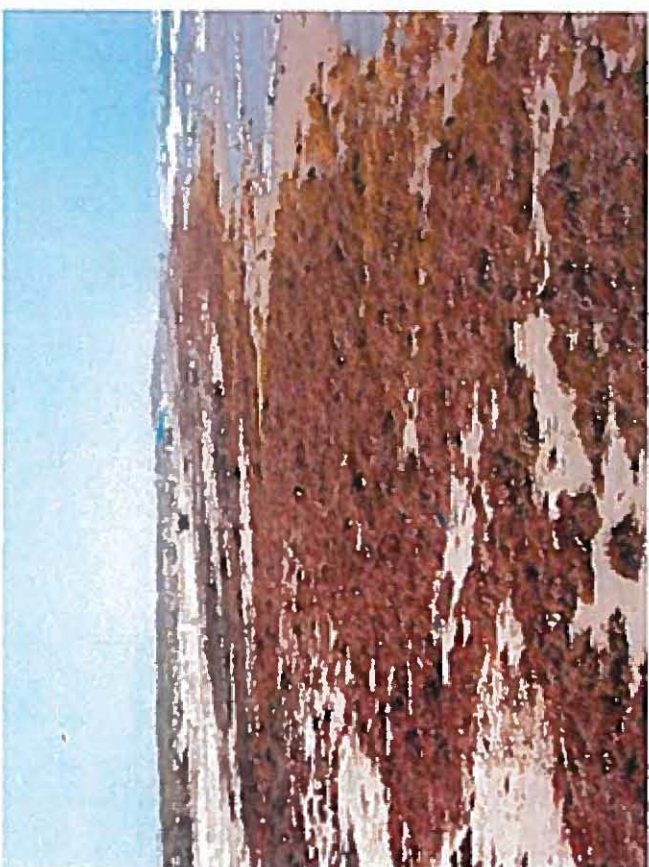
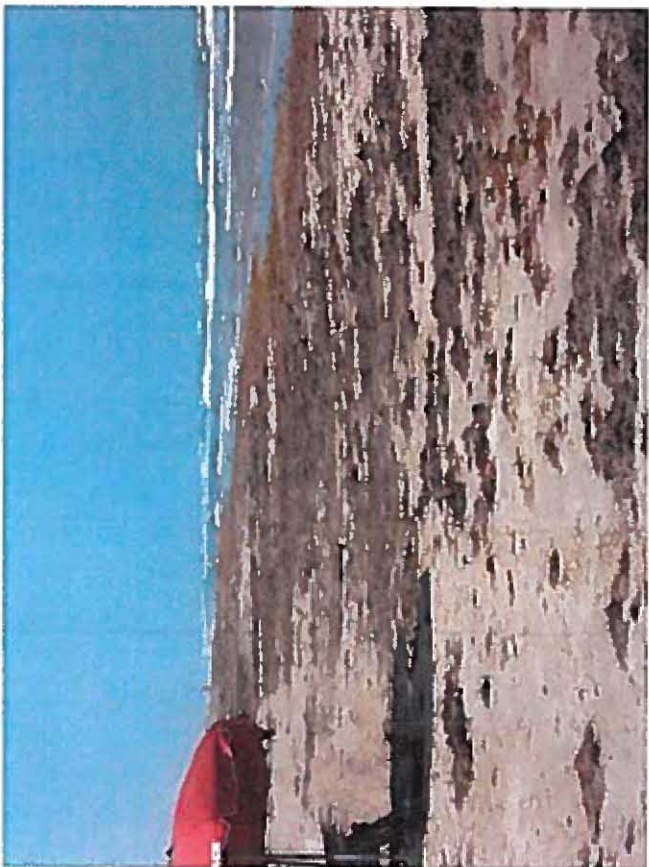
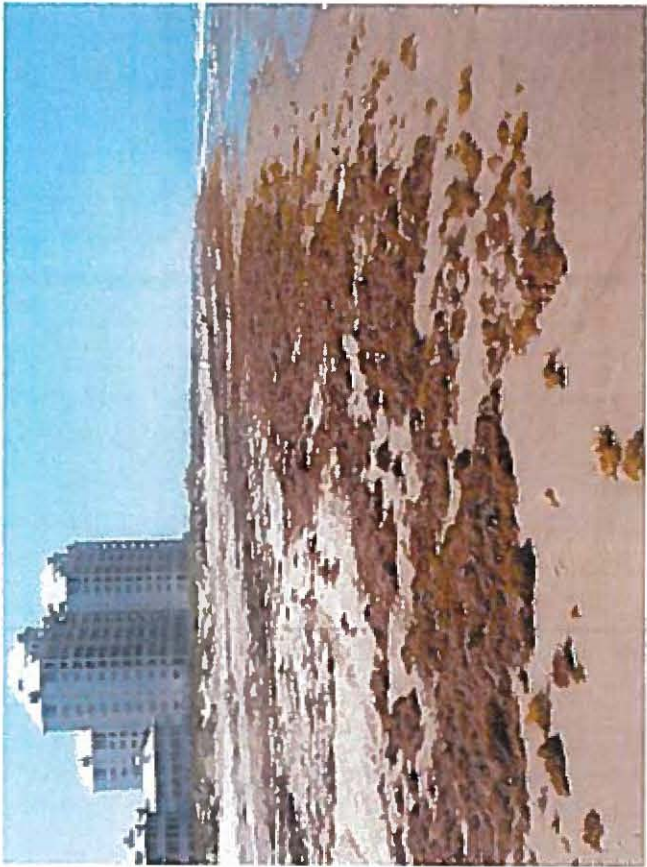
I look forward to hearing from you.

Sincerely yours,



Dennis A. Franke

DAF/ce





DEPARTMENT OF THE ARMY
CORPUS CHRISTI REGULATORY FIELD OFFICE
5151 FLYNN PARKWAY, SUITE 306
CORPUS CHRISTI, TEXAS 78411

August 20, 2012

REPLY TO
ATTENTION OF:

Corpus Christi Regulatory Field Office

SUBJECT: File No. SWG-2007-00818; Approved Jurisdictional Determination

Dennis Franke
Franke Realtors
8605 Padre Boulevard
South Padre Island, TX 78579

Dear Mr. Franke:

This is in regard to your request, dated May 17, 2012, in which you requested that we review the jurisdictional status of the proposed collection and removal of sargassum from approximately one-half mile of beach within the Shores Development. The project site is located on an approximate one-half mile portion of beach, interfacing with the Gulf of Mexico, in South Padre Island, Cameron County, Texas.

We have determined that the beach adjacent to the Gulf of Mexico is a water of the United States, approximately to the base of the foredune area. The Corps of Engineers regulates the discharge of dredged and/or fill material into waters of the United States under Section 404 of the Clean Water Act. The placement of dredged or fill material into these waters of the U.S. require a Department of the Army (DA) permit. However, since the activity and method you described in your May 17, 2012 letter and our July 11, 2012 meeting on site involves the removal of sargassum above the mean high tide line without disturbing the sand below it, and placing the sargassum in upland areas, a DA permit is not required for this activity. Please be aware that a DA permit is required for any discharge of fill material in waters of the U.S. Fill material is defined as material placed or displaced in waters of the United States where the material has the effect of replacing any portion of a water of the United States with dry land; or changing the bottom elevation of any portion of a water of the United States, as per 33 CFR 323.2(e)(1).

This determination is an approved jurisdictional determination; this approved determination is valid for 5 years from the date of this letter unless new information warrants a revision of the determination prior to the expiration date. Corps determinations are conducted to identify the limits of the Corps' Clean Water Act jurisdiction for particular sites. This determination may not be valid for the wetland conservation provisions of the Food Security Act of 1985, as amended. If you or your tenant are USDA program participants, or anticipate participation in USDA programs, you should request a certified wetland determination from the local office of the Natural Resources Conservation Service prior to starting work.

If you object to this determination, you may request an administrative appeal under Corps regulations at 33 CFR Part 331.5. Also enclosed are a combined Notification of Administrative Appeal Options and Process (NAP) and Request for Appeal (RFA) form. If you request to appeal this determination you must submit a completed RFA to the Southwestern Division Office at the following address:

Mr. Elliott Carman
Regulatory Appeals Officer
Southwest Division USACE (CESWD-PD-O)
1100 Commerce Street, Suite 831
Dallas, Texas 75242-1317
Telephone: 469-487-7061; FAX: 469-487-7199

In order for an RFA to be accepted by the Corps, the Corps must determine that it is complete, meets the criteria for appeal under 33 CFR Part 331.5, and that it has been received by the Division Office within 60 days of the date of the NAP. Should you decide to submit the RFA form, it must be received at the above address by October 15, 2012. It is not necessary to submit an RFA form to the Division office if you do not object to this determination.

Please note, this is **not authorization to begin work in jurisdictional areas**. If you have any questions concerning this matter, please contact Reagan Richter at the letterhead address or by telephone at 361-814-5847, ext. 1005. To assist us in improving our service to you, please complete the survey found at <http://per2.nwp.usace.army.mil/survey.html>.

FOR THE DISTRICT COMMANDER:



Lloyd Mullins, Supervisor
Corpus Christi Regulatory Field Office

NOTIFICATION OF ADMINISTRATIVE APPEAL OPTIONS AND PROCESS AND REQUEST FOR APPEAL

Applicant: Franke Realtors	File #: SWG-2007-00818	Date: 20-Aug-12
Attached is:		See Section below
<input type="checkbox"/>	INITIAL PROFFERED PERMIT (Standard Permit or Letter of Permission)	A
<input type="checkbox"/>	PROFFERED PERMIT (Standard Permit or Letter of Permission)	B
<input type="checkbox"/>	PERMIT DENIAL	C
<input checked="" type="checkbox"/>	APPROVED JURISDICTIONAL DETERMINATION	D
<input type="checkbox"/>	PRELIMINARY JURISDICTIONAL DETERMINATION	E

SECTION I - The following identifies your rights and options regarding an administrative appeal of the above decision. Additional information may be found at <http://www.usace.army.mil/inet/functions/cw/cecwo/reg/> Or Corps regulations at 33 CFR Part 331.

A: INITIAL PROFFERED PERMIT: You may accept or object to the permit.

- **ACCEPT:** If you received a Standard Permit, you may sign the permit document and return it to the district engineer for final authorization. If you received a Letter of Permission (LOP), you may accept the LOP and your work is authorized. Your signature on the Standard Permit or acceptance of the LOP means that you accept the permit in its entirety, and waive all rights to appeal the permit, including its terms and conditions, and approved jurisdictional determinations associated with the permit.
- **OBJECT:** If you object to the permit (Standard or LOP) because of certain terms and conditions therein, you may request that the permit be modified accordingly. You must complete Section II of this form and return the form to the district engineer. Your objections must be received by the district engineer within 60 days of the date of this notice, or you will forfeit your right to appeal the permit in the future. Upon receipt of your letter, the district engineer will evaluate your objections and may: (a) modify the permit to address all of your concerns, (b) modify the permit to address some of your objections, or (c) not modify the permit having determined that the permit should be issued as previously written. After evaluating your objections, the district engineer will send you a proffered permit for your reconsideration, as indicated in Section B below.

B: PROFFERED PERMIT: You may accept or appeal the permit

- **ACCEPT:** If you received a Standard Permit, you may sign the permit document and return it to the district engineer for final authorization. If you received a Letter of Permission (LOP), you may accept the LOP and your work is authorized. Your signature on the Standard Permit or acceptance of the LOP means that you accept the permit in its entirety, and waive all rights to appeal the permit, including its terms and conditions, and approved jurisdictional determinations associated with the permit.
- **APPEAL:** If you choose to decline the proffered permit (Standard or LOP) because of certain terms and conditions therein, you may appeal the declined permit under the Corps of Engineers Administrative Appeal Process by completing Section II of this form and sending the form to the division engineer. This form must be received by the division engineer within 60 days of the date of this notice.

C: PERMIT DENIAL: You may appeal the denial of a permit under the Corps of Engineers Administrative Appeal Process by completing Section II of this form and sending the form to the division engineer. This form must be received by the division engineer within 60 days of the date of this notice.

D: APPROVED JURISDICTIONAL DETERMINATION: You may accept or appeal the approved jurisdictional determination (JD) or provide new information.

- **ACCEPT:** You do not need to notify the Corps to accept an approved JD. Failure to notify the Corps within 60 days of the date of this notice, means that you accept the approved JD in its entirety, and waive all rights to appeal the approved JD.
- **APPEAL:** If you disagree with the approved JD, you may appeal the approved JD under the Corps of Engineers Administrative Appeal Process by completing Section II of this form and sending the form to the division engineer. This form must be received by the division engineer within 60 days of the date of this notice.

E: PRELIMINARY JURISDICTIONAL DETERMINATION: You do not need to respond to the Corps regarding the preliminary JD. The preliminary JD is not appealable. If you wish, you may request an approved JD (which may be appealed), by contacting the Corps district for further instruction. Also you may provide new information for further consideration by the Corps to reevaluate the JD.

SECTION II - REQUEST FOR APPEAL or OBJECTIONS TO AN INITIAL PROFFERED PERMIT

REASONS FOR APPEAL OR OBJECTIONS: (Describe your reasons for appealing the decision or your objections to an initial proffered permit in clear concise statements. You may attach additional information to this form to clarify where your reasons or objections are addressed in the administrative record.)

ADDITIONAL INFORMATION: The appeal is limited to a review of the administrative record, the Corps memorandum for the record of the appeal conference or meeting, and any supplemental information that the review officer has determined is needed to clarify the administrative record. Neither the appellant nor the Corps may add new information or analyses to the record. However, you may provide additional information to clarify the location of information that is already in the administrative record.

POINT OF CONTACT FOR QUESTIONS OR INFORMATION:

If you have questions regarding this decision and/or the appeal process you may contact:

Lloyd Mullins, Supervisor
U.S. Army Corps of Engineers, CESWG-PE-RCC
Corpus Christi Regulatory Field Office
5151 Flynn Parkway, Suite 306
Corpus Christi, Texas 78411-4318
Telephone 361-814-5847; FAX 361-814-5912

If you only have questions regarding the appeal process you may also contact:

Elliott Carman, Appeal Review Officer
US Army Engineer Division, Southwestern
1100 Commerce Street, Suite 831
Dallas TX 75242-1317
Telephone: 469-487-7061; FAX: 469-487-7189
Email: Elliott.n.carman@usace.army.mil

RIGHT OF ENTRY: Your signature below grants the right of entry to Corps of Engineers personnel, and any government consultants, to conduct investigations of the project site during the course of the appeal process. You will be provided a 15-day notice of any site investigation, and will have the opportunity to participate in all site investigations.

Date:

Telephone number:

Signature of appellant or authorized agent.

SHORELINE TASK FORCE AGENDA REQUEST FORM

MEETING DATE: February 13, 2017

ITEM: 12

TO: Shoreline Task Force

FROM: Brandon Hill, Shoreline Management Director

ITEM DESCRIPTION:

Discussion and possible action on UTRGV Student research concepts.

DISCUSSION:

SHORELINE TASK FORCE AGENDA REQUEST FORM

MEETING DATE: February 13, 2017

ITEM: 13

TO: Shoreline Task Force

FROM: Brandon Hill, Shoreline Management Director

ITEM DESCRIPTION:

Discussion and possible action on New Holland Powerstar T5.120 CAB/MFD Purchase.

DISCUSSION:

See attachment.

QUOTATION



WYLIE IMPLEMENT & SPRAYERS
P. O. BOX 609
RAYMONDVILLE, TX 78580
956-689-2137



CUSTOMER CITY OF SOUTH PADRE
ADDRESS 4601 PADRE BLVD
SOUTH PADRE ISLAND, TX
PHONE ATTN: JOE VELA

SALES REPRESENTATIVE	RODNEY	QUOTE GOOD UNTIL	02/28/17
ITEM		PRICE	
NEW HOLLAND POWERSTAR T4.100 CAB/MFD		LIST PRICE	\$77,834.00
12 x 12 MECHANICAL SHUTTLE		30% DISC.	(\$23,350.00)
TIRES 16.9R34 REARS & FRONTS 13.6-24		FREIGHT	\$634.00
2 REMOTES WITH 540/1000 RPM PTO SHAFT		PDI	\$300.00
2YR /2000 HR WARRANTY		DELIVERY	\$240.00
BUY BOARD CONTRACT 447-14		SALE PRICE	\$55,658.00
NEW HOLLAND POWERSTAR T5.120 CAB/MFD		LIST PRICE	\$104,563.00
16 X 16 SEMI POWERSHIFT TRANS		31% DISC.	(\$32,415.00)
TIRES 460/85R34 REARS & FRONTS 14.9-24		FREIGHT	\$567.00
2 REMOTES WITH 540/1000 RPM PTO SHAFT		PDI	\$300.00
2YR /2000 HR WARRANTY		DELIVERY	\$240.00
BUY BOARD CONTRACT 447-14		SALE PRICE	\$73,255.00
TRADE-IN			
MASSEY FERGUSON 596 TRACTOR MFD/ DL280 LOADER			(\$7,500.00)

SIGNED

Rodney Rivera

DATE

1-23-17

SHORELINE TASK FORCE AGENDA REQUEST FORM

MEETING DATE: February 13, 2017

ITEM: 14

TO: Shoreline Task Force

FROM: Brandon Hill, Shoreline Management Director

ITEM DESCRIPTION:

Discussion and possible action on selling 2007 Case 570 4WD Tractor for a fair market value of \$15,000.00.

DISCUSSION:

SHORELINE TASK FORCE AGENDA REQUEST FORM

MEETING DATE: February 13, 2017

ITEM: 15

TO: Shoreline Task Force

FROM: Brandon Hill, Shoreline Management Director

ITEM DESCRIPTION:

Discussion and possible action on forming subcommittee regarding addendums to Chapter 22.

DISCUSSION:

See attachment.

ORDINANCE NO. _

AN ORDINANCE OF THE CITY OF SOUTH PADRE ISLAND, TEXAS, AMENDING CHAPTER 22 OF THE CODE OF ORDINANCES OF THE CITY OF SOUTH PADRE ISLAND BY ADDING A NEW SEC. 22-10.2 (BEACH & DUNE PROTECTION PERMITTING PROCESS) TO ASSURE COMPLIANCE BY PERMIT APPLICANTS/OWNERS; PROVIDING FOR SEVERABILITY AND REPEAL OF CONFLICTING ORDINANCES; PROVIDING A PENALTY NOT TO EXCEED FIVE HUNDRED DOLLARS (\$500.00) FOR EACH VIOLATION; PROVIDING FOR THE EFFECTIVE DATE OF THE ORDINANCE; AND PROVIDING FOR PUBLICATION IN CAPTION FORM.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF SOUTH PADRE ISLAND, TEXAS:

Section 1. Chapter 22 (“Dune Protection”) of the Code of Ordinances of the City of South Padre Island is hereby amended to add the following new Sec. 22-10.2, to-wit:

“Sec. 22-10.2. Additional Permit Requirements

The City of South Padre Island requires the following terms and conditions to assure compliance:

(1) The applicant/property owner shall request an inspection from both the Building Inspector and the Shoreline Department by contacting the Shoreline Department after each of the following events or dates:

- (i) the footprint staking or within 2 days of issuing the permit, whichever is sooner;
- (ii) first installation of pilings or foundation and final installation of piling or foundation;
- (iii) first installation of decking or other structural components and final installation;
- (iv) upon the installation of stairs, handrails, and other structural components;
- (v) upon completion of project;
- (vi) and any other time as required by the permit.

(2) No construction may begin or continue until applicant has received a written inspection report by both Shoreline and Building departments approving each such inspection mentioned herein.

(3) After the issuance of a Beach & Dune permit and the required inspections, the applicant/property owner shall submit to the Building Inspector through the Shoreline Department a signed and sealed elevation certificate after completion of the structure’s foundation or deck elevation. This document will be required prior to commencement of continued construction.

(4) Any permit holder that does not construct according to the permit and/or approved construction documents, or fails to comply with a City ordinance, code, law or an instruction of the Building Inspector or Shoreline Department shall be issued a stop-work order by the Building Inspector or Shoreline Department.

(5) Any construction or structure that violates the permit and/or approved construction documents, or fails to comply with a City ordinance, code, law or written instruction from the Building Inspector or Shoreline Department shall be removed at the Owner’s expense, and any mitigation costs associated with such is the Owner’s responsibility. Additionally, the Owner will be subject to citations for violations of this Chapter.

(6) If there is a violation, the owner must take steps in order to come into compliance within 30 days.

Section 2 This ordinance repeals all portions of any prior ordinances or parts of ordinances of the Code of Ordinances in conflict herewith.

Section 3. Any violation of this Ordinance may be punished by a fine not to exceed Five Hundred Dollars (\$500.00) for each offense and/or for each day such offense shall continue and the penalty provisions of Section 21-1 of the Code of Ordinances is hereby adopted and incorporated for all purposes.

Section 4. If for any reason, any section, paragraph, subdivision, clause, phrase, word, or provision of this Ordinance shall be held invalid or unconstitutional by final judgment of a court of competent jurisdiction, it shall not affect any other section, paragraph, subdivision, clause, phrase, word, or provision of this Ordinance. It is the definite intent of this City Council that every section, paragraph, subdivision, clause, phrase, word, or provision hereof be given full force and effect for its purpose.

Section 5. This Ordinance shall become effective when published in summary form or by publishing its caption.

PASSED, APPROVED AND ADOPTED on First Reading, this ____ day of _____ 2017.

PASSED, APPROVED AND ADOPTED on Second Reading, this ____ day of _____ 2017.

ATTEST:

**CITY OF SOUTH PADRE
ISLAND, TEXAS**

Susan Hill, CITY SECRETARY

BHARAT PATEL, MAYOR

SHORELINE TASK FORCE AGENDA REQUEST FORM

MEETING DATE: February 13, 2017

ITEM: 16

TO: Shoreline Task Force

FROM: Brandon Hill, Shoreline Management Director

ITEM DESCRIPTION:

Discussion and possible action on SLTF meeting every other week, opposite City Council meetings.

DISCUSSION:
