

**NOTICE OF MEETING
CITY OF SOUTH PADRE ISLAND
SHORELINE TASK FORCE**

NOTE: One or more members of the City of South Padre Island City Council may attend this meeting; if so, this statement satisfies the requirements of the OPEN MEETINGS ACT.

NOTICE IS HEREBY GIVEN THAT THE SHORELINE TASK FORCE OF THE CITY OF SOUTH PADRE ISLAND, TEXAS, WILL HOLD A REGULAR MEETING ON:

**MONDAY, MARCH 6, 2017
3:00 P.M. AT THE MUNICIPAL BUILDING,
CITY COUNCIL CHAMBERS, 2ND FLOOR
4601 PADRE BOULEVARD, SOUTH PADRE ISLAND, TEXAS**

1. Call to Order.
2. Pledge of Allegiance.
3. Public Comments and Announcements: *This is an opportunity for citizens to speak to Task Force relating to agenda or non-agenda items. Speakers are required to address the Task Force at the podium and give their name before addressing their concerns. [Note: State law will not permit the Shoreline Task Force to discuss debate or consider items that are not on the agenda. Citizen Comments may be referred to City Staff or may be placed on the agenda of a future Shoreline Task Force meeting]*
4. Approval of the February 13, 2017 regular meeting minutes.
5. Discussion on Shoreline Department Updates and enforcement. (Hill)
6. Discussion and possible action on Marriot beach and dune permit application (Hill)
7. Discussion and possible action on 5308 Gulf Blvd beach and dune permit with GLO comments. (Hill)
8. Discussion and possible action on 340 Padre Blvd beach and dune permit with GLO comments. (Hill)
9. Discussion and possible action on 2100 Gulf Blvd beach and dune application. (Hill)
10. Discussion and possible action on 6800 Padre Blvd beach and dune application. (Hill)
11. Adjournment.



DATED THIS THE 3RD DAY OF MARCH 2017

Susan Hill, City Secretary

I, THE UNDERSIGNED AUTHORITY, DO HEREBY CERTIFY THAT THE ABOVE NOTICE OF MEETING OF THE SHORELINE TASK FORCE OF THE CITY OF SOUTH PADRE ISLAND, TEXAS IS A TRUE AND CORRECT COPY OF SAID NOTICE AND THAT I POSTED A TRUE AND CORRECT COPY OF SAID NOTICE ON THE BULLETIN BOARD AT CITY HALL/MUNICIPAL BUILDING ON **MARCH 3, 2017** AT/OR BEFORE **2:00 P.M.** AND REMAINED SO POSTED CONTINUOUSLY FOR AT LEAST 72 HOURS PRECEDING THE SCHEDULED TIME OF AID MEETING.

Susan Hill, City Secretary

THIS FACILITY IS WHEELCHAIR ACCESSIBLE, AND ACCESSIBLE PARKING SPACES ARE AVAILABLE. REQUESTS FOR ACCOMMODATIONS OR INTERPRETIVE SERVICES MUST BE MADE 48 HOURS PRIOR TO THIS MEETING. PLEASE CONTACT BUILDING OFFICIAL, JAY MITCHIM, ADA DESIGNATED RESPONSIBLE PARTY AT (956) 761-1025.

**MINUTES
CITY OF SOUTH PADRE ISLAND
SHORELINE TASK FORCE**

MONDAY, FEBRUARY 13, 2017

I. Call to Order.

The Shoreline Task Force of the City of South Padre Island, Texas held a regular meeting on Monday, February 13, 2017, at the Municipal Complex Building, 2nd Floor, 4601 Padre Boulevard, South Padre Island Texas. Chairman Troy Giles called the meeting to order at 3:00 p.m. A quorum was present: Task Force Member Virginia Guillot, Norma Trevino, Stormy Wall, Neil Rasmussen, Thor Lassen, and Kerry Schwartz.

City staff members present were: City Manager Susan Guthrie, Assistant City Manager Darla Jones, Shoreline Management Director Brandon Hill, UTRGV Intern Myrna, and Administrative Assistant Marta Martinez. Also present was Council Member Dennis Stahl.

II. Pledge of Allegiance.

Chairman Giles led the Pledge of Allegiance.

III. Public Comments and Announcements.

Public comments were given at this time.

IV. Approval of the January 23, 2017 regular meeting minutes.

Task Force Member Kerry Schwartz made a motion, seconded by Mr. Rasmussen to approve minutes as submitted. Motion passed unanimously.

V. Discussion on Shoreline Department Updates and enforcement. (Hill)

Update and enforcement issues given by Shoreline Management Director Brandon Hill regarding stop work order for 4012, 4702 and 4704 Gulf Blvd. No action was taken.

VI. Discussion and possible action on CMP funded Beach Access Walkovers. (Hill)

Update given by Shoreline Management Director Brandon Hill regarding the CMP funded Beach Access Walkovers for Moonlight Circle Beach Access #13, Ocean Circle Beach Access #2, and Seaside Circle Beach Access #6. Task Force Member Rasmussen made a motion, seconded by Ms. Trevino to recommend approval. Motion passed unanimously.

VII. Discussion and possible action on Pearl Mitigation Plan with GLO comments. (Hill)

Task Force Member Thor Lassen made a motion, second by Ms. Guillot to recommend approval of the Pearl Mitigation Plan. Motion passed unanimously.

VIII. Discussion and possible action on 5308 Gulf Blvd beach and dune permit application. (Hill)

Task Force Member Thor Lassen made a motion, second by Mr. Rasmussen to recommend approval of the beach and dune permit application. Motion passed unanimously.

IX. Discussion and possible action on 2100 Gulf Blvd beach and dune application. (Hill)

Task Force Member Virginia Guillot made a motion, second by Mr. Lassen to recommend approval of the beach and dune permit application. Motion passed unanimously.

X. Discussion and possible action on 340 Padre Blvd beach and dune application. (Hill)

Task Force Member Thor Lassen made a motion, second by Mr. Rasmussen to recommend approval of the beach and dune permit application. Motion passed unanimously.

XI. Discussion and possible action on The Shores beach and dune application. (Hill)

Shoreline Management Director Brandon Hill gave a presentation/past history regarding The Shores beach and dune application. Task Force Members expressed their comments/concerns regarding this agenda item. After much dissuasion Task Force Member Thor Lassen made a motion, second by Ms. Trevino to table until next regular meeting. Motion passed on a 6:0:1 vote. Mr. Schwartz abstained.

XII. Discussion and possible action on UTRGV Student research concepts. (Hill)

Shoreline Management Director Brandon Hill introduced Myrna Leal. Ms. Leal gave a presentation regarding her research concepts. Task Force Members expressed their comments/requests regarding this agenda item. No Action was taken.

XIII. Discussion and possible action on New Holland Powerstar T5.120 CAB/MFD Purchase. (Hill)

Shoreline Management Director Brandon Hill gave a presentation regarding this agenda item. Task Force Member Norma Trevino made a motion, second by Mr. Rasmussen to recommend approval. Motion passed unanimously.

XIV. Discussion and possible action on selling 2007 Case 570 4WD Tractor for a fair market value of \$15,000.00. (Hill)

Shoreline Management Director Brandon Hill gave a presentation regarding this agenda item. Task Force Member Stormy Wall made a motion, second by Mr. Giles to recommend the Shoreline Director to sell the tractor to Public Works. Motion passed unanimously.

XV. Discussion and possible action on forming subcommittee regarding addendums to Chapter 22. (Hill)

Shoreline Management Director Brandon Hill gave a presentation to form a subcommittee to start reviewing Chapter 22. Task Force Member Virginia Guillot, Norma Trevino, and Troy Giles volunteered to serve on the subcommittee. Motion passed unanimously.

XVI. Discussion and possible action on SLTF meetings every other week, opposite City Council meetings. (Hill)

Task Force Member Neil Rasmussen made a motion to meet on the opposite days of the City Council Meeting. All Task Force Members were in favor. Motion passed unanimously.

XVII. Adjournment.

There being no further business, Task Force Member Troy Giles adjourned the meeting at 4:42 p.m.

Marta Martinez, Secretary

Troy Giles, Chairman

**SHORELINE TASK FORCE
AGENDA REQUEST FORM**

MEETING DATE: March 6, 2017

ITEM: 5

TO: Shoreline Task Force

FROM: Brandon Hill, Shoreline Management Director

ITEM DESCRIPTION:

Discussion on Shoreline Department Updates and enforcement.

DISCUSSION:

**SHORELINE TASK FORCE
AGENDA REQUEST FORM**

MEETING DATE: March 6, 2017

ITEM: 6

TO: Shoreline Task Force

FROM: Brandon Hill, Shoreline Management Director

ITEM DESCRIPTION:

Discussion and possible action on Marriot beach and dune permit application.

DISCUSSION:

See attachment

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Town of South Padre Island

Beach & Dune Application

Site for Proposed Work

Legal Description: East Tract 16, Padre Beach Estates

Physical Address: 6700 Padre Boulevard

Property Owner Information: _____

Applicant/Agent for Owner:

Name: Modern Resort Lodging, LLC

Name: Mejia & Rose, Incorporated

Mailing Address: 7010 Padre Blvd.

Mailing Address: P.O. Box 3761

City, State, Zip: South Padre Island, Texas 78597

City, State, Zip: Brownsville, Texas 78523

Phone Number: (956) 772 1087

Phone Number: (956) 544-3022

Fax Number: _____

Fax Number: (956) 544-3068

E:mail Address: enjoyspi@gmail.com

Email Address: mandrinc@cngmail.com

Applicant Signature: _____

Date of Signature: _____

I/We, owners of the above-mentioned property, authorize the applicant stated above, to act in my behalf in order to acquire a Beach and Dune permit for the construction proposed below. (owner initials here--> _____)

Owner(s) Signature(s): _____

Date of Signature: _____

Project Description:

Describe with as much detail as possible, the construction proposed. If more room is needed, please include an additional page. Include the number of habitable units, amenities, swimming pools, fences, kinds of fences, whether footings and/or retaining walls will be installed, and locations of proposed landscaping and parking.

Proposed construction of bulkhead landward of Historic building line and construction of board deck with a bar and grill between the existing bulkhead and the proposed bulkhead landward of the existing Historic building line. Also proposed construction of a dune walk over to get from the subject site to the public beach. The proposed improvements are situated east of the easterly right-of-way of Gulf Boulevard as projected north to our site.

Total Square footage of footprint of habitable structure 0 sq. ft.

Total Area of impervious surface (i.e. retaining walls, walkways, drives, patios, etc.): 140 SQ. FT.

Percentage of impervious surface [(impervious surface /

habitable footprint)* 100]: **0.1 percent**

Please Note: the percentage of impervious surface cannot exceed 5% in an eroding area.

Approximate Duration of Construction:

Financial Plan for the removal of all hard structures.

All Properties which are allowed to build retaining walls on their property are allowed to do so with the condition that a financial plan for the removal of the retaining wall is submitted to the Public Works Department of the Town of South Padre Island. Removal of the retaining wall at the owner's expense may be required if/once the retaining wall comes into regular contact with wave action for twenty (20) out of thirty (30) consecutive days. The Town accepts the submission of a Retaining Wall Covenant, or other financial guarantee, insuring the removal of the retaining wall if the required conditions are met.

Type of Plan **N/A**

submitted:

Date of submission: _____

Drainage:

Describe the impact that the proposed construction will have on the natural drainage pattern on the site and adjacent lots.

a) no change in the drainage on site.

b) the proposed construction will change the grading and the drainage on the subject property. (An explanation will be required detailing where the water will drain.)

Explanation/other info:

After the relocation of the mitigated dune the property will be graded level and should absorb water as usual.

Impacts to Beach/Dune System:

Answer each question as completely as possible in narrative form:

1) What damage will this proposed construction have on the dune vegetation located at the project site?

a) no damage to dune vegetation whatsoever.

b) the proposed construction will impact _____ % of the dune vegetation on site. (explanation of the "impact" will be required)

c) the proposed construction will require the removal and relocation of 90% of the dune vegetation on site. (the submission of a mitigation plan will be required)

Explanation/other info: _____

2) How will the proposed construction alter the dune size/shape at the project site? _____

a) no change to dune size/shape whatsoever.

b) the proposed construction will change _____ % of the size/shape of dunes on site. (details will be required)

c) the proposed construction will require the removal and relocation of 50% of the dunes on site. (the submission of a mitigation plan will be required)

Explanation/other info: _____

3) How will the proposed construction change the hydrology of the dunes at the project site? _____

a) no change to dune hydrology whatsoever.

b) the proposed construction will impact dune hydrology on site. (details will be required)

Explanation/details: **The hydrology of the dunes at this site will change once the volume above 10ft. of the existing dune is relocated east of the proposed bulkhead and said existing dune.**

4) Describe alternatives to the proposed construction or method of construction which will cause fewer or no adverse effects on dunes and dune vegetation.

This project will only affect the dune lying directly east of the existing bulkhead

5) Describe alternatives to the proposed construction or method of construction which will cause fewer or no adverse impairment to beach access.

No part of the project will affect the beach access

Mitigation Plan: Describe the methods which you will use to avoid, minimize, mitigate and/or compensate for any adverse effects on dunes or dune vegetation. *See Mitigation plan.*

Financial Plan for Dune Mitigation: N/A

If required by the Board of Aldermen, a financial guarantee (irrevocable letter of credit or a performance bond, etc.) may be necessary to insure the mitigation of dunes/dune vegetation takes place as proposed and required of the applicant. Type of Plan submitted: - Date of submission:

Checklist of Additional Required Application Information:

An accurate map, plat or site plan showing: (see topographical survey map)

- 1) Legal description of the property (lot, block, subdivision) and the immediately adjoining property.
- 2) Location of all existing structures - including the habitable and inhabitable structures, swimming pools, decks, fences, parking areas, landscape areas, etc.
- 3) Location of the Historical Building Line on the subject property and the extension of the line on the properties immediately adjoining the subject property to the north and to the south.
- 4) Location and elevation of existing retaining walls -both on the subject property and those properties immediately adjoining the subject property to the north and to the south.
- 5) Location of proposed structure(s) - if proposing the construction of a retaining wall, please also include the proposed elevation of the retaining wall.
- 6) Location of proposed driveways, parking areas (showing the # of proposed parking spaces), and landscape areas.
- 7) Location of all existing and proposed beach access paths and/or dune walkovers.
- 8) Location and extent of any man-made vegetated mounds, restored dunes, fill activities, or any other pre-existing human modifications on the tract.
- 9) Topographical survey of the site identifying all elevations, existing contours of the project area (including dunes and scales), and the proposed contours of the final grade.

Other required application information:

- 1) A grading and layout plan showing proposed contours for the final grade
- 2) The floor plan(s) and elevation(s) of the structure proposed to be constructed or expanded.
- 3) Photographs of the site which clearly show the current location of the vegetation line & existing dunes on the tract.
- 4) Copy of the Flood Rate Map showing the location of the subject property.
- 5) Copy of the Historical Erosion Rate Map as determined by the Univ. of Texas @ Austin, Bureau of Economic Geology.
- 6) \$180 application fee.

YOUR APPLICATION IS NOT COMPLETE UNLESS ALL INFORMATION REQUESTED ABOVE IS SUBMITTED.
FOR APPLICATIONS WHICH REQUIRE BEACH AND DUNE TASK FORCE REVIEW, 21 COPIES WILL BE REQUIRED

All other application submissions require only three (3) copies of the complete information.

Site Photographs of existing conditions



**View of existing Bulkhead facing north
(vegetation will be mitigated to the east of the proposed bulkhead)**



**View from the Beach facing north (Gulf of Mexico)
These dunes will be built up to elevation 14 and additional
Vegetation will be planted**



View facing north showing the proposed bulkhead connecting from the The Tiki condominiums existing north bulkhead and the bulkhead projection of the bulkhead at Clayton's beach bar

Topographical survey

See Exhibit “A”

Proposed improvements

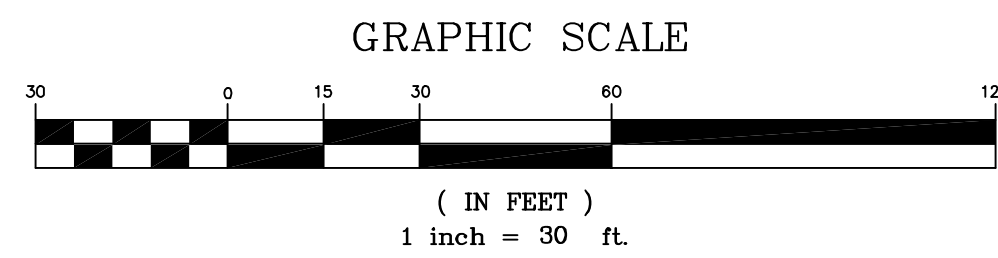
See Exhibit “B”

Mitigation plan

The area between the existing bulkhead and the proposed bulkhead is 12,828 square feet. The vegetated area will be relocated east of the proposed bulkhead. The proposed bulkhead is landward from the Historical building line and will be at an elevation of 12 ft. The cubic yards above elevation 10 ft. is 189. This material will be relocated to the east side of the proposed bulkhead. The material would be used to taper the area east of the proposed bulkhead to an elevation of fourteen to help provide reinforcement for the existing fore dune and could then taper down to elevation six at the vegetation line. Approximately 1156 cubic yards of material would be required to produce these results. The extra cubic yardage will be obtained on site as there are sand piles west of the existing bulkhead. This enhancement of the area between the existing dunes and the proposed bulkhead would be very beneficial in protecting areas landward of the dunes from erosion forces.

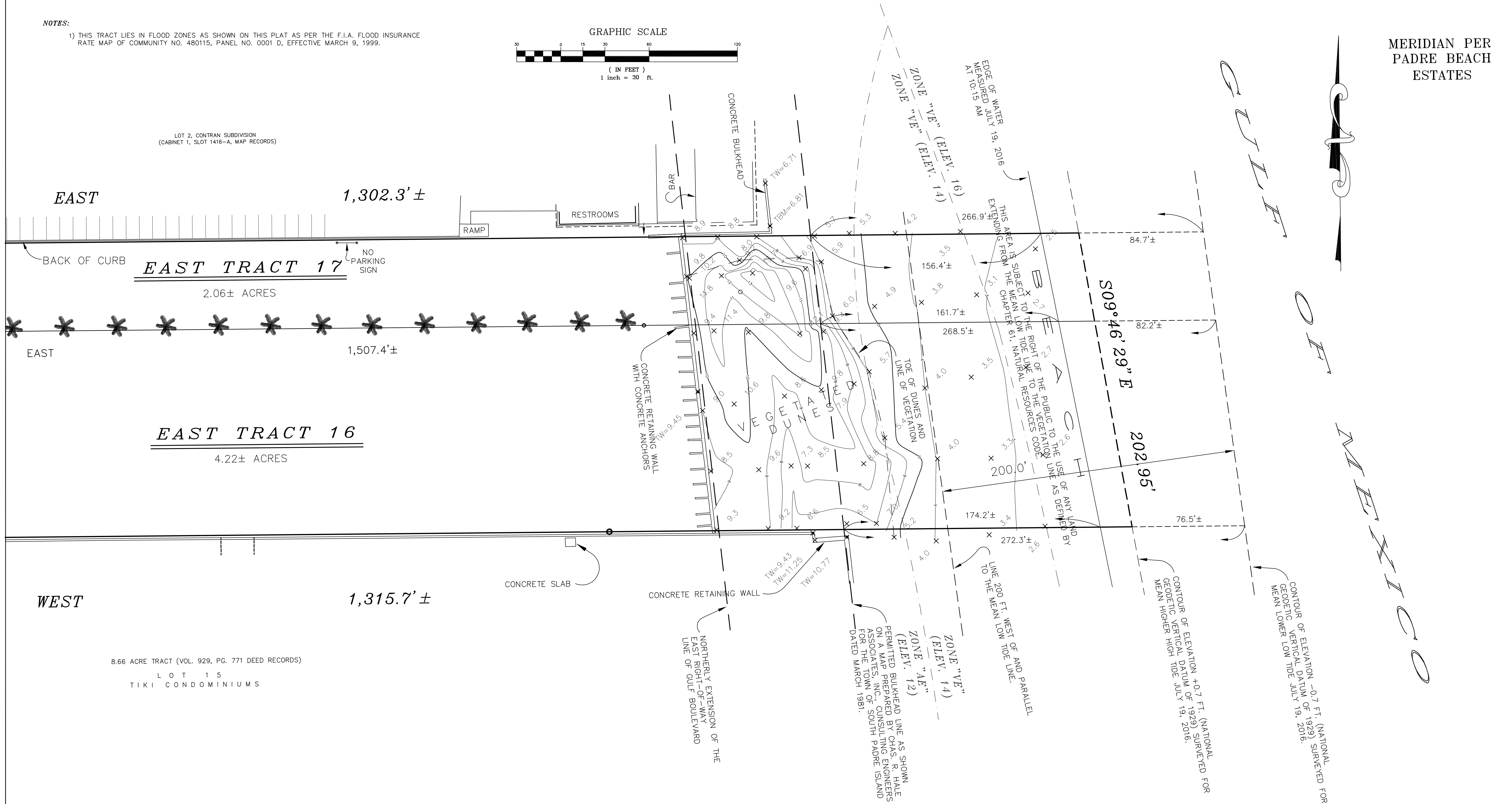
NOTES:

1) THIS TRACT LIES IN FLOOD ZONES AS SHOWN ON THIS PLAT AS PER THE F.I.A. FLOOD INSURANCE RATE MAP OF COMMUNITY NO. 480115, PANEL NO. 0001 D, EFFECTIVE MARCH 9, 1999.



MERIDIAN PER
PADRE BEACH
ESTATES

LOT 2, CONTRAN SUBDIVISION
(CABINET 1, SLOT 1416-A, MAP RECORDS)



TOPOGRAPHIC SURVEY EXHIBIT "A"

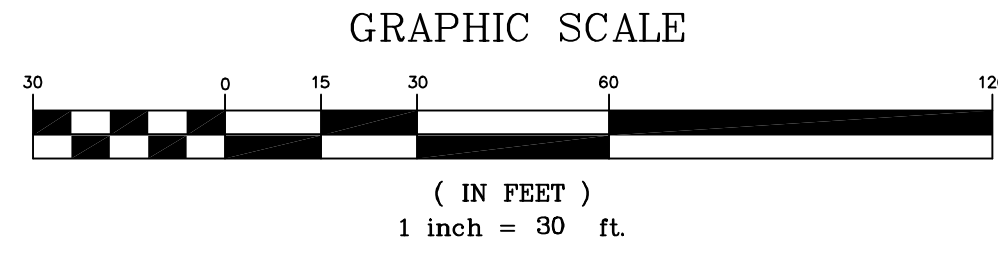
THE BEACH PORTION OF EAST TRACT SEVENTEEN (17) AND EAST TRACT SIXTEEN (16), PADRE BEACH ESTATES SUBDIVISION, LYING EAST OF STATE HIGHWAY 100 A SUBDIVISION IN THE CITY OF SOUTH PADRE ISLAND, CAMERON COUNTY, TEXAS, IN THE CITY OF SOUTH PADRE ISLAND, CAMERON COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN CABINET I, SLOT 3323, MAP RECORDS OF CAMERON COUNTY, TEXAS.

FEBRUARY 21, 2017

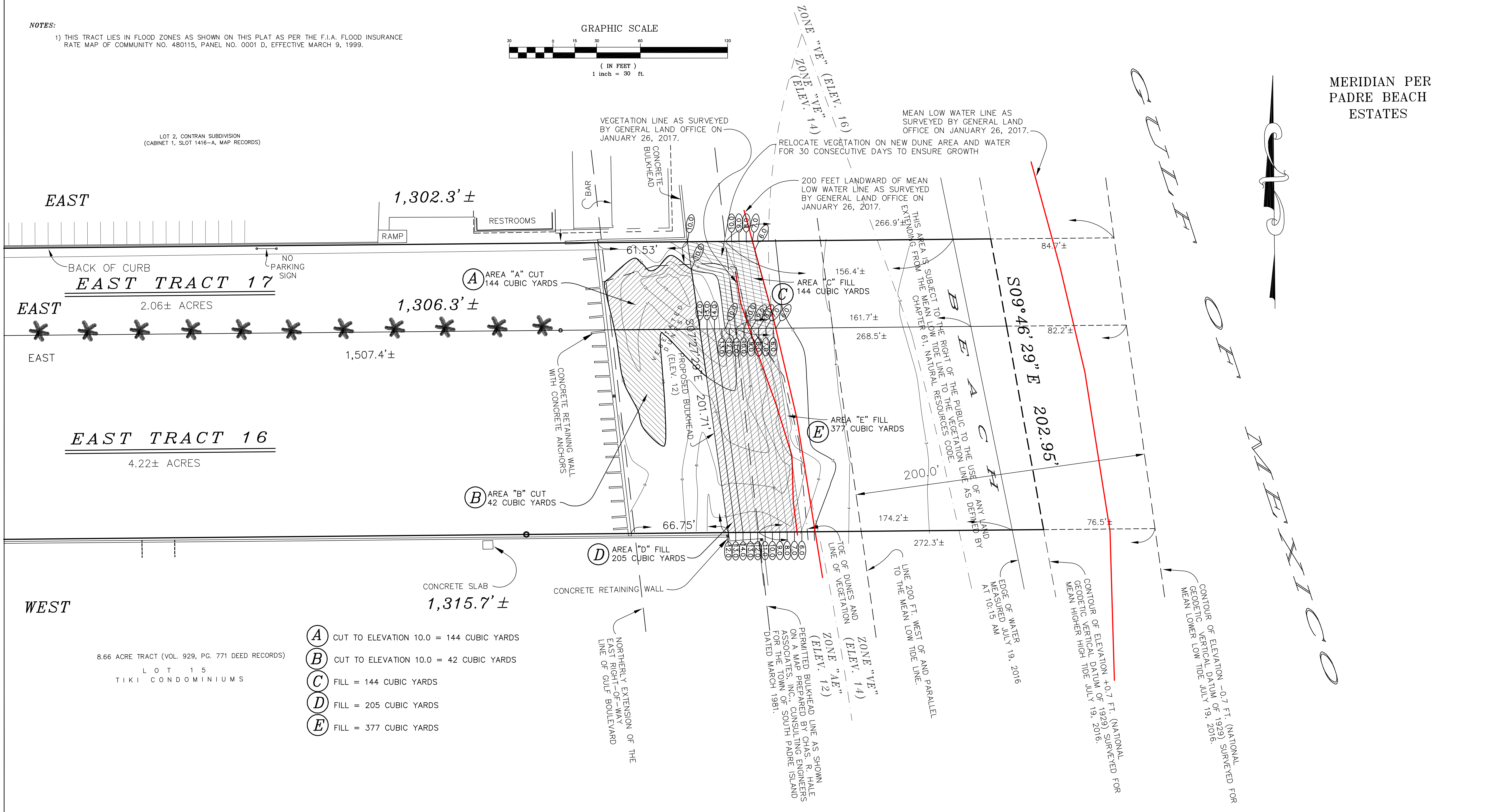
Mejia & Rose, Incorporated
Engineering Surveying
T.B.P.E. Reg. No. F-002670
T.B.P.L.S Reg. No. 10023900
1643 West Price Road (956) 544-3022
P.O. Box 3761 Brownsville, Texas 78520
Fax (956) 544-3068
email: mandrinc@cngmail.com

NOTES:

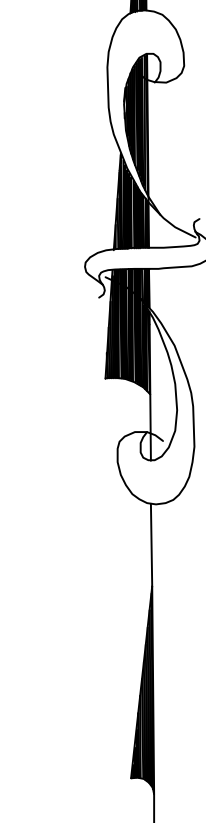
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LOT 2, CONTRAN SUBDIVISION
(CABINET 1, SLOT 1416-A, MAP RECORDS)



MERIDIAN PER
PADRE BEACH
ESTATES



M E R I D I A N

- (A) CUT TO ELEVATION 10.0 = 144 CUBIC YARDS
- (B) CUT TO ELEVATION 10.0 = 42 CUBIC YARDS
- (C) FILL = 144 CUBIC YARDS
- (D) FILL = 205 CUBIC YARDS
- (E) FILL = 377 CUBIC YARDS

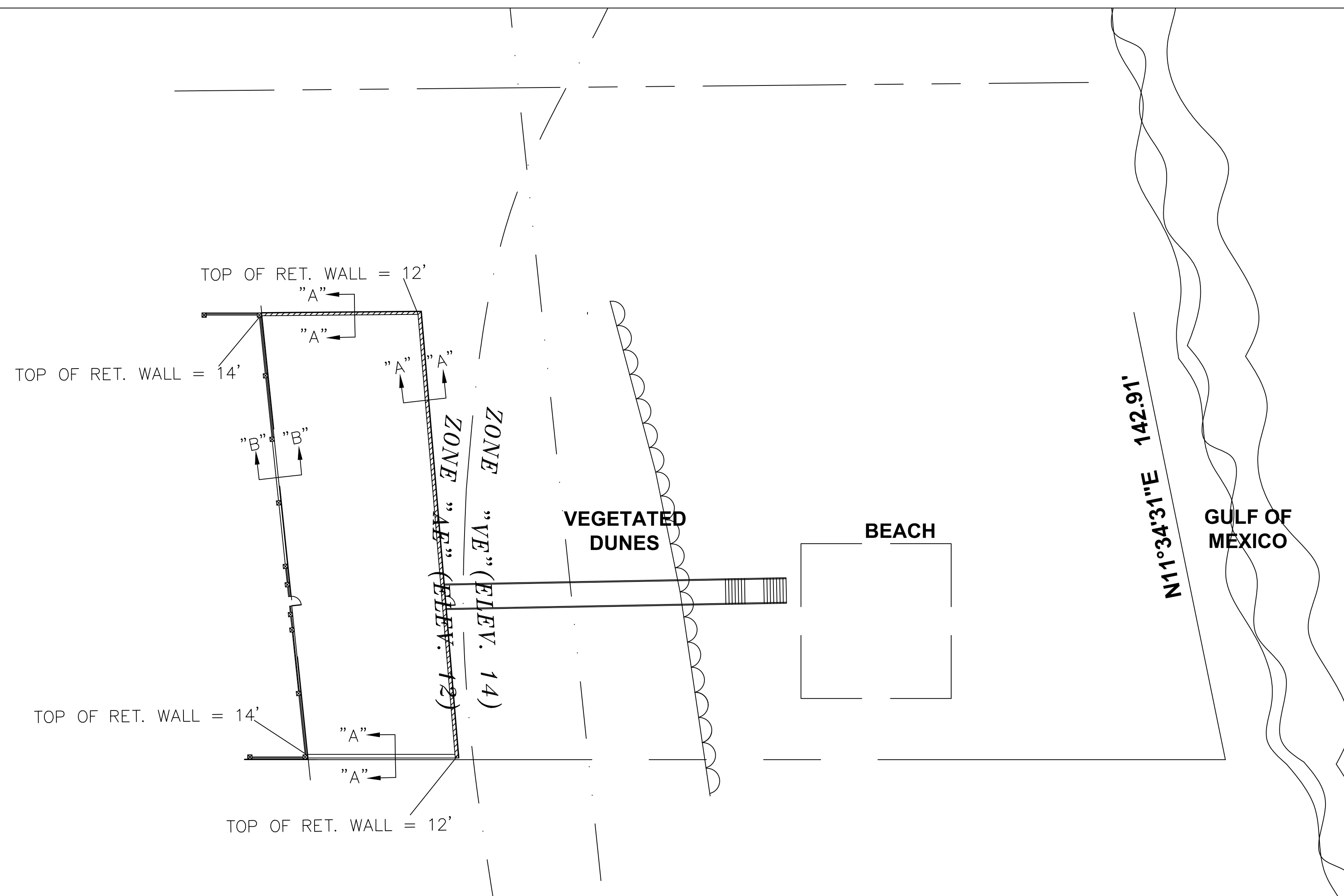
8.66 ACRE TRACT (VOL. 929, PG. 771 DEED RECORDS)
LOT 15
TIKI CONDOMINIUMS

**PROPOSED IMPROVEMENTS
EXHIBIT "B"**

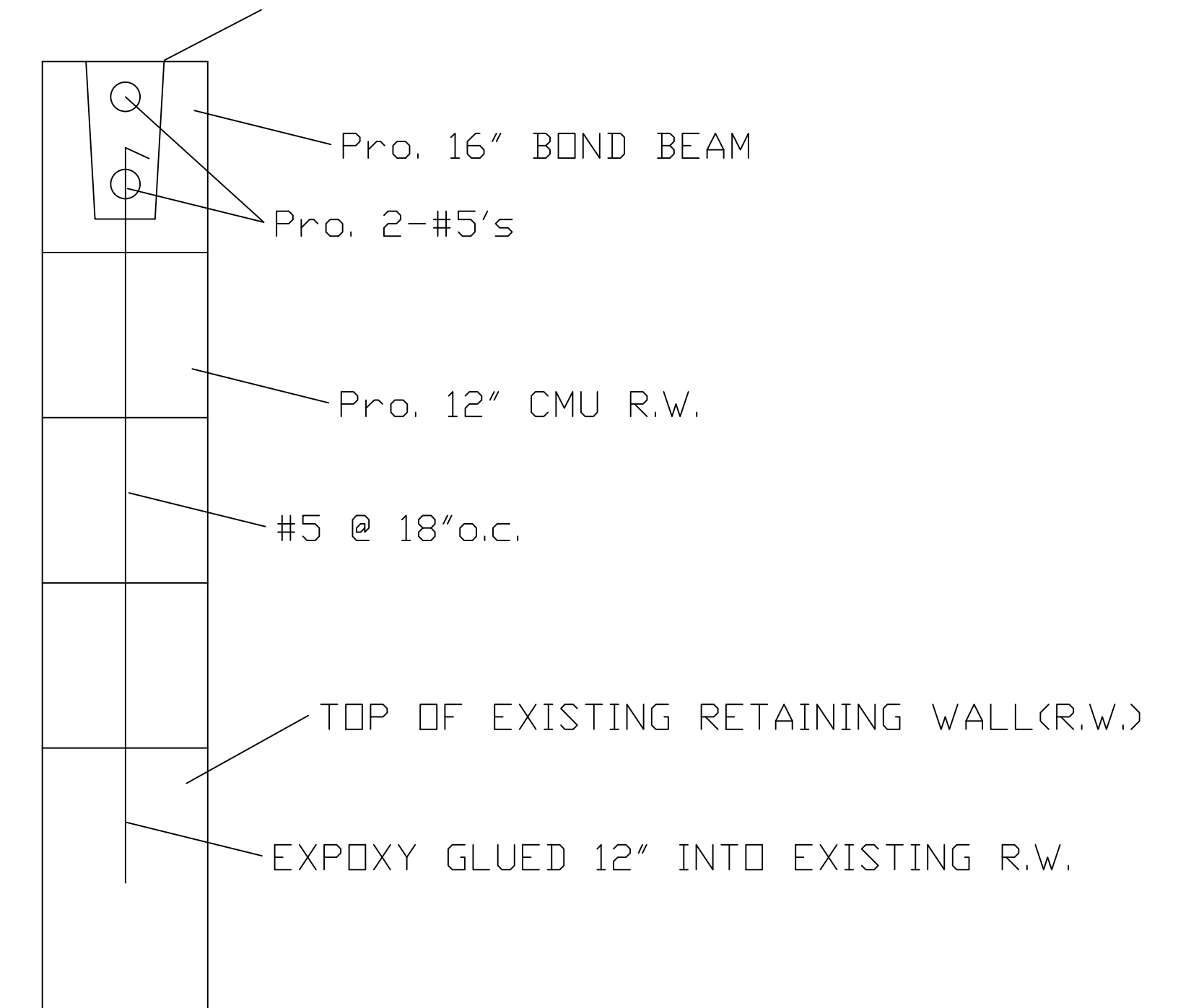
THE BEACH PORTION OF EAST TRACT SEVENTEEN (17) AND EAST TRACT SIXTEEN (16), PADRE BEACH ESTATES SUBDIVISION, LYING EAST OF STATE HIGHWAY 100 A SUBDIVISION IN THE CITY OF SOUTH PADRE ISLAND, CAMERON COUNTY, TEXAS, IN THE CITY OF SOUTH PADRE ISLAND, CAMERON COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN CABINET 1, SLOT 3323, MAP RECORDS OF CAMERON COUNTY, TEXAS.

FEBRUARY 21, 2017

Mejia & Rose, Incorporated
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T.B.P.E. Reg. No. F-002670
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1643 West Price Road (956) 544-3022
P.O. Box 3761 Brownsville, Texas 78520
Fax (956) 544-3068
email: mandrinc@cngmail.com

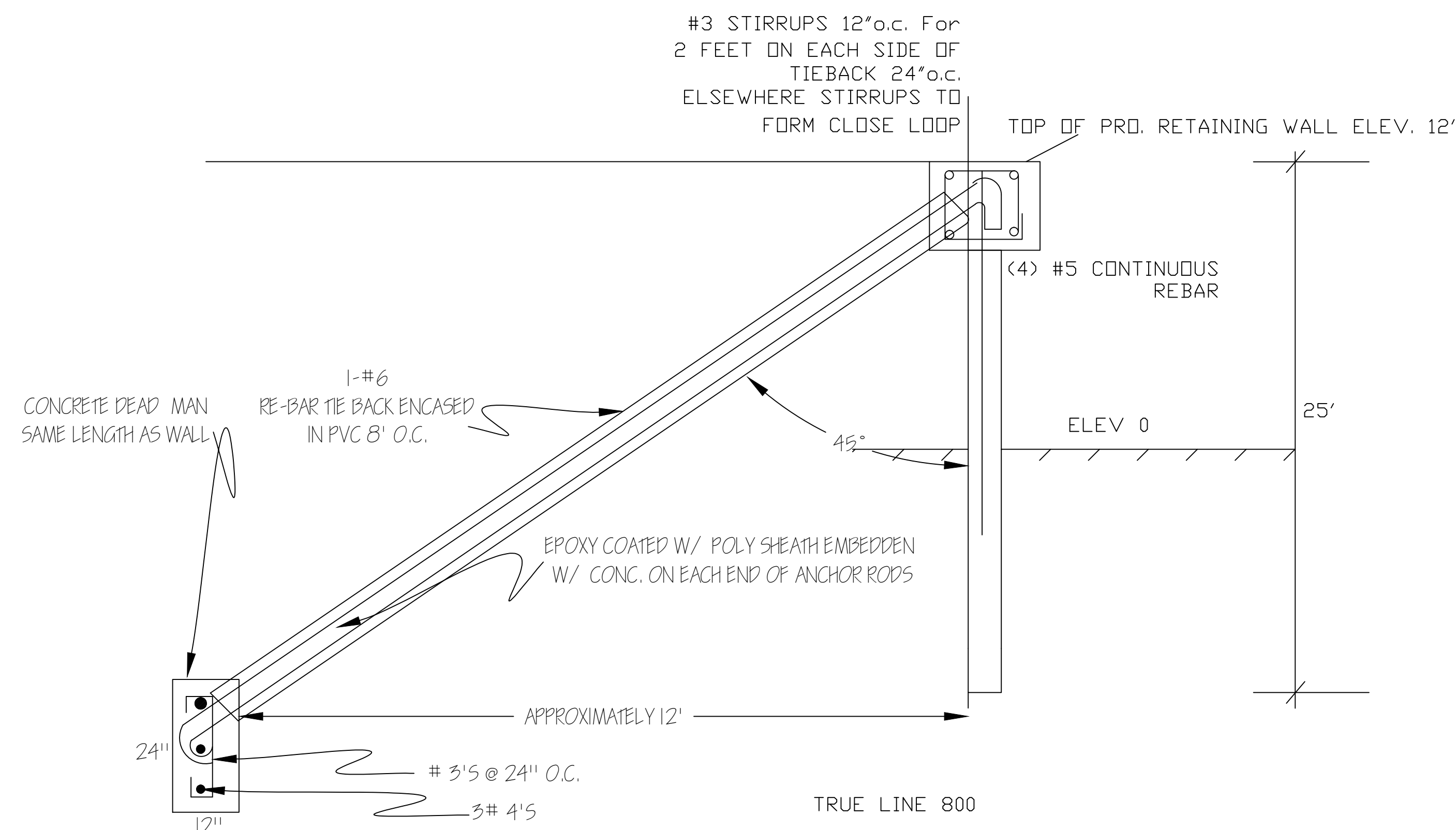


TOP OF PRO. RETAINING WALL = 14'



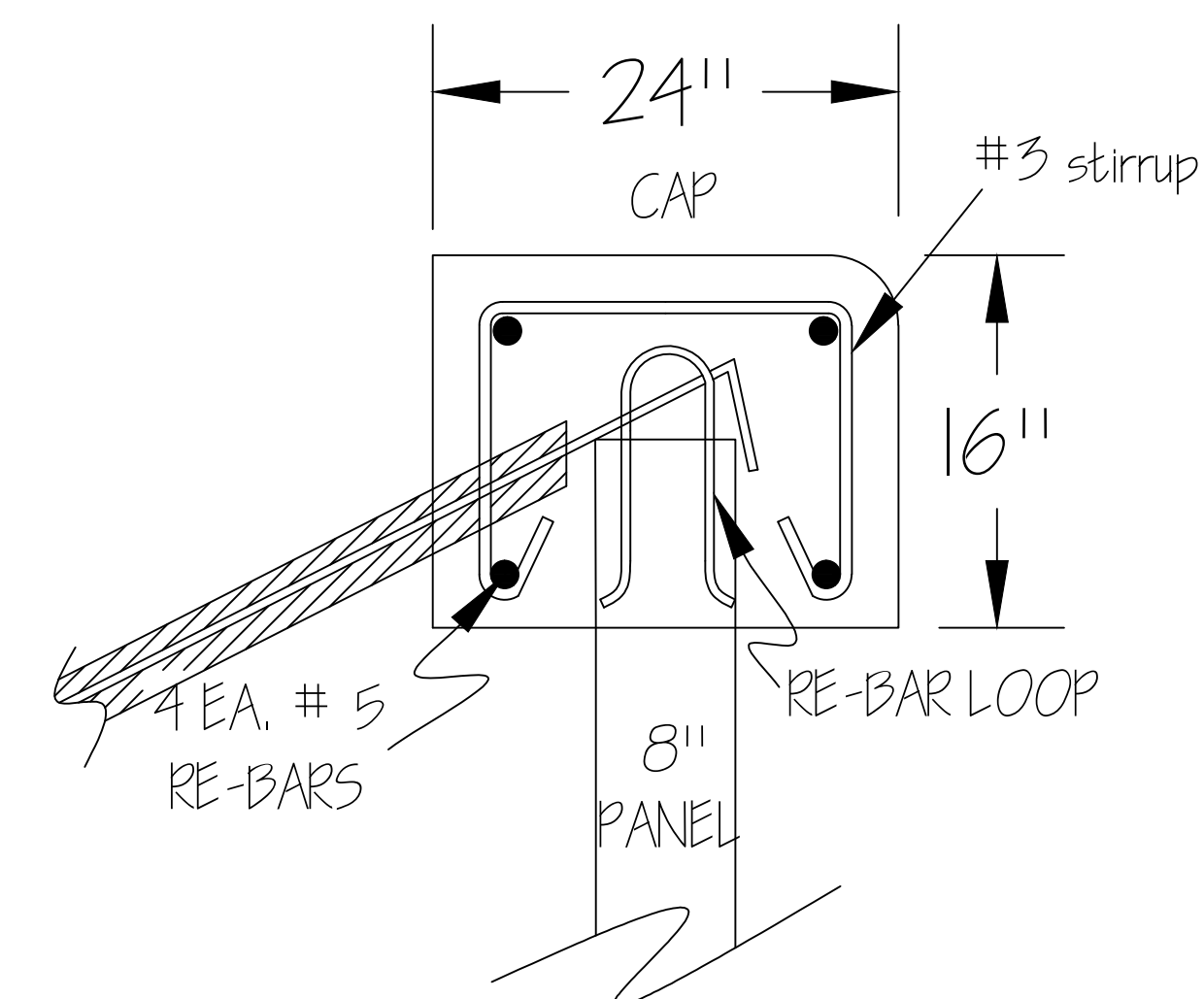
CROSS SECTION "B"- "B"

#3 STIRRUPS 12"o.c. For 2 FEET ON EACH SIDE OF TIEBACK 24"o.c. ELSEWHERE STIRRUPS TO FORM CLOSE LOOP



CROSS SECTION "A"- "A"

FILL SHEETS WITH 4000psi CONCRETE AND REINFORCE WITH 2-#5/CELL VERTICAL REBAR



PROPOSED
RETAINING WALL
COURTYARD MARRIOTT, SPI, TX

FRESNO SYSTEMS SERVICES

P.O. BOX 889
LOS FRESNOS, TEXAS 78566
(956) 233-4687
FAX (956) 233-9003
MEMEPE@AOL.COM

PABLO ANGUIANO P.E.
ENGINEER
WINDSTORM INSPECTIONS
STRUCTURAL CIVIL
HVAC PLUMBING CONSULTING



Date:03-02-17	Job No.:FSS 55780317
FN # 2547	

**SHORELINE TASK FORCE
AGENDA REQUEST FORM**

MEETING DATE: March 6, 2017

ITEM: 7

TO: Shoreline Task Force

FROM: Brandon Hill, Shoreline Management Director

ITEM DESCRIPTION:

Discussion and possible action on 5308 Gulf Blvd beach and dune permit with GLO comments.

DISCUSSION:

See attachment.



TEXAS GENERAL LAND OFFICE
GEORGE P. BUSH, COMMISSIONER

February 17, 2017

Via Electronic Mail

Brandon Hill
Shoreline Management Director
City of South Padre Island
P.O Box 3410
4601 Padre Blvd.
South Padre Island, Texas 78597-3410

Beachfront Construction Certificate & Dune Protection Permit in the City of South Padre Island

Site Address: 5308 Gulf Boulevard, South Padre Island
Legal Description: Lot 8, Block 170, Padre Beach Section XI
Lot Applicant: RGV Construction LLC, c/o Tony Flores
GLO ID No.: BDSPI-17-0048

Dear Mr. Hill:

The General Land Office (GLO) has reviewed the application for a dune protection permit and beachfront construction certificate for the above-referenced location. The applicant proposes to remove an existing concrete driveway and replace it with pavers in a location landward of the Historic Building Line (HBL). According to the Bureau of Economic Geology, the area is eroding at a rate of two to three feet per year.

Based on the application materials forwarded to our office for review, we have no comments.

If you have any questions, please contact me at (512) 463-0413 or at natalie.bell@glo.texas.gov.

Sincerely,

Natalie Bell
Beach Access & Dune Protection Program
Coastal Resources Division
Texas General Land Office

MEMORANDUM

TO: Shoreline Task Force
Natalie Bell, General Land Office
FROM: Brandon N. Hill, Shoreline Management Department Project and Program Manager
DATE: February 15, 2017
RE: 5308 Gulf Blvd Driveway removal and replaced with pavers

The applicant has requested to remove the current concrete driveway and replace it with pavers meant to act as a more natural surface. The spacing will allow for more natural drainage while still providing structural support for the vehicles traversing them. This is necessary to receive recommendation on because it is within the Dune Protected Area and constitutes as a change of footprint and impermeable surfaces.

With consideration given to conformance with TAC regulations our preliminary determination is that:

1. The proposed activity will not reduce the size of the public beach. [TAC 15.5 (b)(1)]
2. The proposed activity does not appear to involve construction upon the public beach. [TAC 15.5 (c)(1)]
3. The proposed activity will not encroach upon the public beach. [TAC 15.5 (c)(1)]
4. The proposed activity will not close any existing public beach accesses within the area, nor will the construction close or prevent the use of any existing public beach parking spaces. [TAC 15.5 (d)(1)]

With consideration given to the City's *Dune Protection and Beach Renourishment and Access Plan* [B&D Ord. Section 22-10]:

1. The proposed activity will not result in the potential for increased flood damage to the subject property or adjacent properties.
2. The proposed activity will not result in run-off or drainage patterns that aggravate erosion on and off the site.
3. The proposed activity will cause no changes to the existing dune hydrology east of the Historic Building Line.
4. The proposed activity will result in minimal adverse effects on dune vegetation. These effects will be mitigated through the actions outlined in the attached mitigation plan.
5. The proposed activity will not significantly increase the potential for washover or blowouts.



Brandon N. Hill



Beach & Dune Application

City of South Padre Island
4601 Padre Blvd.
South Padre Island, TX 78597
Phone: (956) 761-3044
Fax: (956) 761-3898

Site for Proposed Work

Legal Description:

Lot 8, Block 170, Padre Beach section XI, a subdivision in the town of South Padre Island, Cameron County, Texas

Physical Address:

5308 Gulf Blvd.

Property Owner Information

Name: Steven P. Egan
Mailing Address: 8405 N. 2nd
City: McAllen State: TX.
Zip: 78504 Country: USA
Phone Number: _____
Fax Number: _____
E-Mail Address: _____

Applicant / Agent for Owner

Name: RGV Construction, LLC Tony Flores
Mailing Address: P.O. Box 720137
City: McAllen State: TX
Zip: 78504 Country: USA
Phone Number: (956) 212-4114
Fax Number: (956) 972-1924
E-Mail Address: rgvconstructionllc@gmail.com

I / We, owners of the above-mentioned property, authorize the applicant stated above, to act in my behalf in order to acquire a Beach and Dune permit for the construction proposed below. (owner initials here _____)

Owner(s) Signature(s): _____
Date: _____

Applicant Signature: 
Date: 11/31/17

Project Description

Describe with as much as detail as possible, the construction proposed. If more room is needed, please include an additional page. Include the number of habitable units, amenities, swimming pools, fences, kinds of fences, whether footings and/or retaining walls will be installed, and locations of proposed landscaping and parking

Removal of current driveway and reinstall with grass strips

Total Square Footage of Footprint of Habitable Structure: /

Total Area of Impervious Surface (i.e. retaining walls, walkways, drives, patios, etc.): _____

Percentage Impervious Surface [(impervious surface / habitable footprint) * 100]: _____

Please Note: the percentage of impervious surface cannot exceed 5% in an eroding area.

Approximate Duration of Construction: 2 weeks

Financial Plan for the Removal of All Hard Structures

All properties which are allowed to build retaining walls on their property are allowed to do so with the condition that a financial plan for the removal of the retaining wall is submitted to the Public Works Department of the City of South Padre Island. Removal of the retaining wall at the owner's expense may be required if/once the retaining wall comes into regular contact with wave action for twenty (20) out of thirty (30) consecutive days. The City accepts the submission of a Retaining Wall Covenant, or other financial guarantee, insuring the removal of the retaining wall if the required conditions are met.

Type of Plan Submitted: _____ Date Submitted: _____

Drainage

Describe the impact that the proposed construction will have on the natural drainage pattern on the site and adjacent lots.

- No change in the drainage on site.
- The proposed construction will change the grading and the drainage on the subject property. (An explanation will be required detailing where the water will drain.)

Explanation / Other Information: _____

Impacts to Beach / Dune System

Answer each question as completely as possible in narrative form

1. What damage will this proposed construction have on the dune vegetation located at the project site?

- No damage to dune vegetation whatsoever.
- The proposed construction will impact _____% of the dune vegetation site. (An explanation of the "impact" will be required.)
- The proposed construction will require the removal and relocation of _____% of the dune vegetation on site. (The submission of a mitigation plan will be required.)

Explanation / Other Information: _____

2. How will the proposed construction alter the dune size/shape at the project site?

- No change to dune size/shape whatsoever.
- The proposed construction will change _____% of the size/shape of dunes on site. (Details will be required.)
- The proposed construction will require the removal and relocation of _____% of the dunes on site. (The submission of a mitigation plan will be required.)

Explanation / Other Information: _____

3. How will the proposed construction change the hydrology of the dunes at the project site?

- No change to dune hydrology whatsoever.
- The proposed construction will impact dune hydrology on site. (Details will be required.)

Explanation / Other Information: _____

4. Describe alternatives to the proposed construction or method of construction which will cause fewer or no adverse effects on dunes and dune vegetation.

5. Describe alternatives to the proposed construction or method of construction which will cause fewer or no adverse impairment to beach access.

Mitigation Plan

Describe the methods which you will use to avoid, minimize, mitigate and/or compensate for any adverse effects on dunes or dune vegetation.

Explanation / Other Information: _____

Financial Plan for Dune Mitigation:

If required by the City Council, a financial guarantee (irrevocable letter of credit or a performance bond, etc.) may be necessary to insure the mitigation of dunes/dune vegetation takes place as proposed and required of the applicant.

Type of Plan Submitted: _____

Date of Submission: _____

Checklist of Additional Required Application Information

An accurate map, plat or site plan showing:

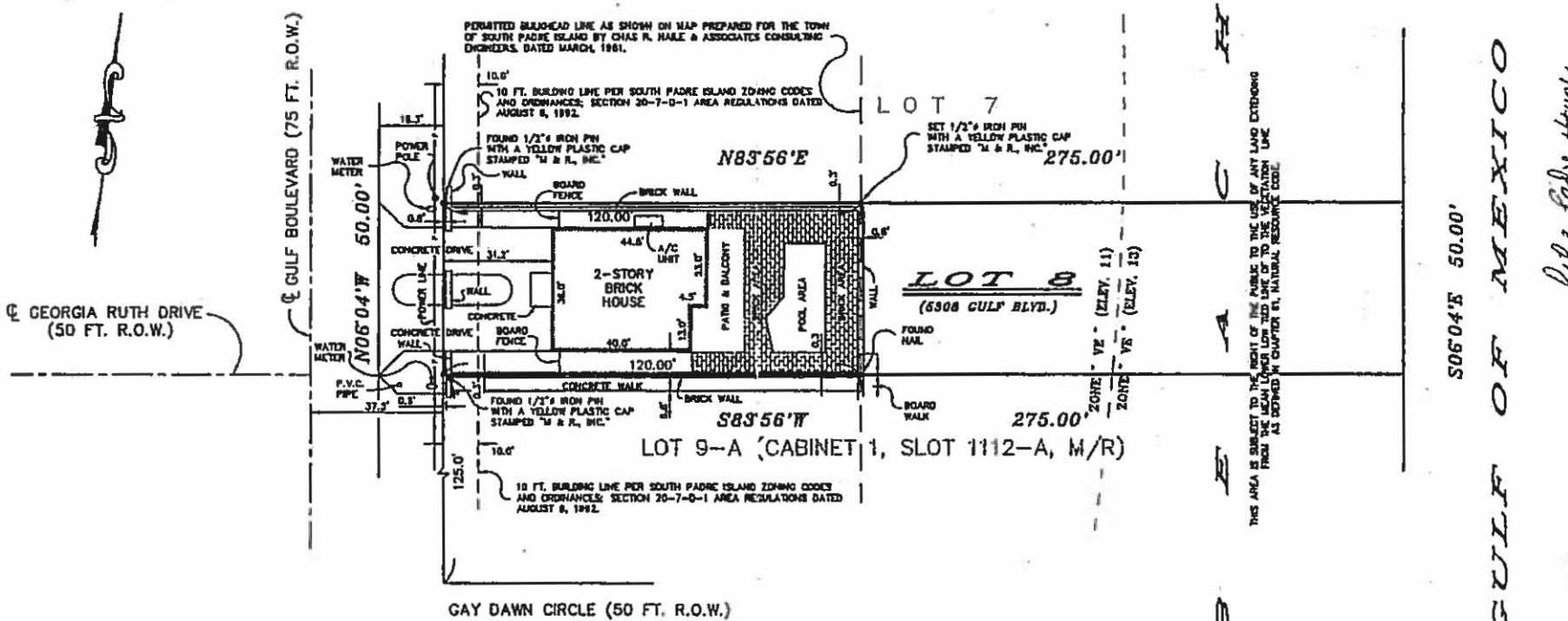
- 1. Legal description of the property (lot, block, subdivision) and the immediately adjoining property.
- 2. Location of all existing structures - including the habitable and inhabitable structures, swimming pools, decks, fences, parking areas, landscape areas, etc.
- 3. Location of the Historical Building Line on the subject property and the extension of the line on the properties immediately adjoining the subject property to the north and to the south.
- 4. Location and elevation of existing retaining walls - both on the subject property and those properties immediately adjoining the subject property to the north and to the south.
- 5. Location of proposed structure(s) - if proposing the construction of a retaining wall, please also include the proposed elevation of the retaining wall.
- 6. Location of proposed driveways, parking areas (showing the # of proposed parking spaces) and landscape areas.
- 7. Location of all existing and proposed beach access paths and/or dune walkovers.
- 8. Location and extent of any man-made vegetated mounds, restored dunes, fill activities, or any other pre-existing human modifications on the tract.
- 9. Topographical survey of the site identifying all elevations, existing contours of the project area (including dunes and scales) and the proposed contours of the final grade.

Other required application information:

- 1. A grading and layout plan showing proposed contours for the final grade.
- 2. The floor plan(s) and elevation(s) of the structure proposed to be constructed or expanded.
- 3. Photographs of the site which clearly show the current location of the vegetation line & existing dunes on the tract within the last 6 months
- 4. Copy of the Flood Rate Map showing the location of the subject property. (FEMA.GOV - Map Search)
- 5. Copy of the Historical Erosion Rate Map as determined by the University of Texas at Austin, Bureau of Economic Geology (beg.utexas.edu)
- 6. Application Fee of \$180 for Staff Approved applications and \$300 for City Council Approved applications.

Your application is not complete unless all information requested above is submitted.

Application submissions require only three (3) copies of the complete information plus a digital copy.



- NOTES:**
- 1) THIS TRACT LIES IN FLOOD ZONES "VE" (ELEV. 11) AND "V2" (ELEV. 13) AS PER THE F.L.A. FLOOD INSURANCE RATE MAP OF COMMUNITY NO. 480113, PANEL NO. 0001 C, EFFECTIVE MAY 04, 1982.
 - 2) THIS TRACT IS SUBJECT TO RESTRICTIONS RECORDED IN VOLUME 563, PAGE 837, DEED RECORDS OF CAMERON COUNTY, TEXAS.

SURVEY OF
 LOT NUMBER EIGHT (8), BLOCK NUMBER ONE HUNDRED SEVENTY (170), PADRE BEACH, SECTION XI, A SUBDIVISION IN THE TOWN OF SOUTH PADRE ISLAND, CAMERON COUNTY, TEXAS, ACCORDING TO THE MAP OF SAID SUBDIVISION RECORDED IN VOLUME 15, PAGE 41, MAP RECORDS OF CAMERON COUNTY, TEXAS.

SCALE: 1" = 30.0'

SURVEYED FOR:
STARS RESTAURANT CORP.

The undersigned hereby certifies that the survey described hereon was made on the ground on 7-28-87; that the only improvements on the ground are as shown; that there are no visible encroachments, visible overlappings, apparent conflicts, or visible encumbrances as shown hereon. THIS CERTIFICATION IS ONLY VALID WITH AN ORIGINAL SIGNATURE AND IF THE DRAWING CONTAINS NO ERRORS OR ADDITIONS.

E. H. Mejia
 REGISTERED PROFESSIONAL LAND SURVEYOR NO. 3900



Mejia & Rose, Incorporated
 Engineering Surveying
 1843 West Price Road (210) 544-3022
 P.O. Box 3761 Brownsville, Texas 78620
 Fax (210) 544-3068
 O.P. NO. 97-053347 JOB NO. 9162

506'04"E 50.00'
 GULF OF MEXICO
File Padre Head



**SHORELINE TASK FORCE
AGENDA REQUEST FORM**

MEETING DATE: March 6, 2017

ITEM: 8

TO: Shoreline Task Force

FROM: Brandon Hill, Shoreline Management Director

ITEM DESCRIPTION:

Discussion and possible action on 340 Padre Blvd beach and dune permit with GLO comments.

DISCUSSION:

See attachment.



TEXAS GENERAL LAND OFFICE
GEORGE P. BUSH, COMMISSIONER

February 17, 2017

Via Electronic Mail

Brandon Hill
Shoreline Management Director
City of South Padre Island
P.O Box 3410
4601 Padre Blvd.
South Padre Island, Texas 78597-3410

Beachfront Construction Certificate & Dune Protection Permit in the City of South Padre Island

Site Address: 340 Padre Boulevard, South Padre Island
Legal Description: Lot 1, Block 1, Padre Partners Subdivision
Lot Applicant: Jesus Garcia
GLO ID No.: BDSPI-17-0047


Dear Mr. Hill:

The General Land Office (GLO) has reviewed the application for a dune protection permit and beachfront construction certificate for the above-referenced location. The applicant proposes to construct an additional impervious area for a drop-off road in a location landward of the Historic Building Line (HBL). According to the Bureau of Economic Geology, the area is accreting.

Based on the application materials forwarded to our office for review, we have no comments.

If you have any questions, please contact me at (512) 463-0413 or at natalie.bell@glo.texas.gov.

Sincerely,


Natalie Bell
Beach Access & Dune Protection Program
Coastal Resources Division
Texas General Land Office

MEMORANDUM

TO: Shoreline Task Force
Natalie Bell, General Land Office
FROM: Brandon N. Hill, Shoreline Management Department Project and Program Manager
DATE: February 15, 2017
RE: 340 Padre Blvd construction of a turn-around

The applicant has requested permission to build additional paved area connected to their existing driveway. This turn-around will be made up of pavers as to minimize the impact. This is necessary to receive recommendation on because it is within the Dune Protected Area and constitutes as a change of footprint and impermeable surfaces.

With consideration given to conformance with TAC regulations our preliminary determination is that:

1. The proposed activity will not reduce the size of the public beach. [TAC 15.5 (b)(1)]
2. The proposed activity does not appear to involve construction upon the public beach. [TAC 15.5 (c)(1)]
3. The proposed activity will not encroach upon the public beach. [TAC 15.5 (c)(1)]
4. The proposed activity will not close any existing public beach accesses within the area, nor will the construction close or prevent the use of any existing public beach parking spaces. [TAC 15.5 (d)(1)]

With consideration given to the City's *Dune Protection and Beach Renourishment and Access Plan* [B&D Ord. Section 22-10]:

1. The proposed activity will not result in the potential for increased flood damage to the subject property or adjacent properties.
2. The proposed activity will not result in run-off or drainage patterns that aggravate erosion on and off the site.
3. The proposed activity will cause no changes to the existing dune hydrology east of the Historic Building Line.
4. The proposed activity will result in minimal adverse effects on dune vegetation. These effects will be mitigated through the actions outlined in the attached mitigation plan.
5. The proposed activity will not significantly increase the potential for washover or blowouts.



Brandon N. Hill

PENINSULA ISLAND RESORT AND SPA

1/30/2017

BEACH AND DUNES PERMIT APPLICATION

For
Proposed Drop-Off Road
340 Padre Boulevard
South Padre Island, Texas, 78597

Proposed Drop-Off Road

BEACH AND DUNES PERMIT APPLICATION

APPLICATION



Beach & Dune Application

City of South Padre Island
 4801 Padre Blvd.
 South Padre Island, TX 78597
 Phone: (956) 761-3044
 Fax: (956) 761-3898

Site for Proposed Work	
Legal Description: <u>LOT 1, BLOCK 1, PADRE PARTNERS SUB.</u>	Physical Address: <u>340 PADRE BOULEVARD SOUTH PADRE ISLAND, TX 78597</u>

Property Owner Information	Applicant / Agent for Owner
Name: <u>CARLOS SALINAS</u>	Name: <u>JESUS GARCIA</u>
Mailing Address: <u>340 PADRE BLVD</u>	Mailing Address: <u>400 SOUTH GARCIA ST.</u>
City: <u>SOUTH PADRE ISLAND</u> State: <u>TX</u>	City: <u>PORT ISABEL</u> State: <u>TX</u>
Zip: <u>78597</u> Country: <u>CAMEROON</u>	Zip: <u>78578</u> Country: <u>CAMEROON</u>
Phone Number: <u>956-761-2514</u>	Phone Number: <u>956-525-5515</u>
Fax Number: <u>956-761-6095</u>	Fax Number: <u>956-554-8521</u>
E-Mail Address: <u>carlosasalinas@hotmail.com</u>	E-Mail Address: <u>gotcousa@hotmail.com</u>
I / We, owners of the above-mentioned property, authorize the applicant stated above, to act in my behalf in order to acquire a Beach and Dune permit for the construction proposed below. (owner initials here _____)	
Owner(s) Signature(s): <u>Carla Salinas</u>	Applicant Signature: <u>[Signature]</u>
Date: <u>1/31/2017</u>	Date: <u>1/31/2017</u>

Project Description
Describe with as much as detail as possible, the construction proposed. If more room is needed, please include an additional page. Include the number of habitable units, amenities, swimming pools, fences, kinds of fences, whether footings and/or retaining walls will be installed, and locations of proposed landscaping and parking.
<u>CONSTRUCTION OF DROP-OFF ROAD TO PROVIDE SERVICE TO GUESTS AND CLIENTS OF PENINSULA ISLAND RESORT AND SPA, CURRENTLY GUESTS NEED TO WALK 400 FEET TO HOTEL ROOMS</u>
Total Square Footage of Footprint of Habitable Structure: <u>85,350 S.F. EXISTING</u>
Total Area of Impervious Surface (i.e. retaining walls, walkways, drives, patios, etc.): <u>3,200 S.F.</u>
Percentage Impervious Surface ((impervious surface / habitable footprint) * 100): <u>4%</u>
Please Note: the percentage of impervious surface cannot exceed 6% in an eroding area.
Approximate Duration of Construction: <u>2 MONTH.</u>

Form Number EPW001
 Last Updated: 11/07/12

Financial Plan for the Removal of All Hard Structures

All properties which are allowed to build retaining walls on their property are allowed to do so with the condition that a financial plan for the removal of the retaining wall is submitted to the Public Works Department of the City of South Padre Island. Removal of the retaining wall at the owner's expense may be required if/once the retaining wall comes into regular contact with wave action for twenty (20) out of thirty (30) consecutive days. The City accepts the submission of a Retaining Wall Covenant, or other financial guarantee, insuring the removal of the retaining wall if the required conditions are met.

Type of Plan Submitted: _____ Date Submitted: _____

Drainage

Describe the impact that the proposed construction will have on the natural drainage pattern on the site and adjacent lots.

- No change in the drainage on site.
- The proposed construction will change the grading and the drainage on the subject property. (An explanation will be required detailing where the water will drain.)

Explanation / Other Information: _____

Impacts to Beach / Dune System

Answer each question as completely as possible in narrative form.

1. What damage will this proposed construction have on the dune vegetation located at the project site?

- No damage to dune vegetation whatsoever.
- The proposed construction will impact _____% of the dune vegetation site. (An explanation of the "impact" will be required.)
- The proposed construction will require the removal and relocation of _____% of the dune vegetation on site. (The submission of a mitigation plan will be required.)

Explanation / Other Information: _____

2. How will the proposed construction alter the dune size/shape at the project site?

- No change to dune size/shape whatsoever.
- The proposed construction will change _____% of the size/shape of dunes on site. (Details will be required.)
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4. Describe alternatives to the proposed construction or method of construction which will cause fewer or no adverse effects on dunes and dune vegetation.

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Form Number: EPW0001
Last Updated: 11/07/12

Mitigation Plan

Describe the methods which you will use to avoid, minimize, mitigate and/or compensate for any adverse effects on dunes or dune vegetation.

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Other required application information:

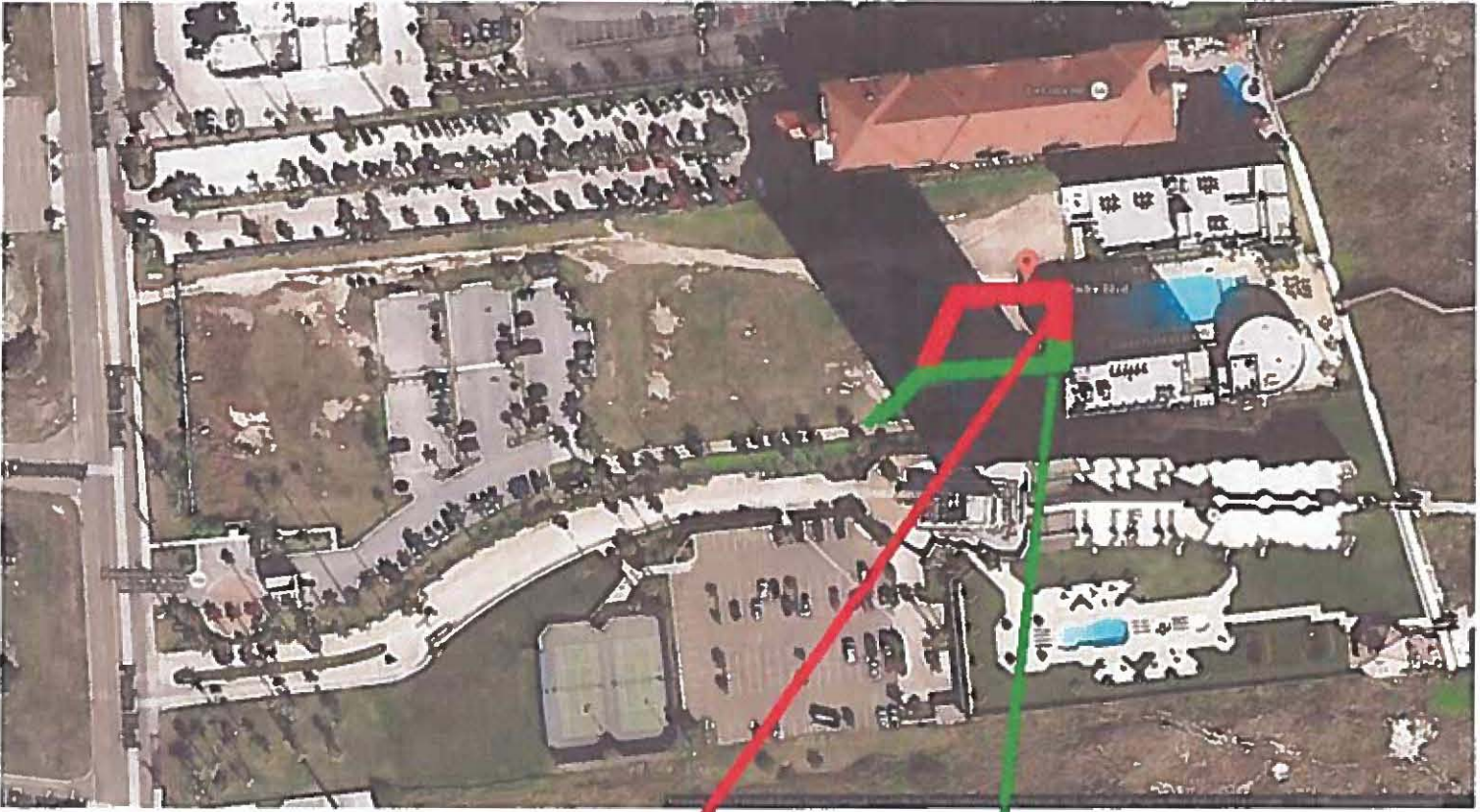
- 1. A grading and layout plan showing proposed contours for the final grade.
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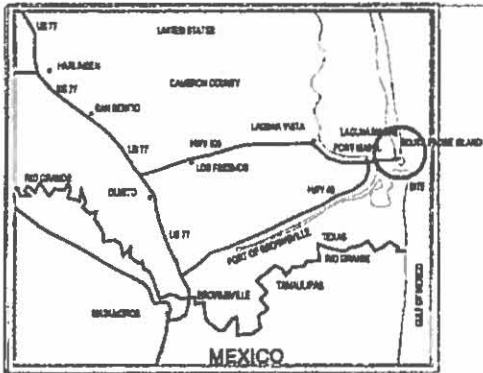
Form Number: EPW001
 Last Updated: 11/07/12

LOCATION



**PROPOSED DROP-OFF ROAD
TURN AROUND IN RED**

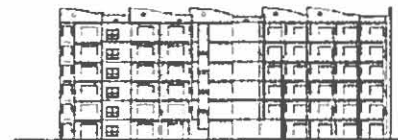
EXISTING ACCESS



AREA MAP



**PENINSULA ISLAND RESORT AND SPA
HOTEL TOWER BUILDING D**
SOUTH PADRE ISLAND, TEXAS



PENINSULA ISLAND RESORT AND SPA, L.L.C.

OWNER - MR. CARLOS SALINAS
340 PADRE BOULEVARD
SOUTH PADRE ISLAND, TEXAS

ARCHITECT:
ROBERTO J. RUIZ, INC.
818 WEST TANDY ROAD
BROWNSVILLE, TEXAS
956 360-8198 office
arch1@ruij.com

CIVIL ENGINEER:
MESA AND ROSE, INC.
1843 WEST TANDY ROAD
BROWNSVILLE, TEXAS 77822
956 644-3022
jmrrose@gmail.com

STRUCTURAL ENGINEER:
GEORGE MENDOZA ENGINEERING, INC.
8816 NORTH 10TH - #101
MCALLEN, TEXAS 78804
956 631-4800
george@mesadzeengineering.com

MEP ENGINEER:
TRINITY MEP ENGINEERING
3533 MORELAND DRIVE
WESLACO, TEXAS 78688
956 975-0800
leo@trinitymep.com

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- C1 COVER SHEET
- QA1 SITE PLAN
- QA2 PHASE I SITE PLAN - REFERENCE ONLY
- QA3 PLUMBING PLANS AND DETAILS
- QA4 ORIGINAL SURVEY
- QA5 ORIGINAL SURVEY
- QA6 PARTIAL SITE PLAN
- QA7 BUILDING D / BUILDING E
- Q1 SERVICE RELOCATION
- TA-1 TEXAS ACCESSIBILITY STANDARDS
- TA-2 TEXAS ACCESSIBILITY STANDARDS

REFERENCE DRAWINGS ONLY - PHASE I

- C1 TOPOGRAPHIC SURVEY
- C2 PROPOSED PHASE I UTILITY LAYOUT
- C3 PROPOSED PHASE I UTILITY LAYOUT
- C4 PROPOSED PHASE I PLUMBING AND DRAINAGE PLAN
- C5 PROPOSED PHASE I PLUMBING AND DRAINAGE PLAN
- C6 PROPOSED PHASE I PLUMBING AND DRAINAGE PLAN
- C7 PROPOSED PHASE I PLUMBING AND DRAINAGE PLAN
- C8 PROPOSED PHASE I PLUMBING AND DRAINAGE PLAN
- EA08 SITE PLAN ELECTRICAL
- EA09 SITE PLAN ELECTRICAL
- EA10 SITE PLAN ELECTRICAL
- EA11 SITE PLAN PHASE I ELECTRICAL
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- A6 FIFTH FLOOR PLAN, REFLECTED CEILING PLAN AND ROOM FINISH SCHEDULE
- A7 SIXTH FLOOR PLAN, REFLECTED CEILING PLAN AND ROOM FINISH SCHEDULE
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- A9 FIRST FLOOR PLAN, DIMENSION PLAN
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MEP

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- M2 SECOND, THIRD, AND FIFTH FLOOR MECHANICAL PLAN
- M3 FOURTH FLOOR MECHANICAL PLAN
- M4 SIXTH FLOOR MECHANICAL PLAN
- M5 MECHANICAL ROOF PLAN
- M6 MECHANICAL NOTES AND LEGEND
- M7 MECHANICAL SCHEDULES AND DETAILS
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SHEET NO. C1
SHEET NUMBER

ROBERTO J. RUIZ ARCHITECT, INC.
818 WEST TANDY ROAD
BROWNSVILLE, TEXAS 77822
956 360-8198 office
arch1@ruij.com

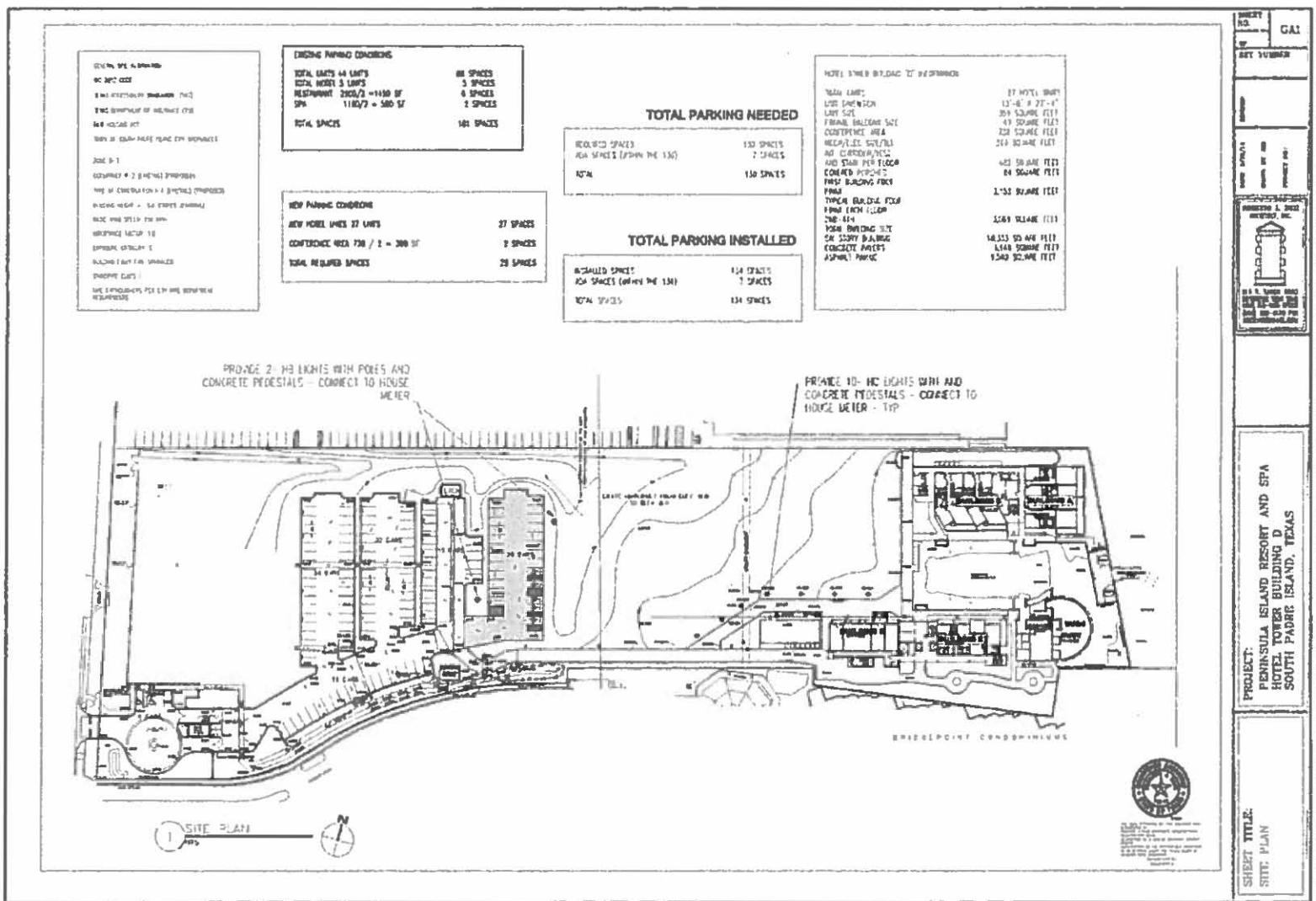
PROJECT:
PENINSULA ISLAND RESORT AND SPA
HOTEL TOWER BUILDING D
SOUTH PADRE ISLAND, TEXAS

SHEET TITLE:
COVER SHEET



Proposed Drop-Off Road

EXISTING SITE PLAN



EXISTING SITE PLAN
 NO. 1000
 1/2" = 10'-0"
 DATE: 10/1/00

EXISTING PARKING CONDITIONS

TOTAL LOTS 44 LOTS	88 SPACES
RESTAURANT 2200/2 = 1100 SF	8 SPACES
SPA 1100/7 = 380 SF	2 SPACES
TOTAL SPACES	100 SPACES

NEW PARKING CONDITIONS

NEW HOTEL LOTS 37 LOTS	74 SPACES
CONFERENCE AREA 730 / 2 = 365 SF	2 SPACES
TOTAL REQUIRED SPACES	76 SPACES

TOTAL PARKING NEEDED

REQUIRED SPACES	130 SPACES
ADJ. SPACES (WITHIN THE 130)	7 SPACES
TOTAL	130 SPACES

TOTAL PARKING INSTALLED

INSTALLED SPACES	134 SPACES
ADJ. SPACES (WITHIN THE 134)	7 SPACES
TOTAL SPACES	134 SPACES

NOTE: 3' WIDE BY 240' BY 240' PARKING

3' WIDE LANE	37 HOTEL LOTS
LANE WIDTH	13'-0" x 27'-0"
LANE SIZE	351 SQUARE FEET
FRINGE BULKHEAD SIZE	49 SQUARE FEET
CONFERENCE AREA	730 SQUARE FEET
RECREATION CENTER	210 SQUARE FEET
ADJ. CORRIDOR/STAIR AND STAIR PER FLOOR	600 SQUARE FEET
CONCRETE PAVEMENT	84 SQUARE FEET
PAVING BULKHEAD FLOOR	1,150 SQUARE FEET
TYPICAL BUILDING FLOOR	3,000 SQUARE FEET
FLOOR AREA	18,333 SQUARE FEET
2ND FLOOR	6,549 SQUARE FEET
CONCRETE PAVEMENT	1,540 SQUARE FEET
ASPHALT PAVEMENT	

SHEET NO. GAI

SET NUMBER

PROJECT: PENINSULA ISLAND RESORT AND SPA HOTEL TOWER BUILDING D SOUTH PADRE ISLAND, TEXAS

SHEET TITLE: SITE PLAN

DATE: 10/1/00

SCALE: 1/2" = 10'-0"

PROJECT NO. 00-0000

CLIENT: PENINSULA ISLAND RESORT AND SPA

DESIGNER: [Logo]

PROPOSED DROP OFF

EXISTING SITE CONDITIONS

AS SHOWN ON
 THE EXISTING SITE PLAN
 THE EXISTING BUILDING (S)
 THE EXISTING DRIVE
 THE EXISTING DRIVE
 THE EXISTING DRIVE

EXISTING PARKING CONDITIONS

TOTAL LOTS 14 LOTS 18 SPACES
 TOTAL HOTEL 5 LOTS 8 SPACES
 RECREATION 1200/2 = 600 SF 2 SPACES
 TOTAL SPACES 28 SPACES

NEW PARKING CONDITIONS

NEW HOTEL LOTS 25 LOTS 38 SPACES
 SPACES AREA = 100/2 = 50 SF 1 SPACE
 CONFERENCE AREA 700 / 2 = 350 SF 2 SPACES
 TOTAL REQUIRED SPACES 41 SPACES

TOTAL PARKING NEEDED

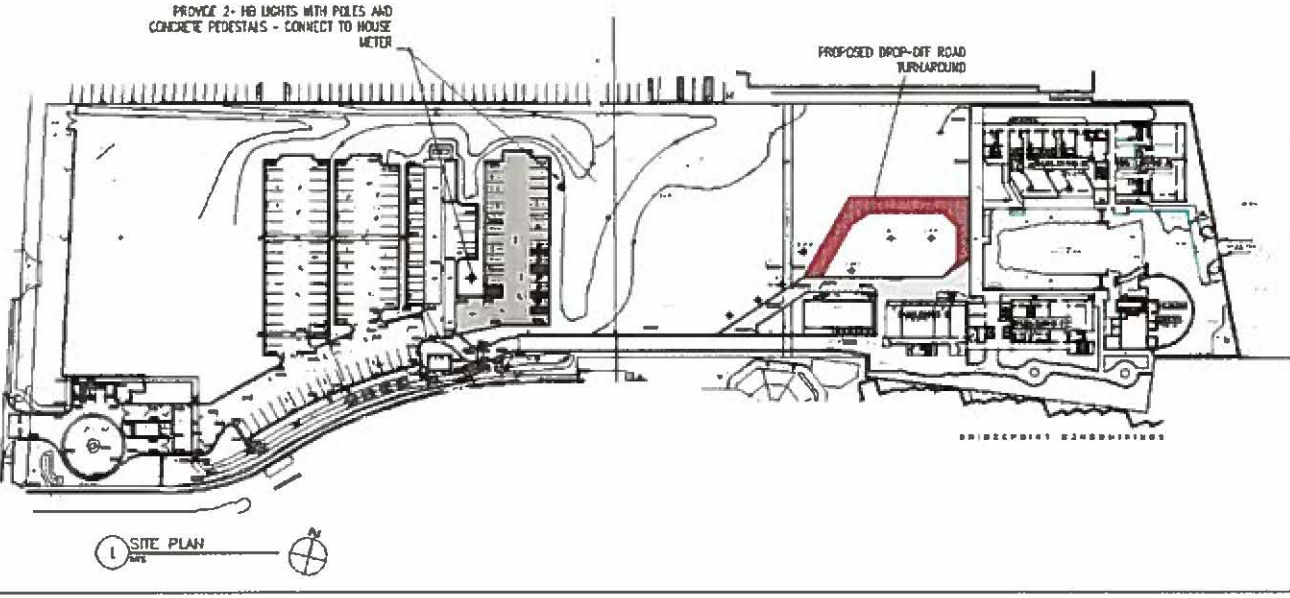
REQUIRED SPACES 139 SPACES
 JOA SPACES (WITHIN THE LOTS) 7 SPACES
 TOTAL 132 SPACES

TOTAL PARKING INSTALLED

INSTALLED SPACES 134 SPACES
 JOA SPACES (OUT OF THE LOTS) 2 SPACES
 TOTAL SPACES 136 SPACES

NETT REVENUE BUILDING "D" INFORMATION

TOTAL LOTS 25 HOTEL LOTS
 LOTS DIMENSIONS 15'-0" x 27'-0"
 LOTS SIZE 300 SQUARE FEET
 PRIVATE WALKWAY SIZE 45 SQUARE FEET
 CONFERENCE AREA 700 SQUARE FEET
 LOBBY AREA 200 SQUARE FEET
 RECEPTION/STORAGE 200 SQUARE FEET
 INC. CORRIDOR/AVENUE AND ELEV. FOR FLOOR 400 SQUARE FEET
 EMPLOYEES' COMMONS 80 SQUARE FEET
 FIRST BUILDING FOOT PRINT 3,150 SQUARE FEET
 TYPICAL BUILDING FOOT PRINT 600 SQUARE FEET
 TOTAL BUILDING SIZE 240-674 3,200 SQUARE FEET
 50' SPACED BUILDING CONCRETE PAVING 16,333 SQUARE FEET
 ASPHALT PAVING 3,048 SQUARE FEET
 6,200 SQUARE FEET



PROJECT NO.	GAI
PROJECT NAME	PERONNELA ISLAND RESORT AND SPA HOTEL TOWER BUILDING D SOUTH PADRE ISLAND, TEXAS
PROJECT LOCATION	SOUTH PADRE ISLAND, TEXAS
PROJECT TITLE:	SITE PLAN

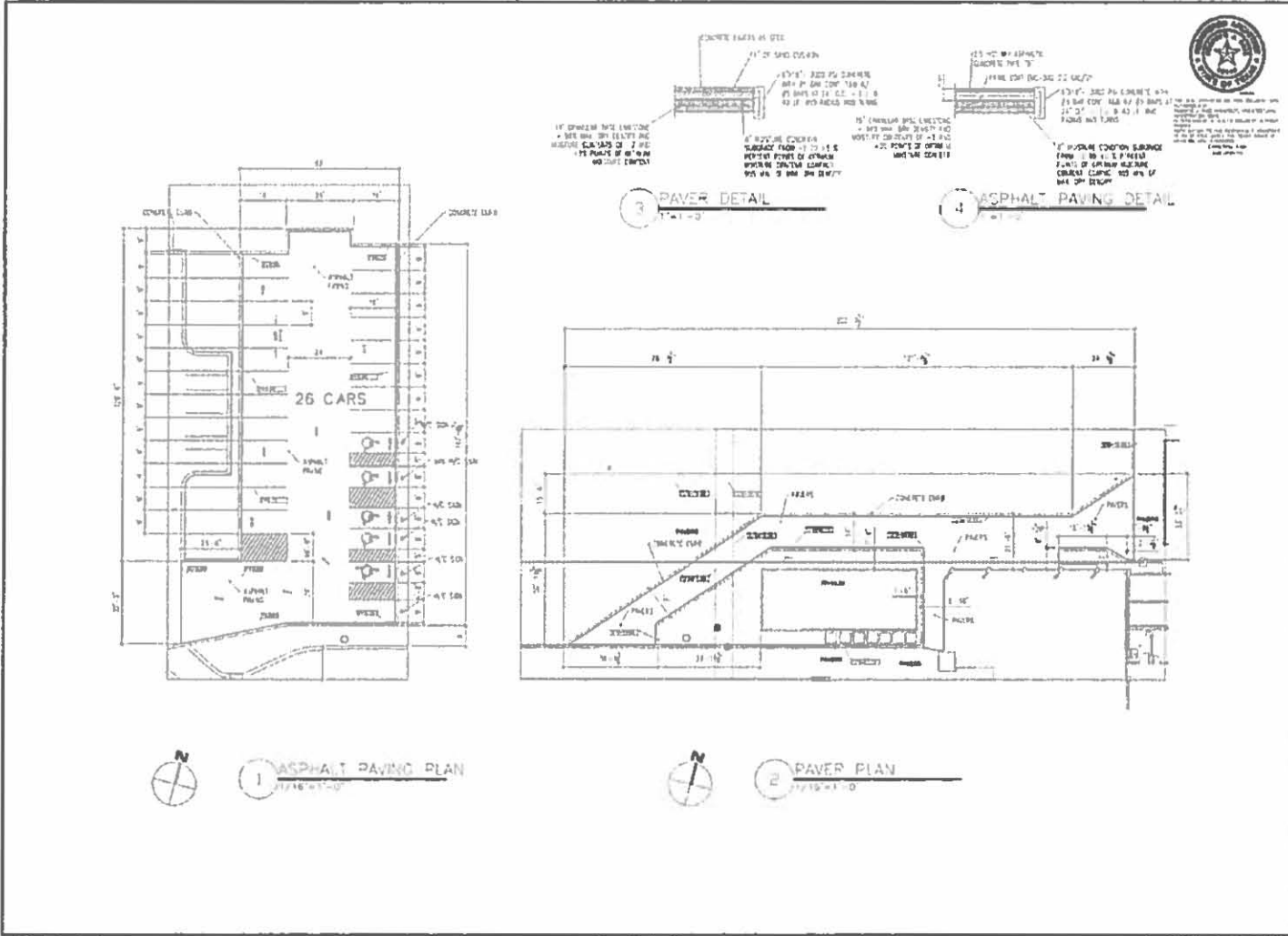
SHEET NO. GA3
 SET DRAWING



PROJECT TITLE:
 PENINSULA ISLAND RESORT AND SPA
 HOTEL TOWER BUILDING D
 SOUTH PADRE ISLAND, TEXAS

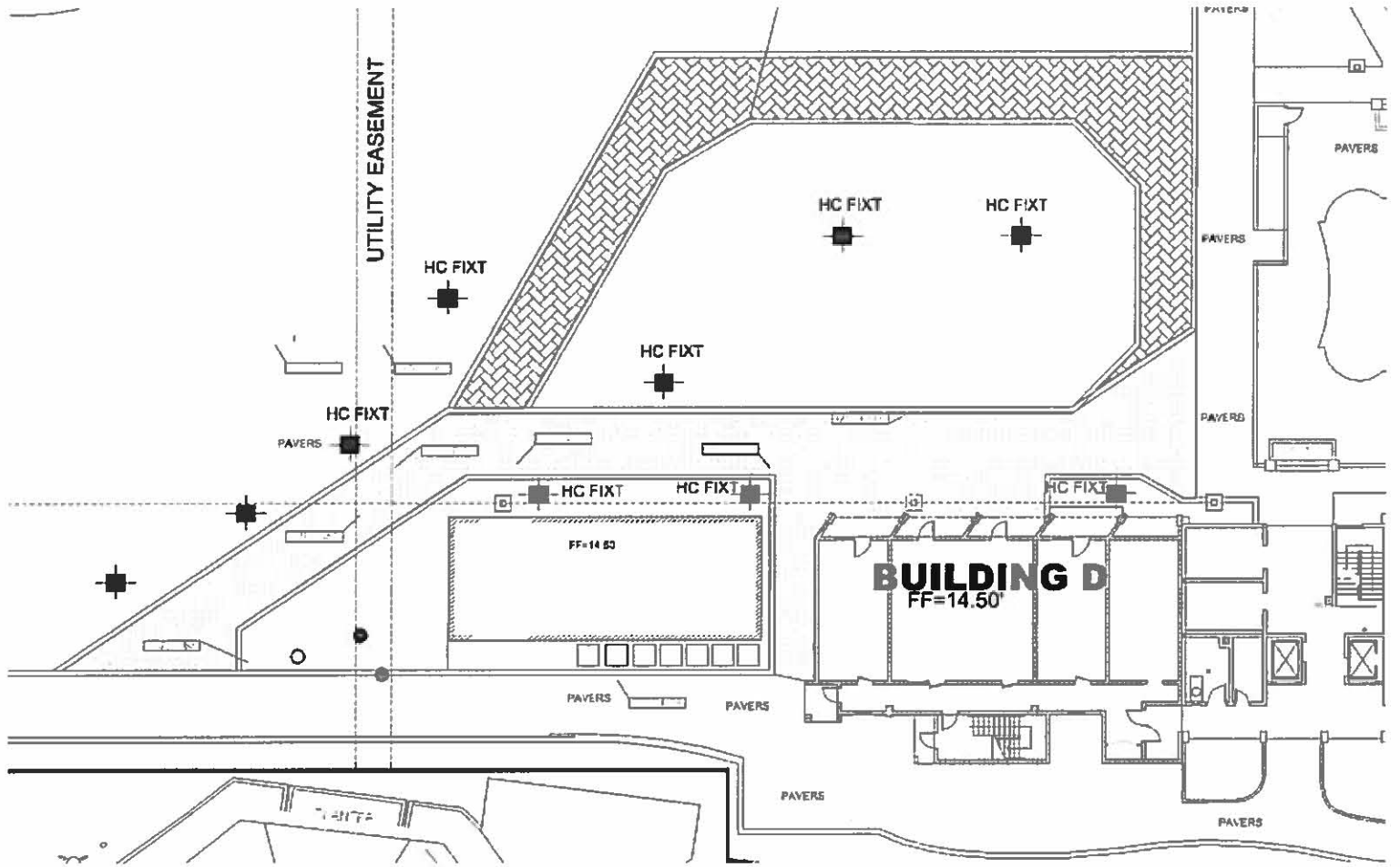
PROJECT:
 PENINSULA ISLAND RESORT AND SPA
 HOTEL TOWER BUILDING D
 SOUTH PADRE ISLAND, TEXAS

SHEET TITLE:
 PAVING PLANS
 AND DETAILS



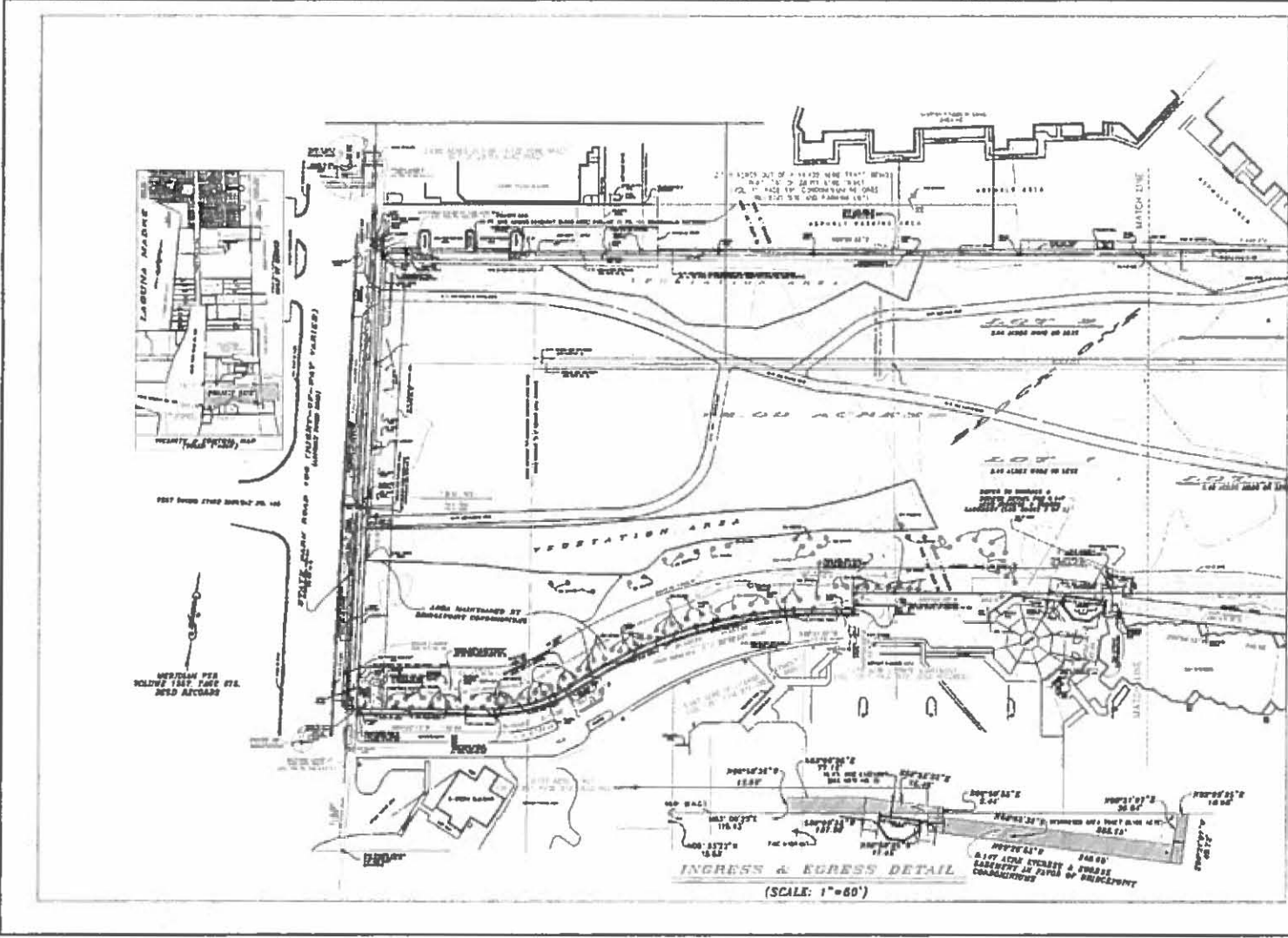
EXISTING ROAD DETAIL

PROPOSED DROP-OFF TURNAROUND DETAIL



Proposed Drop-Off Road

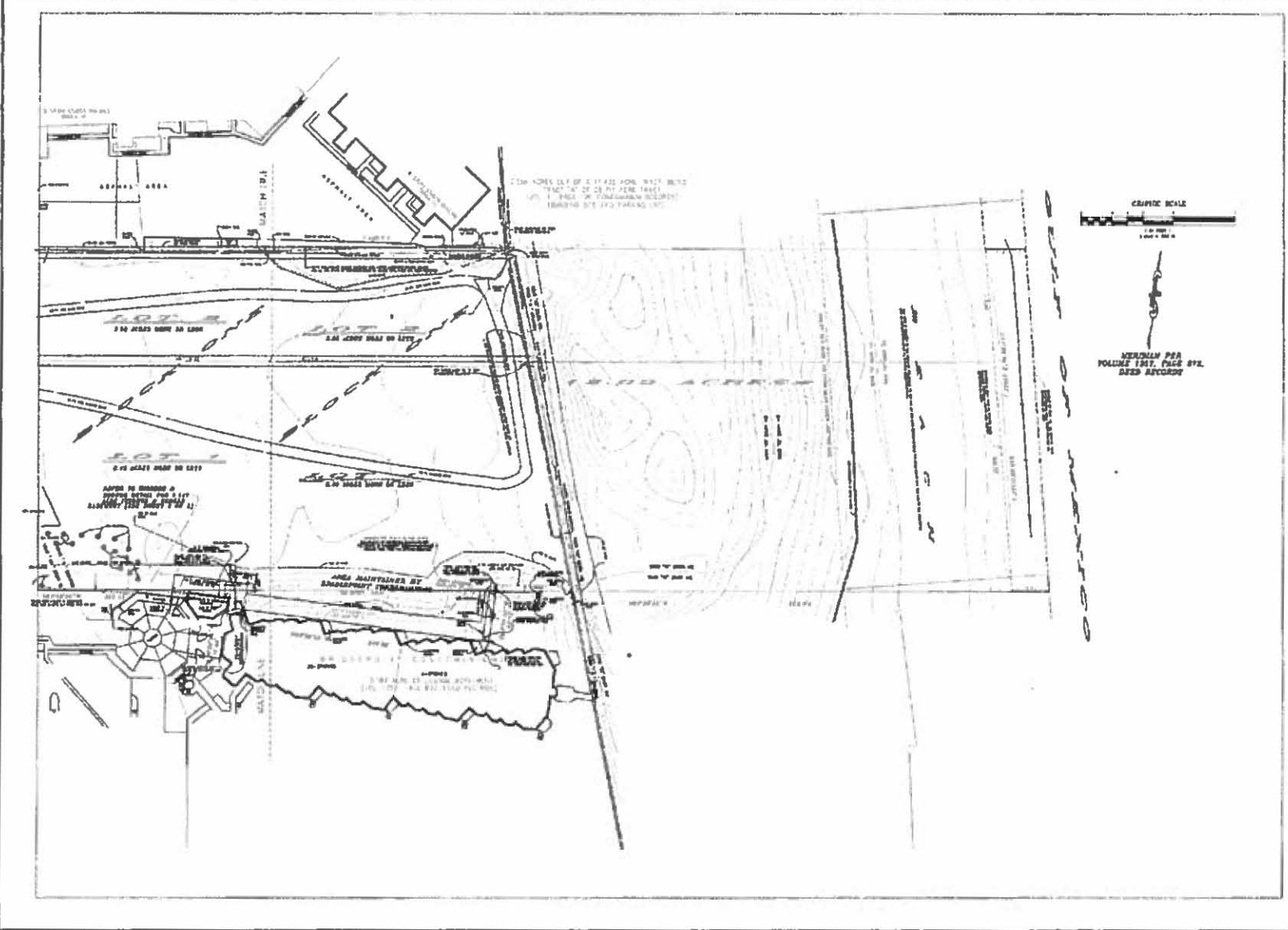
SHEET NO.	GA4	SHEET NUMBER	PROJECT	PENINSULA ISLAND RESORT AND SPA HOTEL TOWER BUILDING D SOUTH PADRE ISLAND, TEXAS	SHEET TITLE

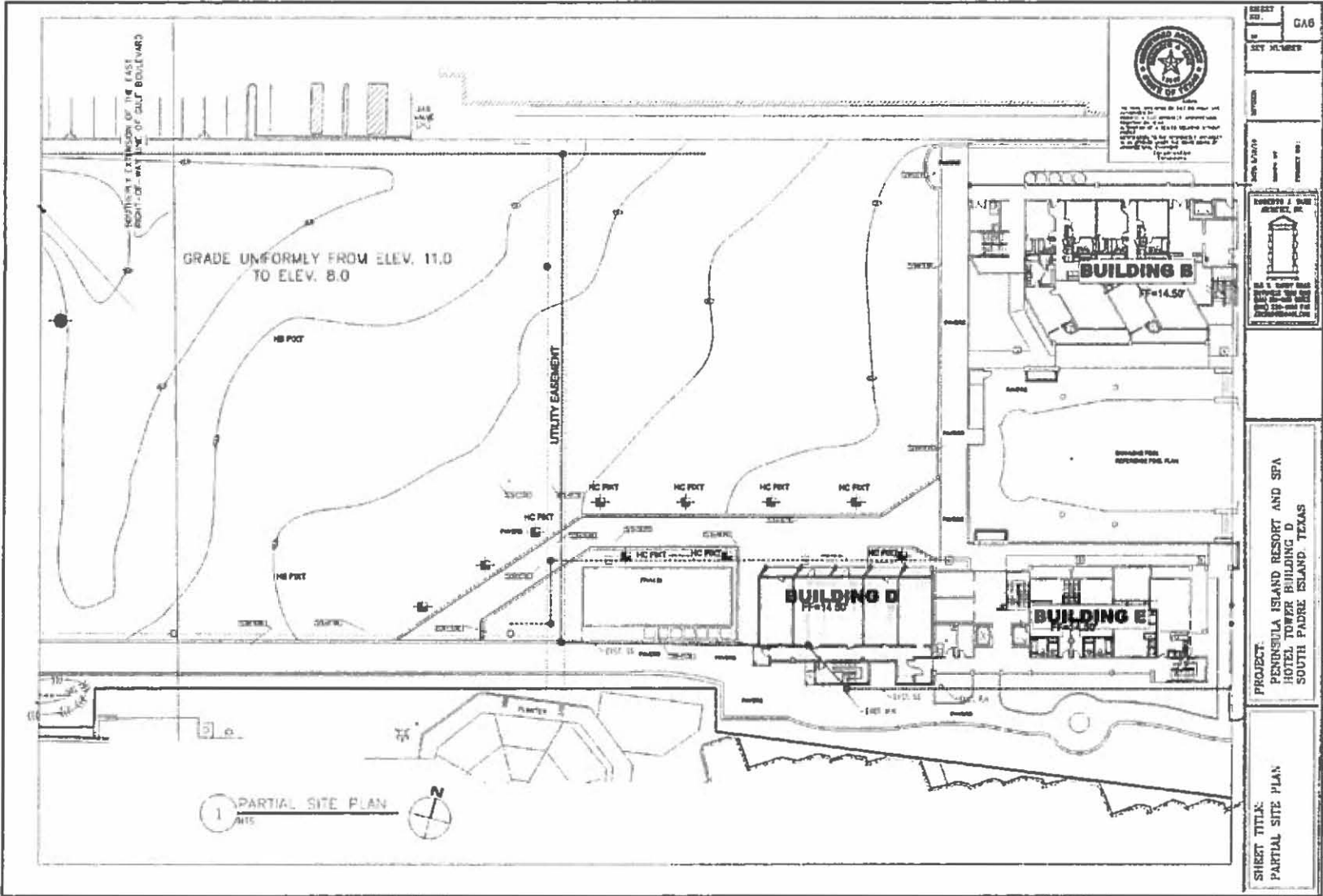


ELEVATIONS

As Shown This Plan of Survey Shows Property Lines, Easements, and Other Features, All of Which are Assumed to be Correct as Shown Herein. It is the Responsibility of the Applicant to Verify the Accuracy of All Data and to Obtain All Necessary Permits and Approvals. The Survey is Not to be Used for Any Purpose Other Than That Intended.

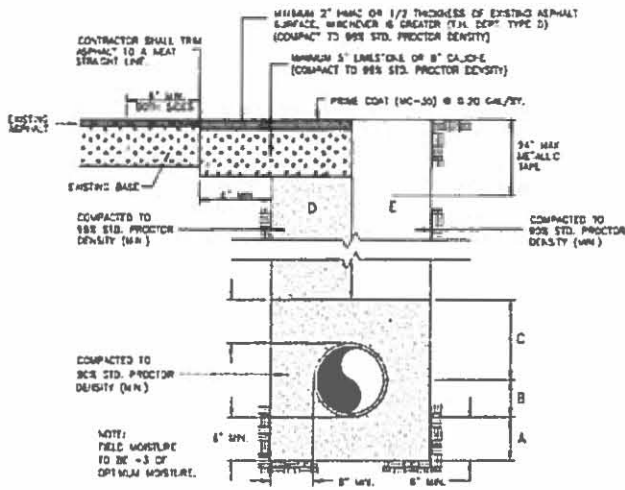
SHEET NO. 1	PROJECT NO. GAS
	SET NUMBER
DATE: 07/11/11 DRAWN BY: [Signature] CHECKED BY: [Signature]	
 ROBERTO F. RICE ASSOCIATES, INC. 2116 TRISTAN ROAD HOUSTON, TEXAS 77056 (713) 865-1111 WWW.RFRA.COM	
PROJECT: PENINSULA ISLAND RESORT AND SPA HOTEL TOWER BUILDING D SOUTH PADRE ISLAND, TEXAS	
SHEET TITLE: ORIGINAL SURVEY	





PROJECT NO.	GAB
SHEET NUMBER	
DATE	
DESIGNED BY	
CHECKED BY	
APPROVED BY	
PROJECT TITLE:	PENINSULA ISLAND RESORT AND SPA HOTEL TOWER BUILDING D SOUTH PADRE ISLAND, TEXAS
SHEET TITLE:	PARTIAL SITE PLAN

SITE CONDITIONS



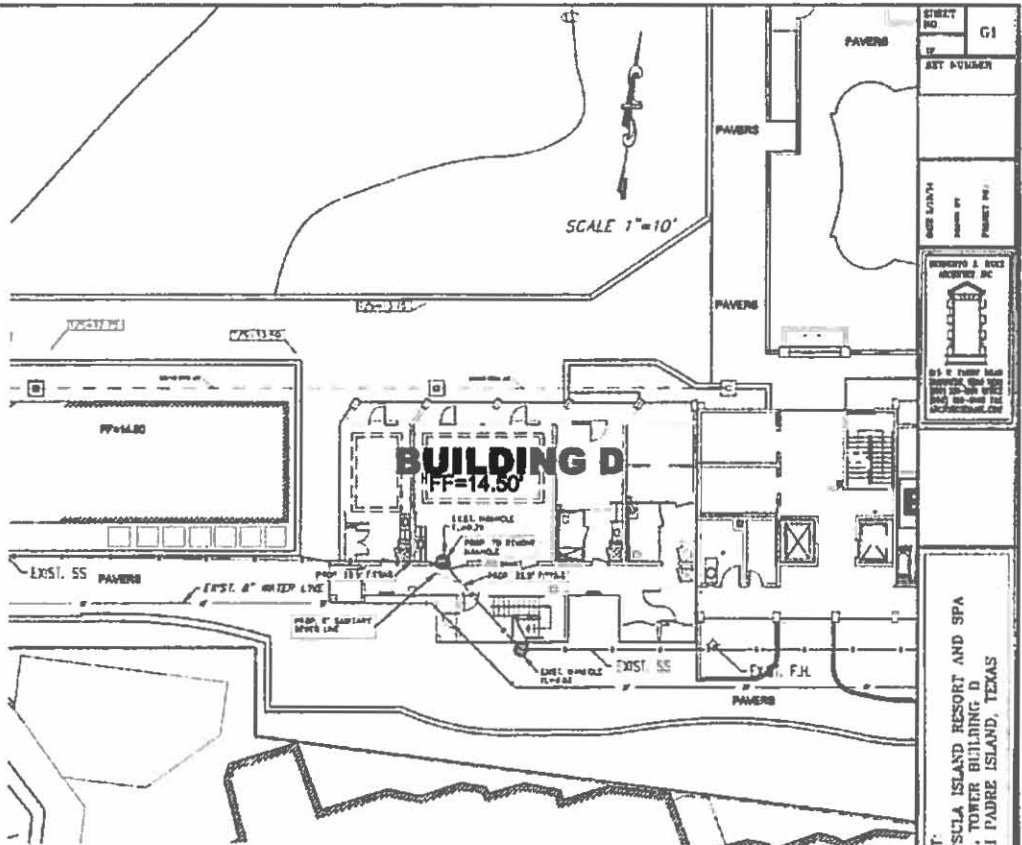
TYPICAL PIPE BEDDING AND TRENCH BACKFILL DETAIL

NOT TO SCALE

- A SAND BEDDING PLACED BELOW PIPE IS LAD UP TO FLOW LINE OF PIPE (MIN. THICKNESS = 8").
- B SAND BACKFILL PLACED AFTER PIPE IS LAD FROM BOTTOM OF PIPE TO SPRING LINE OF PIPE (4' LFTS. HAND TAMPED).
- C SAND BACKFILL PLACED FROM SPRING LINE OF PIPE TO 4' ABOVE TOP OF PIPE (8' LFTS. HAND TAMPED).
- D SAND BACKFILL CLASS "A" (6" LFTS. MECHANICAL COMPACTION).
- E EARTH BACKFILL CLASS "B" (12" LFTS. MECHANICAL COMPACTION).

FOUNDATION PREPARATION (WELLPPOINTS, CANCEL OR CEMENT STABILIZATION, OR APPROVED SUBSTITUTE) SHALL BE REQUIRED WHEN TRENCH BOTTOM IS UNSTABLE.

BACKFILL AS STRUCTURES SHALL BE PLACED IN UNIFORM LAYERS, MOISTENED AS REQUIRED TO APPROXIMATE OPTIMAL MOISTURE CONTENT, AND COMPACTED TO 95% STD. PROCTOR DENSITY. THE THICKNESS OF EACH LAYERS SHALL NOT EXCEED 6". STRUCTURE BACKFILL MATERIAL SHALL BE SAND, APPROVED SITE SOIL, OR OTHER APPROVED.



NOTE:
THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CORRECTING THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES (ELECTRIC, TELEPHONE, CABLE, GAS, WATER, SANITARY SEWER, ETC.)
2. CONTRACTOR SHALL COORDINATE WITH FOUNDATION CONSOLIDATION TO AVOID CONFLICT AND DAMAGE TO EXISTING UTILITIES.

THE SEWER SYSTEM IS THE PROPERTY OF THE CITY OF HOUSTON AND IS SUBJECT TO THE HOUSTON SANITATION CODE AND THE HOUSTON SANITATION DEPARTMENT REGULATIONS.



Majta & Rose, Incorporated
Engineering Surveying
T.S.P.E. Reg. No. 7-1870
T.S.P.L.S. Reg. No. 10023800
1843 West Price Road (956) 844-3022
P.O. Box 3767 Bryanville, Texas 77820
Fax (954) 844-3028

STREET NO.	G1
EST. NUMBER	
DATE PLANNED	
DESIGNED BY	
DRAWN BY	
PROJECT NO.	
APPROVED BY	
PROJECT: PENINSULA ISLAND RESORT AND SPA HOTEL TOWER BUILDING D SOUTH LAURE ISLAND, TEXAS	
SHEET TITLE: SEWER RELOCATION	

SITE PICTURES







**PROPOSED DROP-OFF
TURNAROUND**



WALKING DISTANCE



EXISTING



PROPOSED IMPERVIOUS SURFACE

**SHORELINE TASK FORCE
AGENDA REQUEST FORM**

MEETING DATE: March 6, 2017

ITEM: 9

TO: Shoreline Task Force

FROM: Brandon Hill, Shoreline Management Director

ITEM DESCRIPTION:

Discussion and possible action on 2100 Gulf Blvd beach and dune application.

DISCUSSION:

See attachment.



Beach & Dune Application

City of South Padre Island
 4601 Padre Blvd.
 South Padre Island, TX 78597
 Phone: (956) 761-3044
 Fax: (956) 761-3898

Site for Proposed Work

Legal Description: LOTS 1,2,3 & 4 BLK. 19, PADRE BEACH, SECTION II, SPI. Physical Address: 200 Gulf Boulevard

Property Owner Information

Name: Padre Grand Inc. Christina Achleitner Director
 Mailing Address: 200 Gulf Boulevard
 City: South Padre Island State: Texas
 Zip: _____ Country: United States
 Phone Number: 956 7924567
 Fax Number: _____
 E-Mail Address: cachleitner24@gmail.com

Applicant / Agent for Owner

Name: Alfredo G. Hernandez
 Mailing Address: 6305 Paredes Ln Road
 City: Brownsville State: Texas
 Zip: 78521 Country: United States
 Phone Number: 956 5748300
 Fax Number: 956.5748305
 E-Mail Address: fred@aghconsultants.com

I / We, owners of the above-mentioned property, authorize the applicant stated above, to act in my behalf in order to acquire a Beach and Dune permit for the construction proposed below. (owner initials here CA)

Owner(s) Signature(s): Christina Achleitner
 Date: Jan 23, 2017

Applicant Signature: [Signature]
 Date: Jan 23, 2017

Project Description

Describe with as much as detail as possible, the construction proposed. If more room is needed, please include an additional page. Include the number of habitable units, amenities, swimming pools, fences, kinds of fences, whether footings and/or retaining walls will be installed, and locations of proposed landscaping and parking.

Raised 20'x20' concrete gym on concrete pilings, area below concrete floor is going to remain open, existing ground elevation (pavers) 11.0 ft, approximate elevation of the lowest horizontal member 19.0 ft. Gym to be constructed at South East side of the property, this area is located on Flood Zone "X" and Flood Zone "VE" (Elev. 14).

Wooden stairs at West side of the Gym.

Total Square Footage of Footprint of Habitable Structure: 392 sf

Total Area of Impervious Surface (i.e. retaining walls, walkways, drives, patios, etc.): 10 sf

Percentage Impervious Surface [(impervious surface / habitable footprint) * 100]: 2.5%

Please Note: the percentage of impervious surface cannot exceed 5% in an eroding area.

Approximate Duration of Construction: 4 months

Financial Plan for the Removal of All Hard Structures

All properties which are allowed to build retaining walls on their property are allowed to do so with the condition that a financial plan for the removal of the retaining wall is submitted to the Public Works Department of the City of South Padre Island. Removal of the retaining wall at the owner's expense may be required if/once the retaining wall comes into regular contact with wave action for twenty (20) out of thirty (30) consecutive days. The City accepts the submission of a Retaining Wall Covenant, or other financial guarantee, insuring the removal of the retaining wall if the required conditions are met.

Type of Plan Submitted: _____ Date Submitted: _____

Drainage

Describe the impact that the proposed construction will have on the natural drainage pattern on the site and adjacent lots.

- No change in the drainage on site.
- The proposed construction will change the grading and the drainage on the subject property. (An explanation will be required detailing where the water will drain.)

Explanation / Other Information: _____

Impacts to Beach / Dune System

Answer each question as completely as possible in narrative form.

1. What damage will this proposed construction have on the dune vegetation located at the project site?

- No damage to dune vegetation whatsoever.
- The proposed construction will impact _____% of the dune vegetation site. (An explanation of the "impact" will be required.)
- The proposed construction will require the removal and relocation of _____% of the dune vegetation on site. (The submission of a mitigation plan will be required.)

Explanation / Other Information: _____

2. How will the proposed construction alter the dune size/shape at the project site?

- No change to dune size/shape whatsoever.
- The proposed construction will change _____% of the size/shape of dunes on site. (Details will be required.)
- The proposed construction will require the removal and relocation of _____% of the dunes on site. (The submission of a mitigation plan will be required.)

Explanation / Other Information: _____

3. How will the proposed construction change the hydrology of the dunes at the project site?

- No change to dune hydrology whatsoever.
- The proposed construction will impact dune hydrology on site. (Details will be required.)

Explanation / Other Information: _____

4. Describe alternatives to the proposed construction or method of construction which will cause fewer or no adverse effects on dunes and dune vegetation.

N/A

5. Describe alternatives to the proposed construction or method of construction which will cause fewer or no adverse impairment to beach access.

N/A

Mitigation Plan

Describe the methods which you will use to avoid, minimize, mitigate and/or compensate for any adverse effects on dunes or dune vegetation.

Explanation / Other Information: Construction to be on existing area with pavers and raised 8 ft over natural ground, bottom area to remain open.

Financial Plan for Dune Mitigation:

If required by the City Council, a financial guarantee (irrevocable letter of credit or a performance bond, etc.) may be necessary to insure the mitigation of dunes/dune vegetation takes place as proposed and required of the applicant.

Type of Plan Submitted: _____ Date of Submission: _____

Checklist of Additional Required Application Information

An accurate map, plat or site plan showing:

- 1. Legal description of the property (lot, block, subdivision) and the immediately adjoining property.
- 2. Location of all existing structures - including the habitable and inhabitable structures, swimming pools, decks, fences, parking areas, landscape areas, etc.
- 3. Location of the Historical Building Line on the subject property and the extension of the line on the properties immediately adjoining the subject property to the north and to the south.
- 4. Location and elevation of existing retaining walls - both on the subject property and those properties immediately adjoining the subject property to the north and to the south.
- 5. Location of proposed structure(s) - if proposing the construction of a retaining wall, please also include the proposed elevation of the retaining wall.
- 6. Location of proposed driveways, parking areas (showing the # of proposed parking spaces) and landscape areas.
- 7. Location of all existing and proposed beach access paths and/or dune walkovers.
- 8. Location and extent of any man-made vegetated mounds, restored dunes, fill activities, or any other pre-existing human modifications on the tract.
- 9. Topographical survey of the site identifying all elevations, existing contours of the project area (including dunes and scales) and the proposed contours of the final grade.

Other required application information:

- 1. A grading and layout plan showing proposed contours for the final grade.
- 2. The floor plan(s) and elevation(s) of the structure proposed to be constructed or expanded.
- 3. Photographs of the site which clearly show the current location of the vegetation line & existing dunes on the tract within the last 6 months.
- 4. Copy of the Flood Rate Map showing the location of the subject property (FEMA.GOV - Map Search)
- 5. Copy of the Historical Erosion Rate Map as determined by the University of Texas at Austin, Bureau of Economic Geology (beg.utexas.edu)
- 6. Application Fee of \$180 for Staff Approved applications and \$300 for City Council Approved applications.

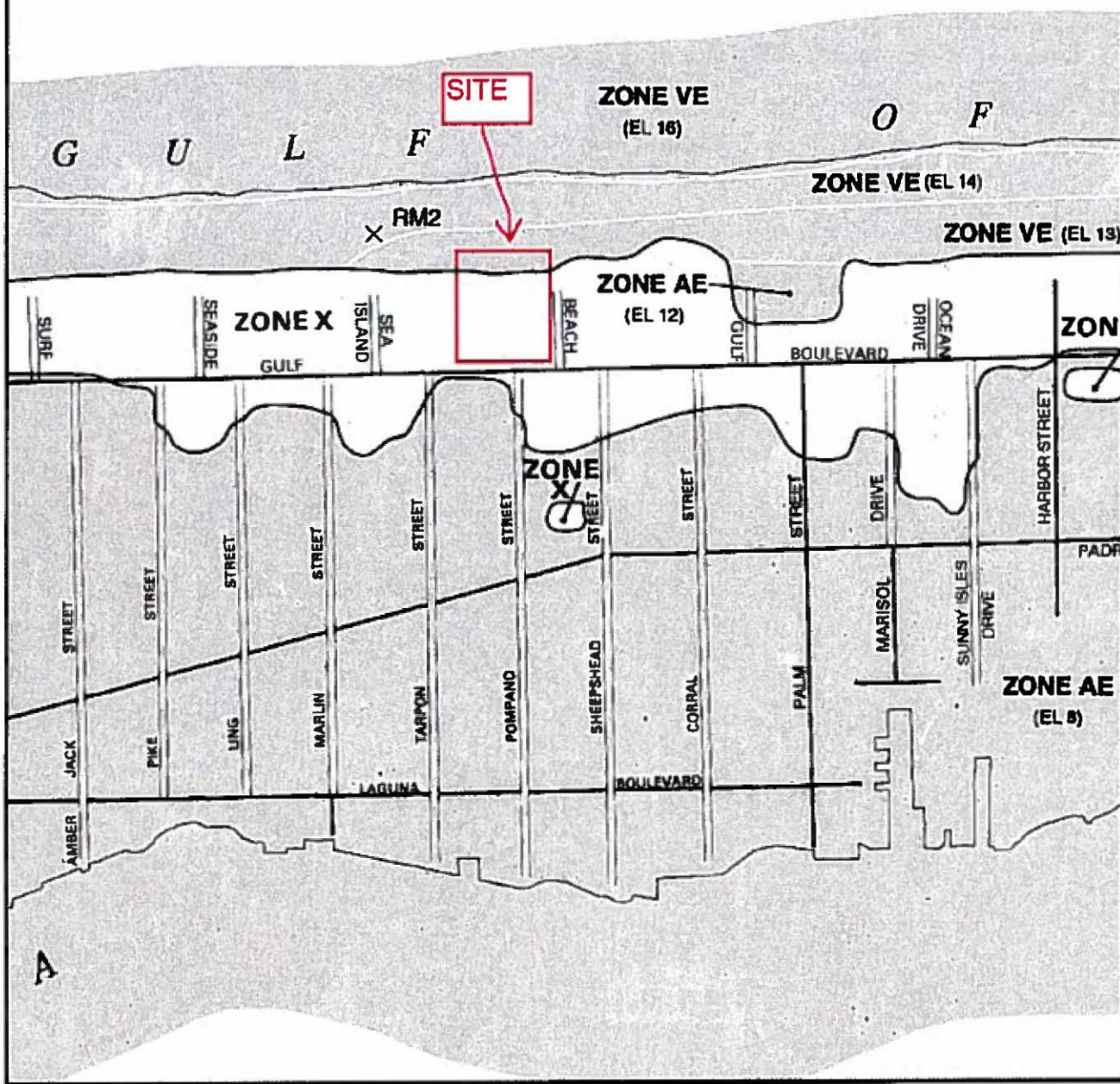
Your application is not complete unless all information requested above is submitted.

Application submissions require only three (3) copies of the complete information plus a digital copy.

COASTAL BASE FLOOD ELEVATION
APPLY ONLY LANDWARD OF 0.0 NGV



APPROXIMATE SCALE
500 0 500 FEET



NATIONAL FLOOD INSURANCE PROGRAM

FIRM

FLOOD INSURANCE RATE MAP

TOWN OF
**SOUTH PADRE ISLAND,
TEXAS**
CAMERON COUNTY
ONLY PANEL PRINTED

NOTE:
THIS MAP INCORPORATES APPROXIMATE BOUNDARIES OF
COASTAL BARRIER RESOURCES SYSTEM STRIPS AND OR
OTHERWISE PROTECTED AREAS ESTABLISHED UNDER THE
COASTAL BARRIER REPAIRMENT ACT OF 1990 (P.L. 101-509)

COMMUNITY-PANEL NUMBER
480115 0001 D

MAP REVISED:
MARCH 9, 1999



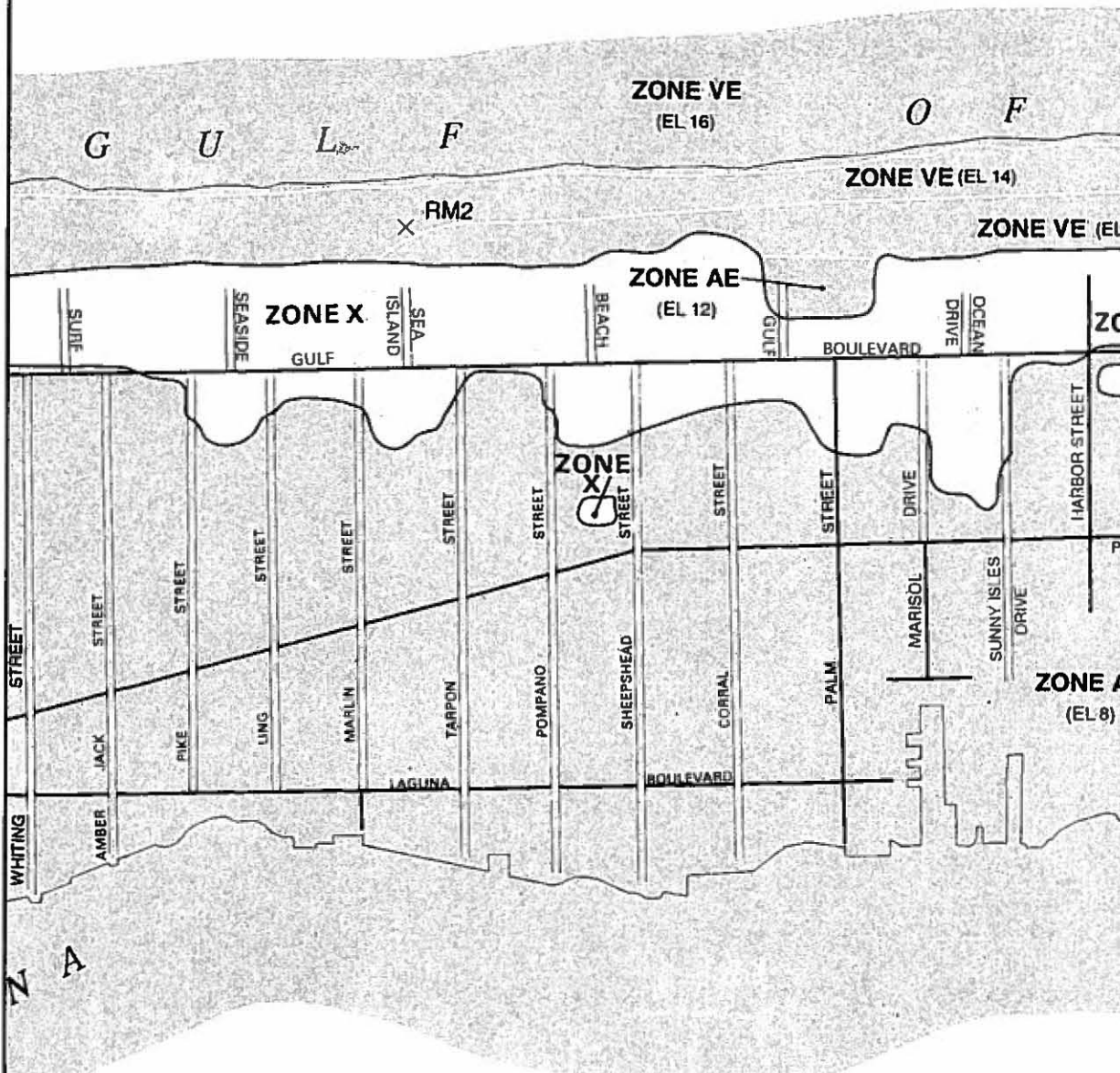
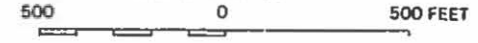
Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT On-Line. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For the latest product information about National Flood Insurance Program flood maps check the FEMA Flood Map Store at www.msc.fema.gov

COASTAL BASE FLOOD ELEVATIONS
APPLY ONLY LANDWARD OF 0.0 M



APPROXIMATE SCALE



LEGEND



SPECIAL FLOOD HAZARD AREAS INUNDATED BY 100-YEAR FLOOD

- ZONE A** No base flood elevations determined.
- ZONE AE** Base flood elevations determined.
- ZONE AH** Flood depths of 1 to 3 feet (usually areas of ponding); base flood elevations determined.
- ZONE AO** Flood depths of 1 to 3 feet (usually sheet flow on sloping terrain); average depths determined. For areas of alluvial fan flooding; velocities also determined.
- ZONE A99** To be protected from 100-year flood by federal flood protection system under construction; no base flood elevations determined.
- ZONE V** Coastal flood with velocity hazard (wave action); no base flood elevations determined.
- ZONE VE** Coastal flood with velocity hazard (wave action); base flood elevations determined.



FLOODWAY AREAS IN ZONE AE



OTHER FLOOD AREAS

ZONE X Areas of 500-year flood; areas of 100-year flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 100-year flood.



OTHER AREAS

ZONE X Areas determined to be outside 500-year floodplain.
ZONE D Areas in which flood hazards are undetermined.

UNDEVELOPED COASTAL BARRIERS



Identified 1983



Identified 1990



Otherwise Protected Areas

Coastal barrier areas are normally located within or adjacent to special flood hazard areas.

- Floodplain Boundary
- Floodway Boundary
- Zone D Boundary



Boundary Dividing Special Flood Hazard Zones, and Boundary Dividing Areas of Different Coastal Base Flood Elevations Within Special Flood Hazard Zones.

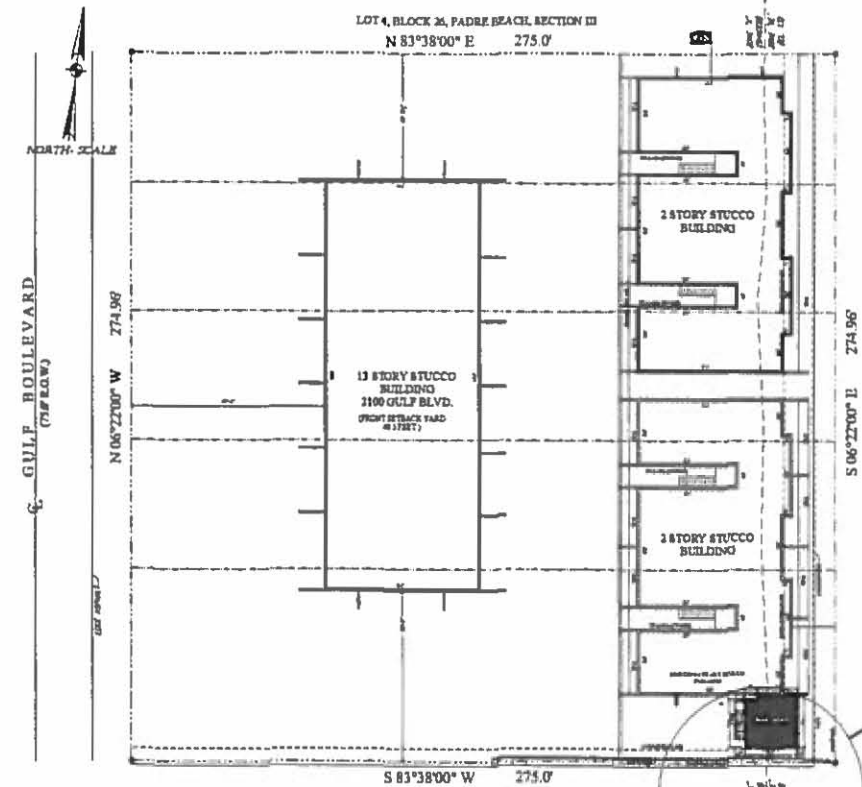


513 Base Flood Elevation Line, Elevation in Feet*

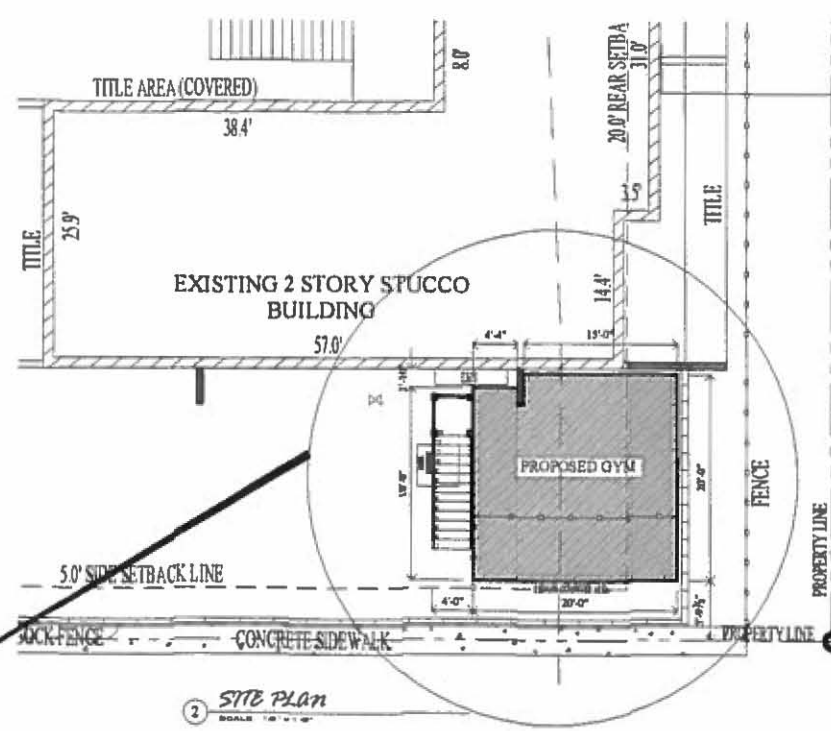


(EL. 987) Cross Section Line
Base Flood Elevation in Feet Where Uniform Within Zone*

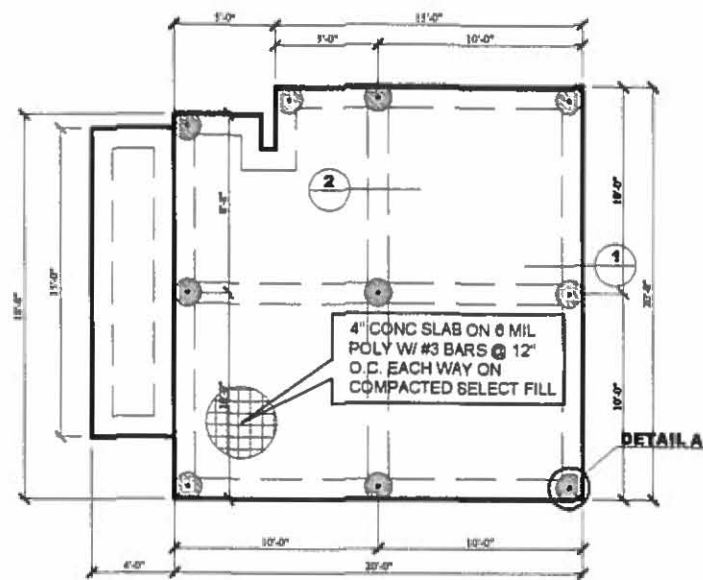
This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT On-Line. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For the latest product information about National Flood Insurance Program flood maps check the FEMA Flood Map Store at www.msc.fema.gov



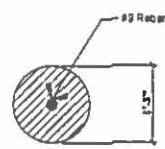
1 SITE PLAN
SCALE: 1/8" = 1'-0"



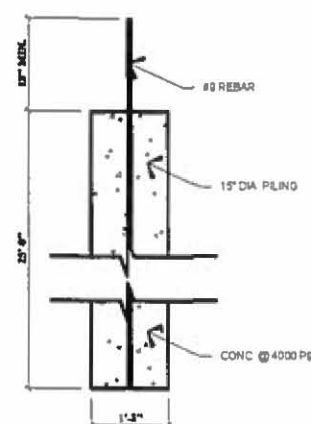
2 SITE PLAN
SCALE: 1/8" = 1'-0"



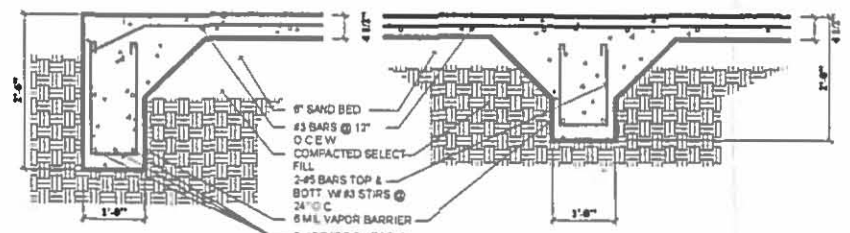
1 FOUNDATION PLAN
SCALE: 3/4" = 1'-0"



PLAN VIEW



A PILING DETAIL
SCALE: 3/4" = 1'-0"



1. EXTERIOR BEAM
SCALE: 3/4" = 1'-0"

2. INTERIOR BEAM
SCALE: 3/4" = 1'-0"

INDEX OF DRAWINGS	
DWG. NO.	DESCRIPTION
PG-01	SITE PLAN & FOUNDATION PLAN
PG-02	FLOOR PLAN & ELEVATIONS

- GENERAL NOTES:**
- CONCRETE SHALL DEVELOP AT 3,000 PSI COMPRESSIVE STRENGTH AT 28 DAYS MINIMUM COMPRESSIVE STRENGTH.
 - CONCRETE SHALL HAVE A MAXIMUM SLUMP OF 5".
 - REINFORCING SHALL BE INTERMEDIATE GRADE DEFORMED BARS CONFORMING TO SPECIFICATION ASTM A615-60.
 - FILL MATERIAL SHALL BE COMPRISED OF NON-SWELLING HOMOGENEOUS EARTH WHICH SHALL HAVE A MAXIMUM PI OF 12. SUCH MATERIAL SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY AT OPTIMUM MOISTURE. FILL MATERIAL SHALL BE COMPRISED OF 6" MAXIMUM LIFTS & SHALL BE 8" LOOSE.
 - CUT BEAM TRENCHES AFTER SITE HAS BEEN COMPACTED.
 - CUT PLUMBING TRENCHES BEFORE BEAM TRENCHES HAVE BEEN CUT.
 - PLUMBER TO SLEEVE ALL PIPES PASSING THRU PERIMETER AND INTERIOR BEAMS.
 - ALL PLUMBING SHALL BE BEDDED IN 8" OF CLEAN SAND JETTED IN PLACE.
 - AFTER PIPE PLACEMENT, FILL PLUMBING DITCHES WITH CLEAN SAND TO 8" ABOVE TOP OF PIPE. JETTED IN PLACE.
 - HAND COMPACT, SELECT FILL TO 95% PROCTOR TO BRING TRENCH FILL TO FINISHED LEVEL.
 - PROVIDE 1/2" MINIMUM CLEAR COVER ON BEAM STEEL AND 1/4" CLEAR COVER ON ALL SLAB STEEL. PROVIDE 1/2" BRICK LIFTERS OF OTHER SUITABLE SUPPORTS TO MAINTAIN STEEL BEAMS IN PLACE. PROVIDE A MINIMUM OF 3" PLASTIC SUPPORT CHAIRS @ REBAR SLAB MESH IN THE POSITIONS CALLED FOR ON PLANS & SPECIFICATIONS.
 - MOISTURE BARRIER WILL BE 6-MIL POLYETHYLENE LAPPED AND SEALED AT ALL JOINTS.
 - THE BUILDING AREA SHALL BE CLEARED & SCARRIED A MINIMUM OF 6" FOR THE REMOVAL OF ALL DEBRIS AND ORGANIC MATERIAL PRIOR TO FOUNDATION CONSTRUCTION.
 - PROVIDE MINIMUM OF 30" DIAMETER SPLICE FOR ALL BEAM AND SLAB STEEL. RUN STEEL FULL STOCK LENGTHS. HOOK ALL BEAM STEEL AT DISCONTINUOUS ENDS WITH A 90 DEG. HOOK 8" LONG (TOP BARS ONLY). STAGGER TOP & BOTTOM BEAM SPLICES.
 - FABRICATION OF STEEL SHALL BE IN ACCORDANCE WITH THE AISC STANDARD BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (AISC 318-71).
 - AT ALL BEAM INTERSECTIONS LET DEEPER DEPTH BEAM CARRY THROUGH.
 - ALL STRUCTURAL STEEL SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH THE LATEST ALSO SPECIFICATIONS FOR FABRICATION AND ERECTION OF STEEL FOR BUILDING.
 - ENGINEER MUST INSPECT SITE PREPARATION PRIOR TO ADDING FILL MATERIAL.
 - ENGINEER MUST INSPECT SOIL COMPACTION OF EACH LIFT, AND TESTING LAB SHALL VERIFY DENSITIES OF COMPACTED FILL.
 - ENGINEER MUST INSPECT PLACEMENT OF ALL STEEL AND VAPOR BARRIER PRIOR TO POUR.
 - ALL ROUGH-IN PLUMBING LINES SHALL BE ROUTED BELOW BEAM LINE IF POSSIBLE.
 - THE FILL MATERIAL AS WELL AS SUB-SOIL SHALL BE THOROUGHLY DAMPENED IMMEDIATELY PRIOR TO POURING CONCRETE TO THESE SPECIFICATIONS.

General Notes

PADRE GRAND GYM
2100 Gulf Blvd.
South Padre Island, Texas 78597

PERLA TORRES
DRAFTING & DESIGN
415 E. WASHINGTON, SUITE A
PORT ISABEL, TEXAS 78578
(956) 943-7884
PERLAT@LIVE.COM

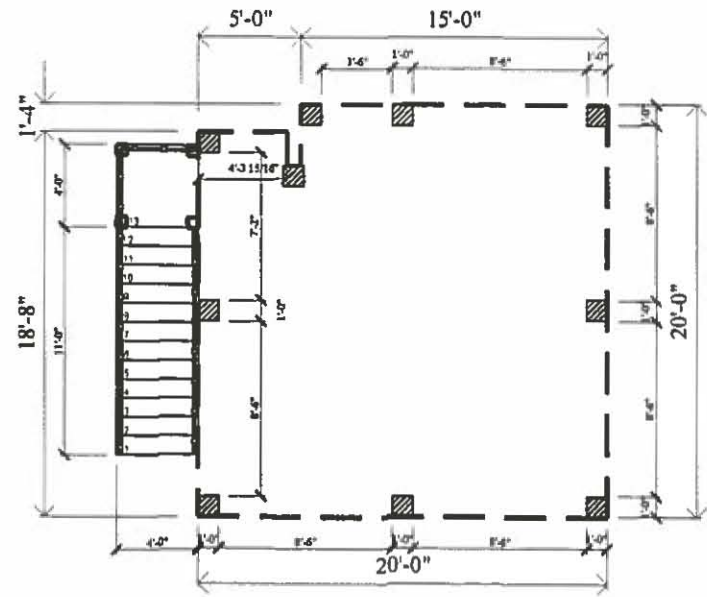
No.	Revision/Issue	Date

From: **Perla Torres & Affiliates**
Padre Grand Condominiums
Lots 1,2,3,4, Block 19,
Padre Beach Section II,
Town of South Padre Island
Cameron County, Texas

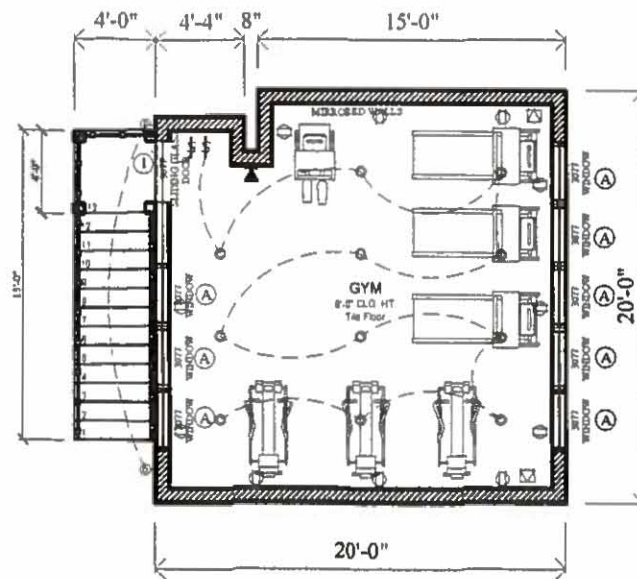
Sheet Title
SITE PLAN & FOUNDATION PLAN

Date: 1/20/14	PG-01
Drawn By: PT0882	

EVERY EFFORT HAS BEEN MADE TO AVOID MISTAKES DURING THE PREPARATION OF THESE DOCUMENTS. PERLA TORRES DRAFTING & DESIGN CANNOT GUARANTEE AGAINST HUMAN ERROR WHEN DRAFTING THESE PLANS. THE CONTRACTOR ASSIGNED TO DO THIS JOB MUST DOUBLE CHECK ALL DIMENSIONS AND DETAILS AS REQUIRED PER BUILDING CODES.



1 FLOOR PLAN - Bottom Floor
SCALE: 1/4" = 1'-0"



2 FLOOR PLAN - 2nd Floor
SCALE: 1/4" = 1'-0"

2nd FLOOR: SF TOTALS:	
2ND FLOOR:	192.00
STAIRS:	60.00
TOTAL:	452.00

DOOR SCHEDULE (2nd Floor)		
TYPE	SIZE (WxH)	QTY
①	3'-0" x 7'-7" SLIDING GLASS DOOR	1
WINDOW SCHEDULE (Low-E, High Impact)		
TYPE	SIZE (WxH)	QTY
Ⓐ	3'-0" x 7'-7" Picture Window	8
NOTES: MATCH STYLE & SIZE OF WINDOWS & DOORS TO EXISTING BUILDING.		

DRYWALL LEGEND:

EXTERIOR WALLS - BLOCK WITH STUCCO

FLOOR PLAN NOTES:

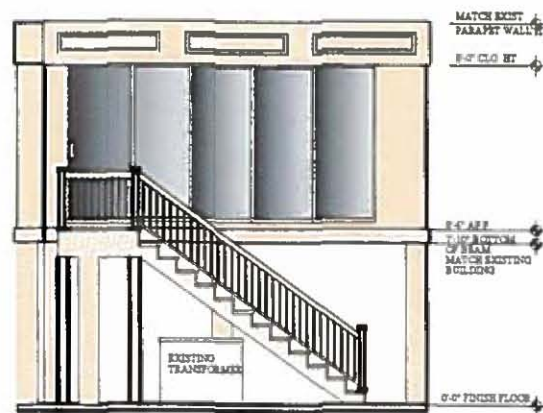
- ALL INTERIOR WALLS SHALL BE 2" X 4" @ 16" O.C. W/ 1/2" GYP. BOARD EACH SIDE TYPICAL.
- EXTERIOR WALLS SHALL BE STUCCO OVER BLOCK.
- ALL LOCAL CODES, ORDINANCES, FEDERAL AND STATE REGULATIONS SHALL BE CONSIDERED AS PART OF SPECIFICATIONS FOR THE PROPOSED CONSTRUCTION AND SHALL TAKE PREFERENCE OVER ANYTHING SHOWN, DESCRIBED OR IMPLIED WHERE VARIANCES OCCUR.
- CONTRACTOR TO VERIFY ALL DIMENSIONS IN BIDDING ON JOB SITE.
- CONTRACTOR SHALL CHECK ALL MEASUREMENTS AND MAKE REQUIRED ADJUSTMENTS FOR PROPER CONSTRUCTION.

LIGHTING & POWER LEGEND:

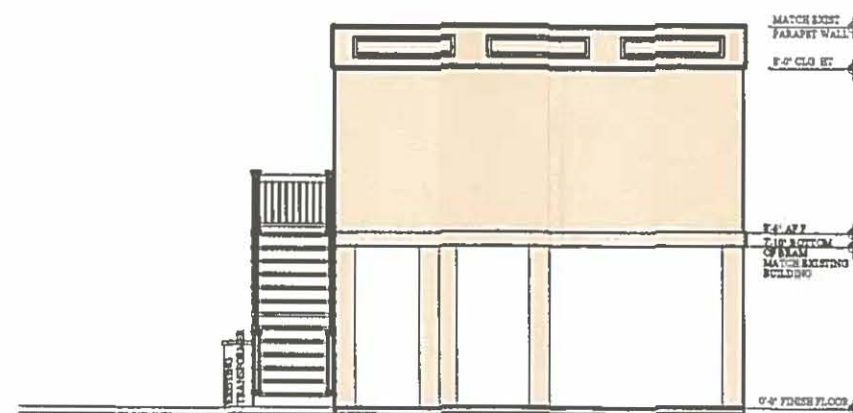
- RECESSED LIGHTING
- ⊙ WALL MOUNTED LIGHT FIXTURE
- Ⓜ TELEPHONE JACK @ 12" FROM FLOOR
- Ⓣ TELEVISION CONNECTION @ 12" FROM FLOOR

LIGHTING & POWER NOTES:

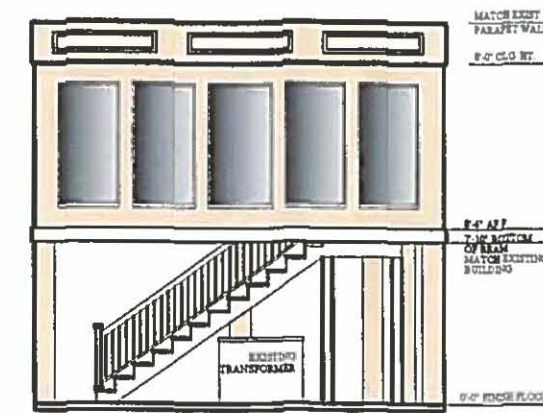
- SWITCH PLATES SHALL BE LOCATED AT 42" AFF. TO CENTER (TYPICAL).
- CONSULT WITH CLIENT FOR ADDITIONAL OUTLETS AND APPLIANCE LOCATIONS.



3 WEST ELEVATION
SCALE: 1/4" = 1'-0"



4 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



5 EAST ELEVATION
SCALE: 1/4" = 1'-0"

General Notes

PADRE GRAND GYM
2100 Gulf Blvd.
South Padre Island, Texas 78597



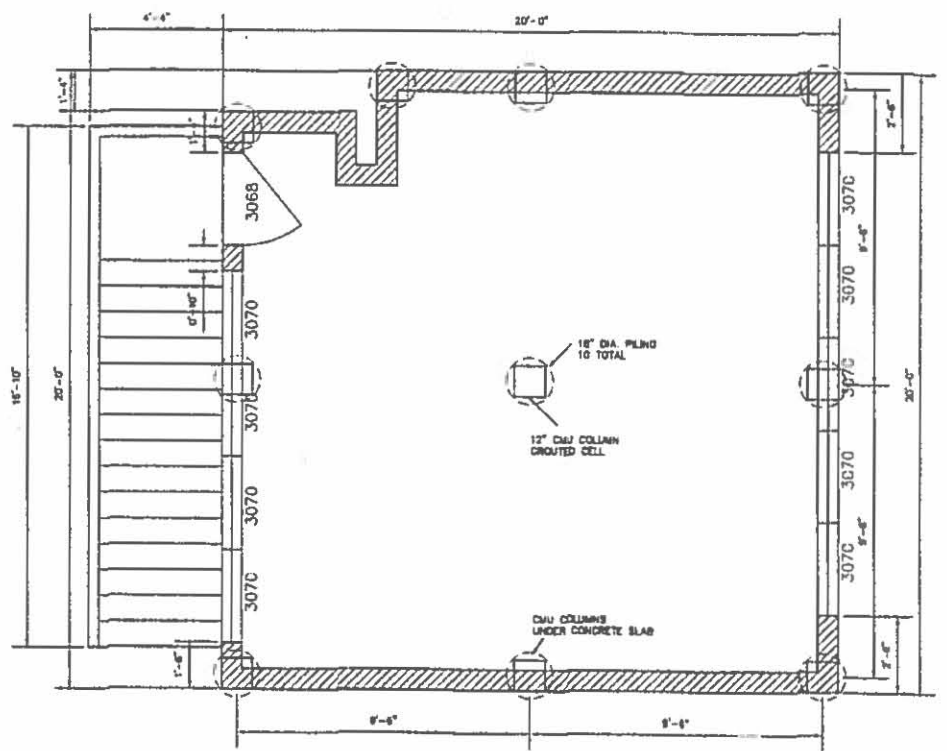
PERLA TORRES
DRAFTING & DESIGN
415 E. WASHINGTON, SUITE A
PORT ISABEL, TEXAS 78578
(956) 943-7664
PERLAT@LIVE.COM

Project name & address
Padre Grand Condominiums
Lots 1,2,3,4, Block 19,
Padre Beach Section II,
Town of South Padre Island
Cameron County, Texas

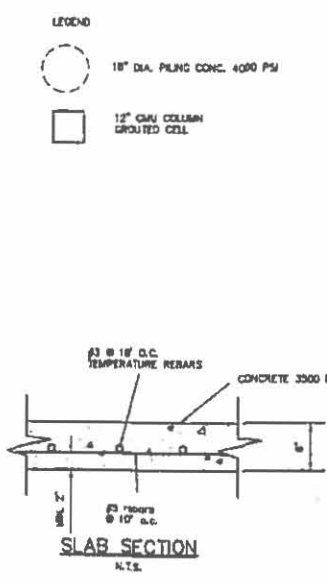
Sheet Title
FLOOR PLAN & ELEVATIONS

Scale: 1/4" = 1'-0"
Date: 1/2014
Drawn By: FTW
Sheet No: **PG-02**

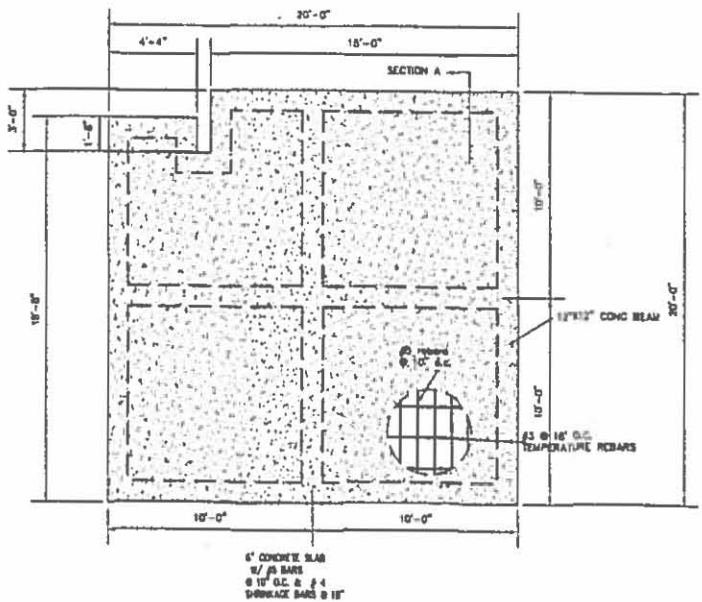
EVERY EFFORT HAS BEEN MADE TO AVOID MISTAKES DURING THE PREPARATION OF THESE DOCUMENTS. PERLA TORRES DRAFTING & DESIGN CANNOT GUARANTEE AGAINST HUMAN ERROR WHEN DRAFTING THESE PLANS. THE CONTRACTOR ASSIGNED TO DO THIS JOB MUST DOUBLE CHECK ALL DIMENSIONS AND DETAILS AS REQUIRED PER BUILDING CODES.



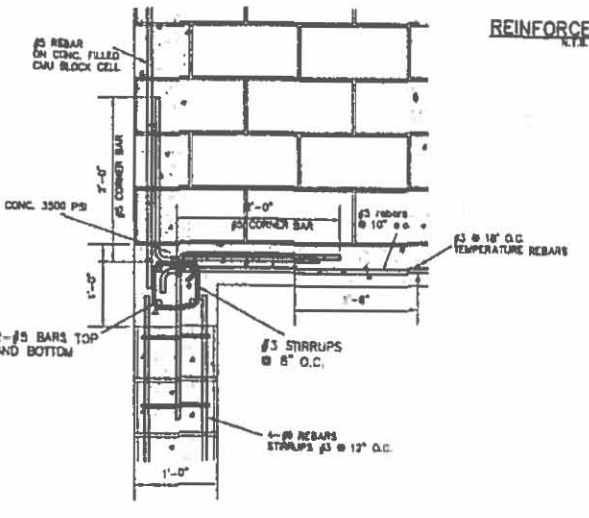
PLAN VIEW
SCALE: 3/16" = 1'-0"



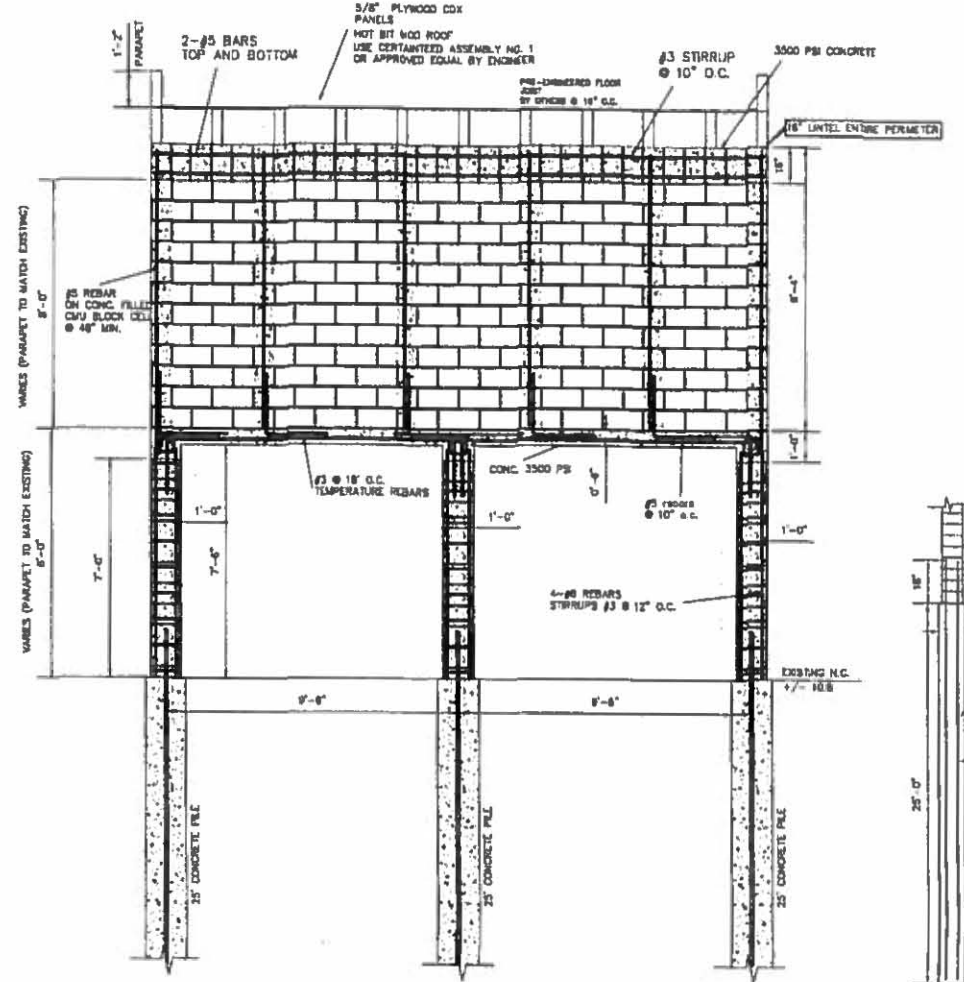
SLAB SECTION
N.T.S.



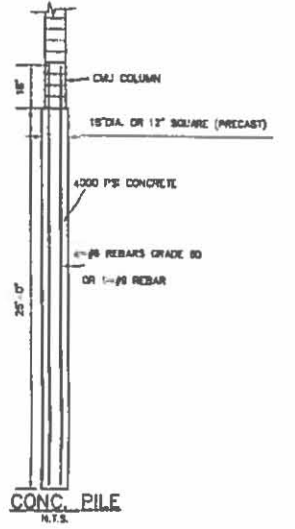
REINFORCED CONCRETE FLOOR
N.T.S.



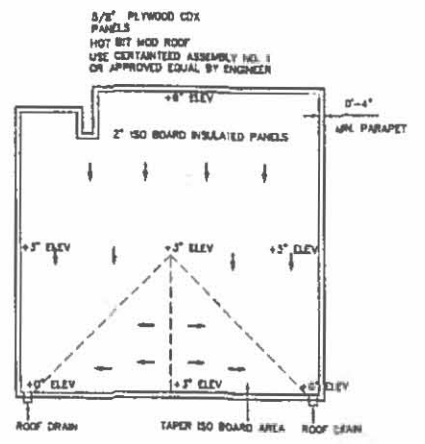
SECTION A DETAIL
N.T.S.



SECTION VIEW
SCALE: 3/16" = 1'-0"



CONC. PILE
N.T.S.



ROOF PLAN
SCALE: 3/16" = 1'-0"

From Table R301.2(2)
Project Name: 2100 GULF BLVD
Project # W2015-0109
Location and Wind speed: 140 MPH

Type	Zone	W (ft)	H (ft)	Exp. A (ft)	Req. Design Pressure (psf)	# of Units/Comment	Location	No. Schem.
DOOR	3	3	8	24.00	33.4	-43.4	Entry	1
WINDOW	4	3	7	21.00	33.8	-43.9	GYM	2

LEGEND

CMU WALLS:
INSTALL 1-#5 BAR IN GROUTED CELL.
@ EVERY 48" O.C.

WOOD CONSTRUCTION NOTES

1. ALL WOOD STRUCTURAL FRAMING SHALL BE DONE IN ACCORDANCE WITH THE WOOD FRAME CONSTRUCTION MANUAL (2001 EDITION) AND THE 2012 INTERNATIONAL RESIDENTIAL CODE.
2. ALL EXTERIOR AND INTERIOR SOLE PLATES SHALL BE PROTECTED AGAINST ROT.
3. ANCHOR BOLTS SHALL BE BALANCED 6" DIAMETER AT 4' O.C. WITH 2" x 2" x 1/2" THICK WANCHER. 6000 PSI ANCHOR BOLT WITHIN 6-INCHES OF CORNER OR CUR END OF SOLE PLATE.
4. RAFTER AND JOIST SHALL BE SIZED BY SAMPSON (N7)/ASIP (N1) OR AS APPROVED BY ENGINEER. ALL RAFTERS AT RIDGE BEAM SHALL BE SHIMMED ACROSS BOTH BATTERS WITH A SHIMMER (ALUMINUM) STRIP OR EQUIVALENT. IN ADDITION TO METAL CONNECTIONS, THE RAIL END OF BATTER TO TOP PLATE BY A MINIMUM OF 4 NO. NAILS AND PROVIDE 2x4 BLOCKER ALONG TOP PLATE BETWEEN EACH BATTER.
5. ROOF DECK SHALL BE MINIMUM 5/8" PLYWOOD OR G-1 SHEATH WITH EXTERIOR GRADE ATTACHED WITH 80 BALLY NAILS. SHALL BE NAILED AT 4" FOUR INCH SPACING PERIODICALLY.
6. ROOF COVERING MUST HAVE PRODUCT EVALUATION ACCEPTABLE TO ITS FOR SEALING CLASSIFICATION AND MUST BE INSTALLED PER PRODUCT EVALUATION PROVISIONS. ALL ROOF COVERINGS MUST BE CAPABLE OF WITHSTANDING A 140 MPH WIND SPEED.
7. ALL EXTERIOR WINDOWS, DOORS AND EXTERIOR ENCLOSURES MUST BE APPROVED BY ENGINEER PRIOR TO INSTALLATION AND MUST BE INSTALLED PER PRODUCT EVALUATION PROVISIONS.

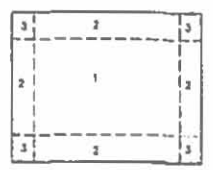
MASONRY CONSTRUCTION NOTES

1. ALL MASONRY CONSTRUCTION SHALL CONFORM TO BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES (ACI 530-10/ASCE 5-10/TMS-602-10). (ACI 530.1-10/ASCE 5-10/TMS-602-10)
2. ALL MASONRY UNITS SHALL CONFORM TO ASTM C-90 GRADE N, TYPE I, MASONRY P/M = 2000 PSI.
3. ALL BRICK SHALL CONFORM TO ASTM C-476, FINE OR COARSE BRICK. MASONRY COMPRESSIVE STRENGTH, 3000 PSI.
4. MORTAR FOR CMU SHALL CONFORM TO ASTM C-270, TYPE S.
5. REINFORCEMENT BARS SHALL CONFORM TO ASTM A-618 GRADE-60, DEFORMED.
6. ALL CORNERS OF MASONRY CONTAINING REINFORCEMENT BARS AND ALL BAYS SHALL BE FILLED SOLID WITH BRICK, FILLING SUCH CORNERS AND BAYS WITH MORTAR IS STRICTLY PROHIBITED. CARE SHALL BE EXERCISED IN KEEPING CORNERS FREE FROM MORTAR DROPPINGS.
7. VERTICAL BARS SHALL BE LOCATED AT THE CENTER OF WALL UNLESS NOTED OTHERWISE. SEE DETAILS FOR VERTICAL REINFORCEMENT. VERTICAL BARS SHALL HAVE WITHIN BAYED BAYS FOUNDATION.
8. HORIZONTAL REINFORCEMENT FOR CONCRETE MASONRY SHALL CONSIST OF BOND BEAMS SPACED 8'-0" ON CENTER AND AT EACH FLOORING LEVEL AND CONTAINING TWO #3 BARS CONTIGUOUS UNLESS NOTED OTHERWISE. HORIZONTAL REINFORCEMENT SHALL ALSO BE PLACED ABOVE AND BELOW OPENINGS AS SHOWN.
9. VERTICAL AND HORIZONTAL REINFORCEMENT SHALL BE SECURELY HELD IN PROPER ALIGNMENT AND POSITION DURING CONSTRUCTION BY USING NOT SHIPPED BALANCED REBAR POSTICERS.
10. GROUT SHALL BE PLACED USING LOW-JUST GROUTING PROCEDURES CONFORMING TO REBAR REQUIREMENTS. THE MASONRY SHALL NOT EXCEED 4'-0". STOP ALTERNATE GROUT POURING 1-1/2" BELOW TOP COURSE OF FORM. REINFORCEMENT SHALL BE PLACED A MINIMUM OF 48 BAY DIAMETER.
11. WHEN STEEL OR CONCRETE BEAMS, JOISTS, OR LINTELS ARE SUPPORTED BY CONCRETE MASONRY THE MASONRY SHALL BE FILLED SOLID WITH BRICK CONFINEMENT FOR TWO COURSES UNDER BEAM, JOIST, OR LINTEL. FILL AFTER STEEL HAS BEEN ERECTED AND PLANNED.
12. ALL BEAMS SUPPORTED ON MASONRY SHALL BEAR ON A BEARING PLATE 8 INCHES x 8" x (FLANGE PLATE 4") WITH (2) 1-1/2" DIAMETER ANCHOR BOLTS, UNLESS SHOWN OTHERWISE.
13. WHEN STEEL BEAMS RUN INSIDE MASONRY WALLS, THE BEAM SHALL BE INSTALLED FIRST, FOLLOWED BY MASONRY INSTALLATION FROM THE BOTTOM UP (THE WALL AT THE LOWER FLOOR INSTALLED BEFORE THE WALL ABOVE).

THIS AREA LIES ON "X" ZONE AND "E" ELEV. 13)
FLOOD ZONE
MINIMUM ELEVATION OF LOWEST HORIZONTAL MEMBER 13.0

DESIGN PRESSURES FOR COMPONENT AND CLADDING

Comp. & Cladding Pressure (psf)	Zone 1		Zone 2		Zone 3		Zone 4		Zone 5	
	Positive	Negative	Positive	Negative	Positive	Negative	Positive	Negative	Positive	Negative
	18.79	-48.20	18.79	-77.52	18.79	-118.87	42.28	-46.81	42.28	-56.38

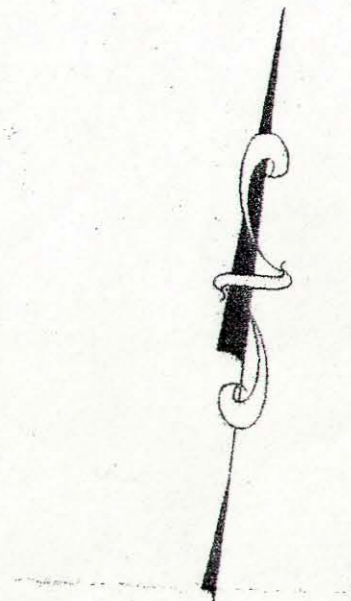
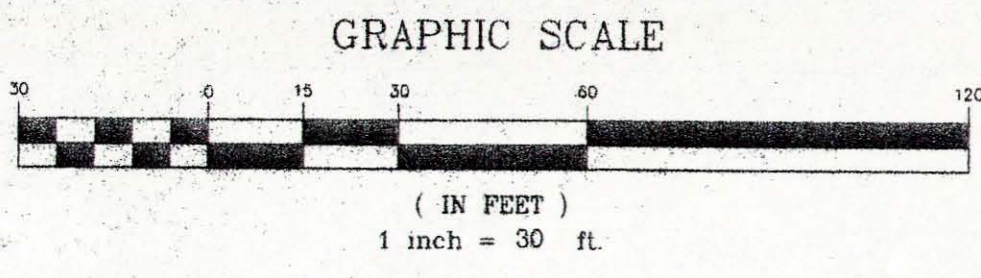


THESE PLANS HAVE BEEN PREPARED IN COMPLIANCE WITH THE 2012 INTERNATIONAL RESIDENTIAL CODE WITH THE TEXAS REVISIONS, FOR SEAWARD AREA, 130 MPH WIND SPEED EXPOSURE CATEGORY "C".

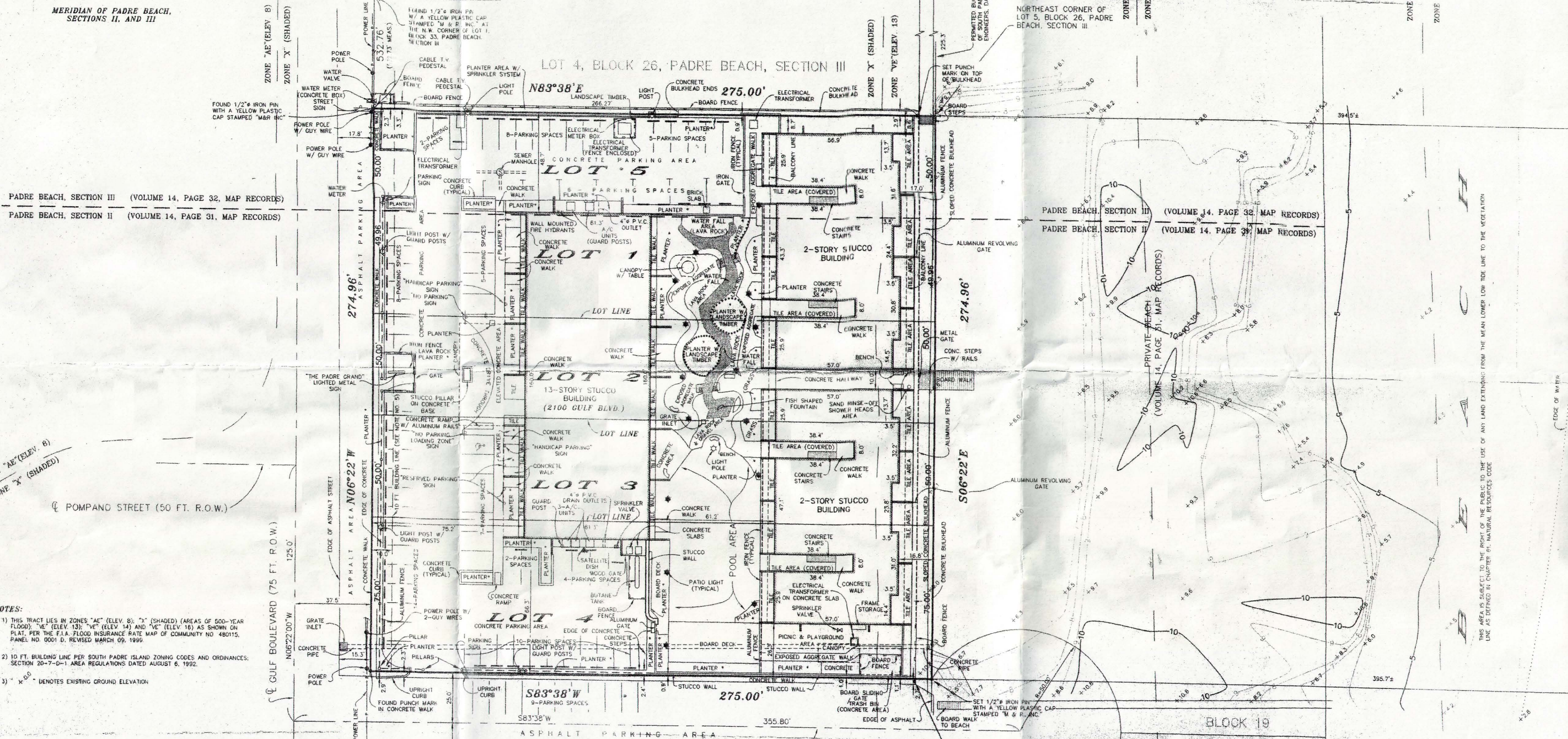
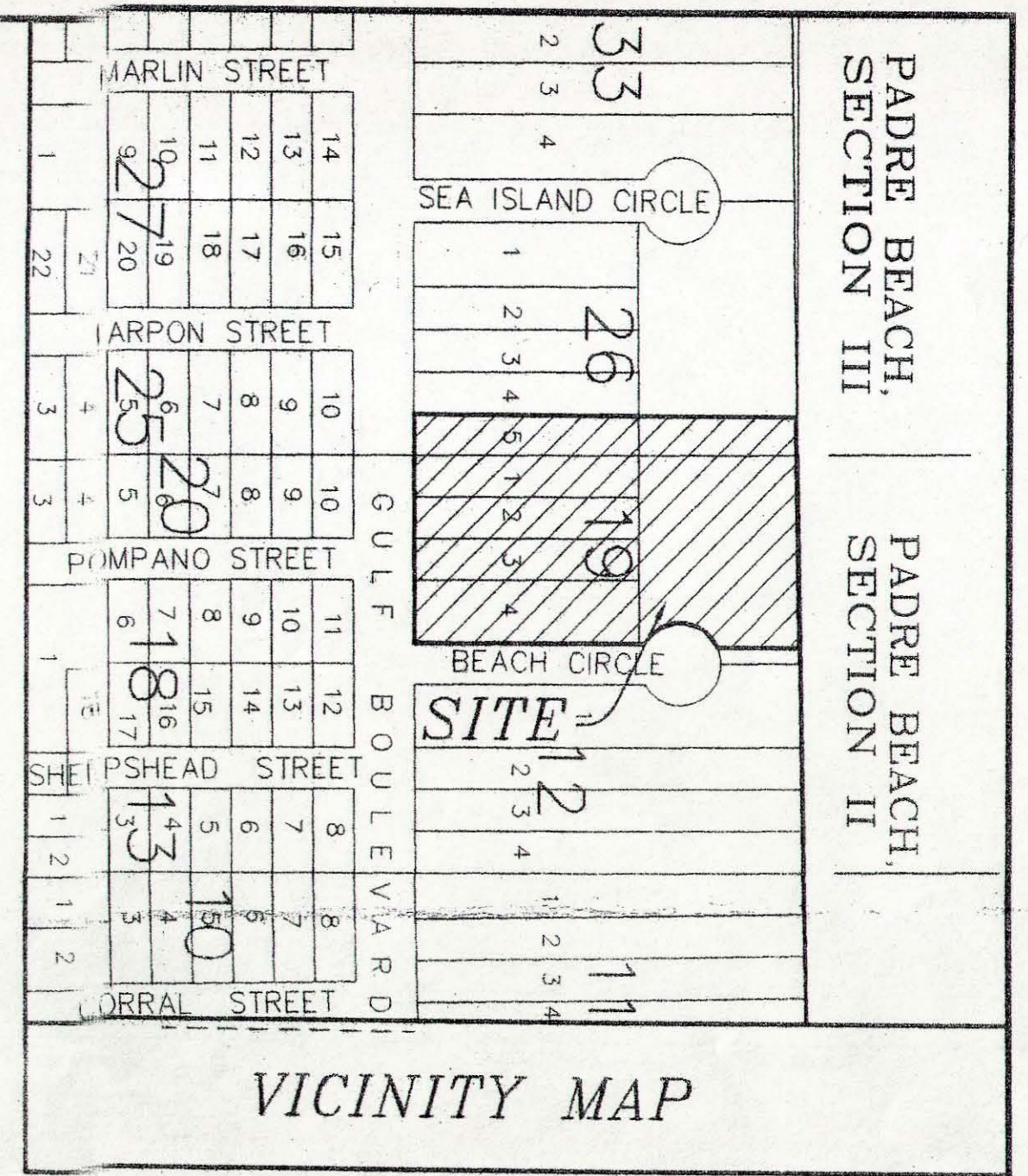


PADRE GRAND GYM
2100 GULF BOULEVARD
SOUTH PADRE ISLAND TX
STRUCTURAL PLAN.

AGH
ENGINEERING & SURVEYING
112117
11/21/17



MERIDIAN OF PADRE BEACH, SECTIONS II, AND III



PADRE BEACH, SECTION III (VOLUME 14, PAGE 32, MAP RECORDS)
 PADRE BEACH, SECTION II (VOLUME 14, PAGE 31, MAP RECORDS)

PADRE BEACH, SECTION III (VOLUME 14, PAGE 32, MAP RECORDS)
 PADRE BEACH, SECTION II (VOLUME 14, PAGE 31, MAP RECORDS)

- NOTES:
- 1) THIS TRACT LIES IN ZONES "AE" (ELEV. 8), "X" (SHADED) (AREAS OF 500-YEAR FLOOD), "VE" (ELEV. 13), "VE" (ELEV. 14) AND "VE" (ELEV. 16) AS SHOWN ON PLAT, PER THE F.I.A. FLOOD INSURANCE RATE MAP OF COMMUNITY NO. 480115, PANEL NO. 0001 D, REVISED MARCH 09, 1999.
 - 2) 10 FT. BUILDING LINE PER SOUTH PADRE ISLAND ZONING CODES AND ORDINANCES, SECTION 20-7-D-1 AREA REGULATIONS DATED AUGUST 6, 1992.
 - 3) "X" DENOTES EXISTING GROUND ELEVATION.

ASBUILT SURVEY OF
 THE LANDS IMMEDIATELY EAST OF
 LOTS 1, 2, 3 AND 4, BLOCK 19, PADRE BEACH, SECTION II,
 IN THE TOWN OF SOUTH PADRE ISLAND, CAMERON COUNTY, TEXAS,
 ACCORDING TO THE MAP RECORDED IN VOLUME 14, PAGE 31, MAP RECORDS OF
 CAMERON COUNTY, TEXAS;
 AND LOT 5, BLOCK 26, PADRE BEACH, SECTION III, IN THE TOWN
 OF SOUTH PADRE ISLAND, CAMERON COUNTY, TEXAS, ACCORDING
 TO THE MAP RECORDED IN VOLUME 14, PAGE 32, MAP RECORDS
 OF CAMERON COUNTY, TEXAS; AND BEING THE LANDS LYING EAST
 AND ADJACENT TO SAID LOTS UP TO THE GULF OF MEXICO.

SURVEYED FOR:
PADRE GRANDE CONDOMINIUMS
 NOVEMBER 5, 2002



Mejia & Rose, Incorporated
 Engineering Surveying
 1648 West Price Road (956) 544-3022
 P.O. Box 3761 Brownsville, Texas 78520
 Fax (956) 544-3068

**SHORELINE TASK FORCE
AGENDA REQUEST FORM**

MEETING DATE: March 6, 2017

ITEM: 10

TO: Shoreline Task Force

FROM: Brandon Hill, Shoreline Management Director

ITEM DESCRIPTION:

Discussion and possible action on 6800 Padre Blvd beach and dune application.

DISCUSSION:

See attachment.



Beach & Dune Application

City of South Padre Island
4601 Padre Blvd.
South Padre Island, TX 78597
Phone: (956) 761-3044
Fax: (956) 761-3898

Site for Proposed Work

Legal Description: East Tract 17 Padre Beach Estates Physical Address: 6800 Padre Blvd South Padre Island Tx


Property Owner Information


Name: SPI Properties LLC
Mailing Address: PO BOX 2344
City: South Padre Island State: Texas
Zip: 78597 Country: United States
Phone Number: 956-455-8436
Fax Number: _____
E-Mail Address: _____

Applicant / Agent for Owner

Name: Clayton Brashear
Mailing Address: PO BOX 2344
City: South Padre Island State: Texas
Zip: 78597 Country: United States
Phone Number: 956-455-8436
Fax Number: _____
E-Mail Address: claytonamo@aol.com

I / We, owners of the above-mentioned property, authorize the applicant stated above, to act in my behalf in order to acquire a Beach and Dune permit for the construction proposed below. (owner initials here CB)

Owner(s) Signature(s): 
Date: 3/1/2017

Applicant Signature: 
Date: 3/1/2017

Project Description

Describe with as much as detail as possible, the construction proposed. If more room is needed, please include an additional page. Include the number of habitable units, amenities, swimming pools, fences, kinds of fences, whether footings and/or retaining walls will be installed, and locations of proposed landscaping and parking.

1. Construct 1000 foot wood fishing pier structur into the Gulf of Mexico.
2. Build a 61' x 60' wood deck with a 40'x 50' covered wood structure with steps to beach
3. See USACE permit and plans attached
4. Exstend retaining wall 60' on agreed designated line

Total Square Footage of Footprint of Habitable Structure: _____

Total Area of Impervious Surface (i.e. retaining walls, walkways, drives, patios, etc.): 120 SQ FT retaining wall, all other structures are wood.

Percentage Impervious Surface [(impervious surface / habitable footprint)* 100]: 2%

Please Note: the percentage of impervious surface cannot exceed 5% in an eroding area.

Approximate Duration of Construction: 36 months depending on weather and surf conditions

Financial Plan for the Removal of All Hard Structures

All properties which are allowed to build retaining walls on their property are allowed to do so with the condition that a financial plan for the removal of the retaining wall is submitted to the Public Works Department of the City of South Padre Island. Removal of the retaining wall at the owner's expense may be required if/once the retaining wall comes into regular contact with wave action for twenty (20) out of thirty (30) consecutive days. The City accepts the submission of a Retaining Wall Covenant, or other financial guarantee, insuring the removal of the retaining wall if the required conditions are met.

Type of Plan Submitted: Retaining wall covenant Date Submitted: N/A

Drainage

Describe the impact that the proposed construction will have on the natural drainage pattern on the site and adjacent lots.

- No change in the drainage on site.
- The proposed construction will change the grading and the drainage on the subject property. (An explanation will be required detailing where the water will drain.)

Explanation / Other Information: See plans and survey

Impacts to Beach / Dune System

Answer each question as completely as possible in narrative form.

1. What damage will this proposed construction have on the dune vegetation located at the project site?

- No damage to dune vegetation whatsoever.
- The proposed construction will impact 100 % of the dune vegetation site. (An explanation of the "impact" will be required.)
- The proposed construction will require the removal and relocation of 100 % of the dune vegetation on site. (The submission of a mitigation plan will be required.)

Explanation / Other Information: See Exhibit B

2. How will the proposed construction alter the dune size/shape at the project site?

- No change to dune size/shape whatsoever.
- The proposed construction will change 100 % of the size/shape of dunes on site. (Details will be required.)
- The proposed construction will require the removal and relocation of 100 % of the dunes on site. (The submission of a mitigation plan will be required.)

Explanation / Other Information: See Exhibit B

3. How will the proposed construction change the hydrology of the dunes at the project site?

- No change to dune hydrology whatsoever.
- The proposed construction will impact dune hydrology on site. (Details will be required.)

Explanation / Other Information: See exhibit B

4. Describe alternatives to the proposed construction or method of construction which will cause fewer or no adverse effects on dunes and dune vegetation.

There are no other alternative construction methods for this site

5. Describe alternatives to the proposed construction or method of construction which will cause fewer or no adverse impairment to beach access.

There are no other alternative methods for this site

Mitigation Plan

Describe the methods which you will use to avoid, minimize, mitigate and/or compensate for any adverse effects on dunes or dune vegetation.

Explanation / Other Information: See exhibit B

Financial Plan for Dune Mitigation:

If required by the City Council, a financial guarantee (irrevocable letter of credit or a performance bond, etc.) may be necessary to insure the mitigation of dunes/dune vegetation takes place as proposed and required of the applicant.

Type of Plan Submitted: NA Date of Submission: NA

Checklist of Additional Required Application Information

An accurate map, plat or site plan showing:

- 1. Legal description of the property (lot, block, subdivision) and the immediately adjoining property.
- 2. Location of all existing structures - including the habitable and inhabitable structures, swimming pools, decks, fences, parking areas, landscape areas, etc.
- 3. Location of the Historical Building Line on the subject property and the extension of the line on the properties immediately adjoining the subject property to the north and to the south.
- 4. Location and elevation of existing retaining walls - both on the subject property and those properties immediately adjoining the subject property to the north and to the south.
- 5. Location of proposed structure(s) - if proposing the construction of a retaining wall, please also include the proposed elevation of the retaining wall.
- 6. Location of proposed driveways, parking areas (showing the # of proposed parking spaces) and landscape areas.
- 7. Location of all existing and proposed beach access paths and/or dune walkovers.
- 8. Location and extent of any man-made vegetated mounds, restored dunes, fill activities, or any other pre-existing human modifications on the tract.
- 9. Topographical survey of the site identifying all elevations, existing contours of the project area (including dunes and scales) and the proposed contours of the final grade.

Other required application information:

- 1. A grading and layout plan showing proposed contours for the final grade.
- 2. The floor plan(s) and elevation(s) of the structure proposed to be constructed or expanded.
- 3. Photographs of the site which clearly show the current location of the vegetation line & existing dunes on the tract within the last 6 months.
- 4. Copy of the Flood Rate Map showing the location of the subject property. (FEMA.GOV - Map Search)
- 5. Copy of the Historical Erosion Rate Map as determined by the University of Texas at Austin, Bureau of Economic Geology. (beg.utexas.edu)
- 6. Application Fee of \$180 for Staff Approved applications and \$300 for City Council Approved applications.

Your application is not complete unless all information requested above is submitted.

Application submissions require only three (3) copies of the complete information plus a digital copy.

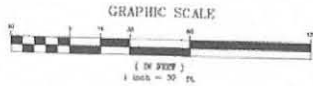


Google Earth



NOTES:

1) THIS TRACT LIES IN FLOOD ZONES AS SHOWN ON THIS FLAT AS PER THE F.I.A. FLOOD INSURANCE RATE MAP OF COMMUNITY NO. 48015, PANEL NO. 0001 D, EFFECTIVE MARCH 9, 1999.



LOT 2, CONTRAY SUBDIVISION
(CABINET 1, SLOT 1416-4, MAP RECORDS)

VEGETATION LINE AS SURVEYED
BY GENERAL LAND OFFICE ON
JANUARY 26, 2017.

MEAN LOW WATER LINE AS
SURVEYED BY GENERAL LAND
OFFICE ON JANUARY 26, 2017.

RELOCATE VEGETATION ON NEW DUNE AREA AND WATER
FOR 30 CONSECUTIVE DAYS TO ENSURE GROWTH

200 FEET LANDWARD OF MEAN
LOW WATER LINE AS SURVEYED
BY GENERAL LAND OFFICE ON
JANUARY 26, 2017.

GULF OF MEXICO

MERIDIAN PER
PADRE BEACH
ESTATES

EAST

EAST

WEST

BACK OF CURB
EAST TRACT 17

EAST TRACT 16

1,302.3' ±

1,306.3' ±

CONCRETE SLAB
1,315.7' ±

- (A) CUT TO ELEVATION 10.0 = 144 CUBIC YARDS
- (B) CUT TO ELEVATION 10.0 = 42 CUBIC YARDS
- (C) FILL = 144 CUBIC YARDS
- (D) FILL = 205 CUBIC YARDS
- (E) FILL = 377 CUBIC YARDS

8.66 ACRE TRACT (VOL. 929, PG. 77) DEED RECORDS)
LOT 15
TICKI CONDOMINIUMS

RELOCATED VEGETATION LINE AS SHOWN
ON A MAP PREPARED BY CONSULTING ENGINEERS
ASSOCIATION OF SOUTH PADRE ISLAND
DATED MARCH 1981.

**PROPOSED IMPROVEMENTS
EXHIBIT "B"**

THE BEACH PORTION OF EAST TRACT SEVENTEEN (17) AND EAST TRACT SIXTEEN (16), PADRE BEACH ESTATES SUBDIVISION, LYING EAST OF STATE HIGHWAY 100 A SUBDIVISION IN THE CITY OF SOUTH PADRE ISLAND, CAMERON COUNTY, TEXAS, IN THE CITY OF SOUTH PADRE ISLAND, CAMERON COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN CABINET 1, SLOT 3323, MAP RECORDS OF CAMERON COUNTY, TEXAS.

FEBRUARY 21, 2017

Mejia & Rose, Incorporated
Engineering Surveying
T.B.P.L. Reg. No. F-002670
T.B.P.L.S. Reg. No. F0021903
1643 West Price Road (958) 544-3022
P.O. Box 3761 Brownsville, Texas 78520
Fax (361) 544-3068
email: mandreinc@gmail.com

GW. NO. 1124 PD. NO. 2202

NOTES:

1) THIS TRACT LIES IN FLOOD ZONES AS SHOWN ON THIS PLAT AS PER THE F.I.A. FLOOD ASSURANCE RATE MAP OF COMMUNITY NO. 480119, PANEL NO. 0001 0, EFFECTIVE MARCH 9, 1999.

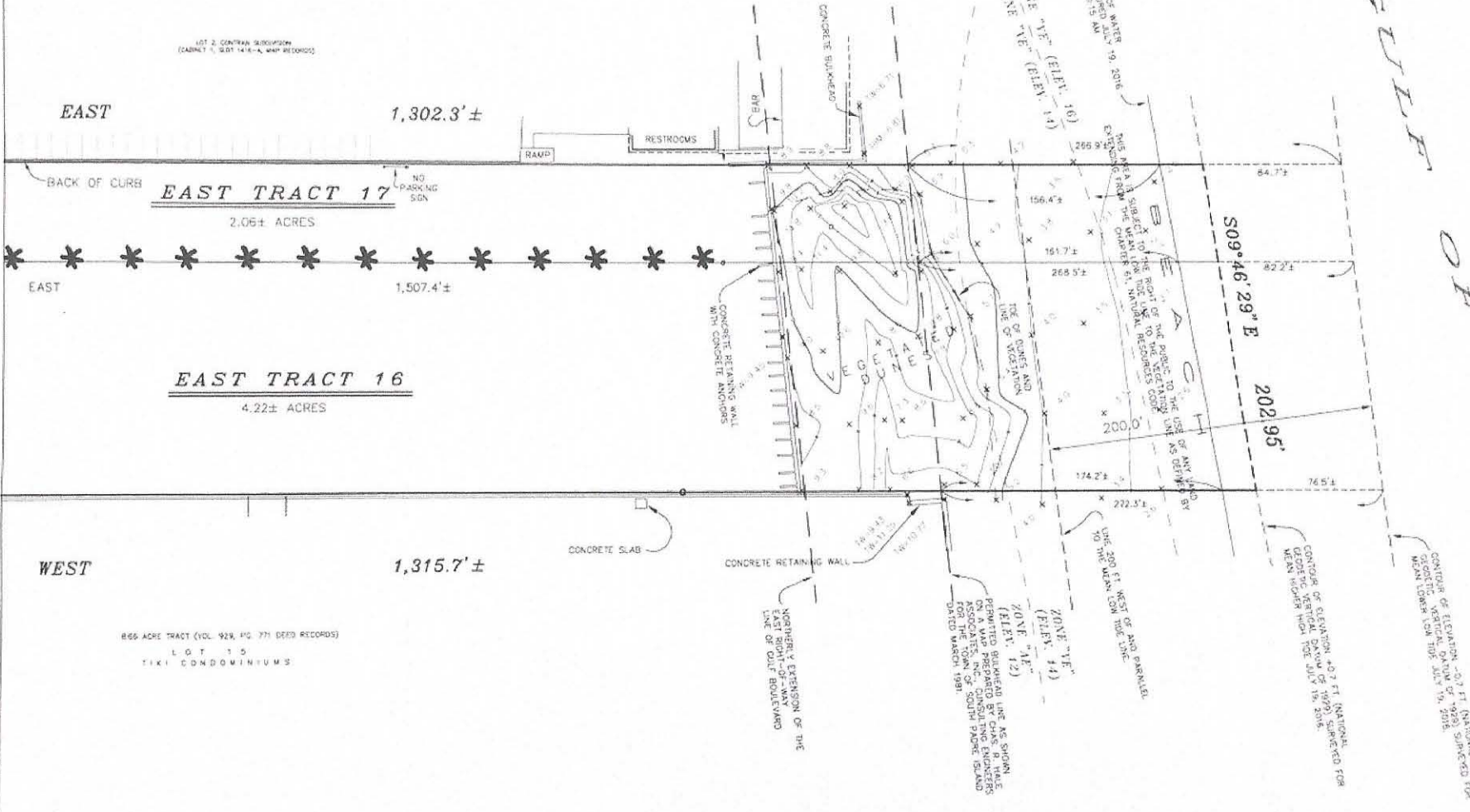
GRAPHIC SCALE



LOT 2, CENTRAL SUBDIVISION
(CABINET 1, SLOT 1416-A, MAP RECORDS)

MERIDIAN PER
PADRE BEACH
ESTATES

GULF OF MEXICO



**TOPOGRAPHIC SURVEY
EXHIBIT "A"**

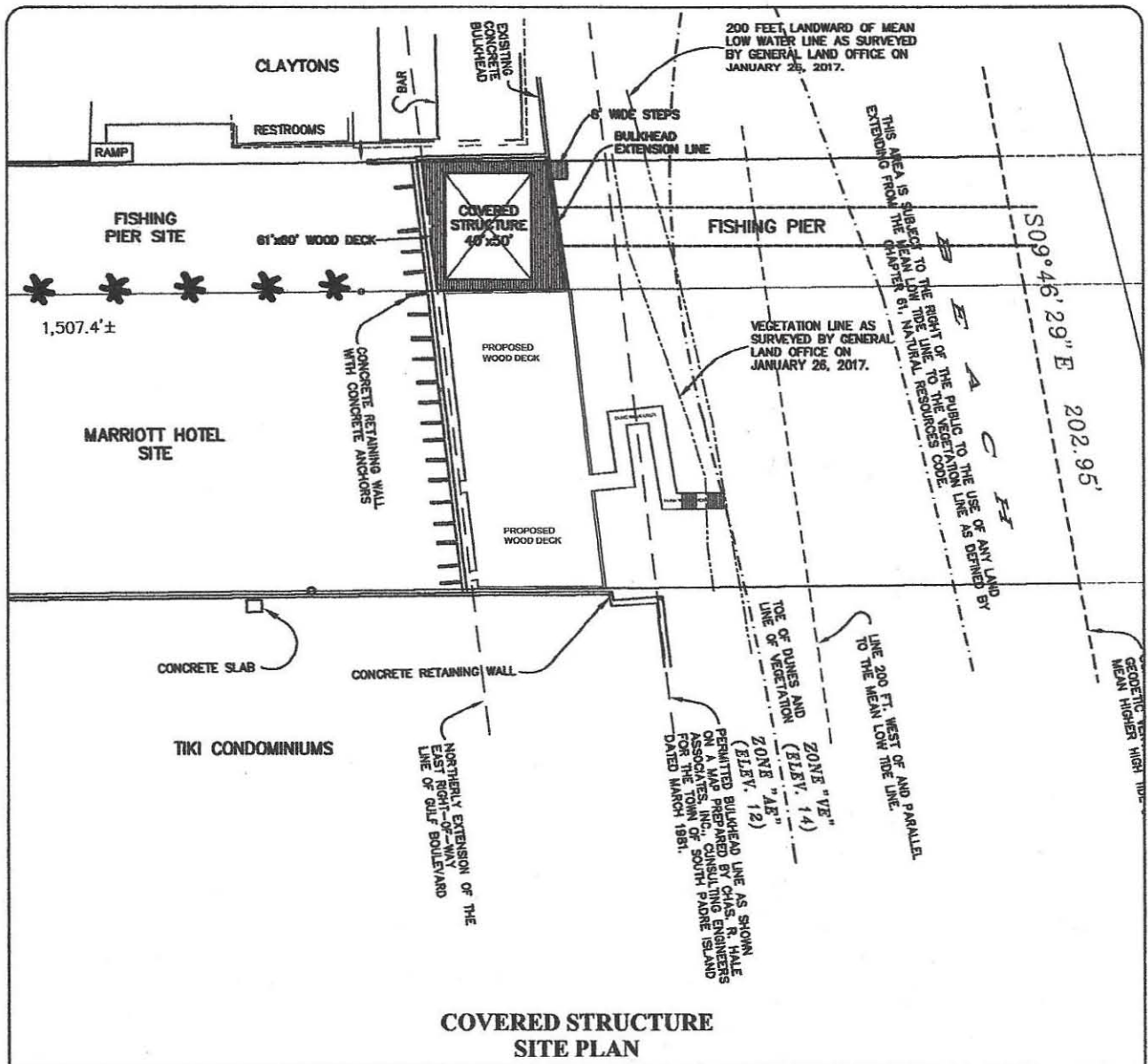
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Meja & Rose, Incorporated
Engineering Surveying
T.B.P.E. Reg. No. F-002870
T.B.P.L.S. Reg. No. 10021800
1648 West Price Road (361) 544-3022
P.O. Box 3761 Brownsville, Texas 78520
Fax (361) 544-3068
email: man@mejaandrose.com

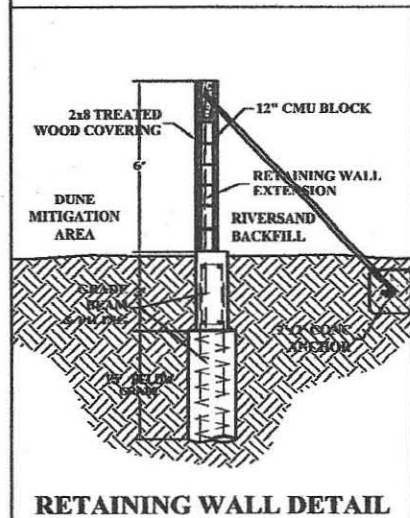
FEBRUARY 21, 2017



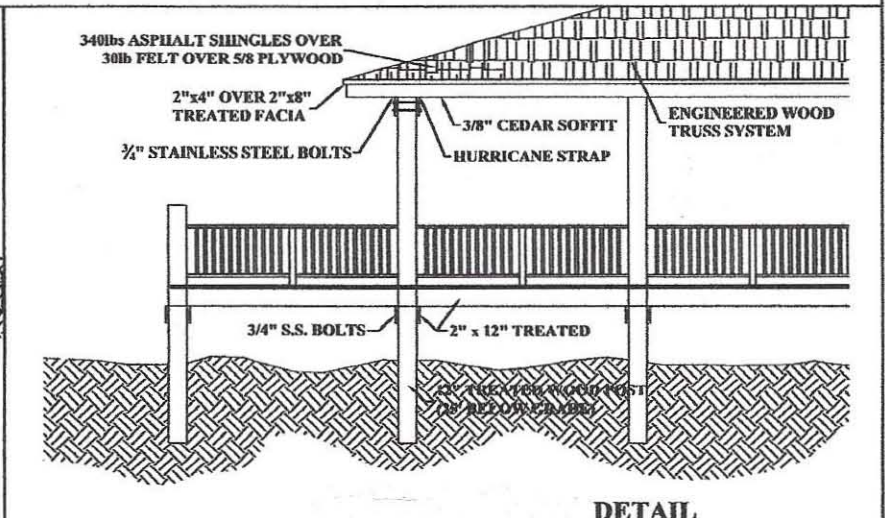




**COVERED STRUCTURE
SITE PLAN**



RETAINING WALL DETAIL



DETAIL

CLAYTON BRASHEAR
6800 PADRE BLVD.
SOUTH PADRE ISLAND, TX
SCALE: N.T.S.



This notice of authorization must be
conspicuously displayed at the site of work.

United States Army Corps of Engineers

2000 Fort Belvoir Road
Galveston, TX 77553

2016 _____

A permit to construct a pier

at 6800 Padre Boulevard, South Padre Island, Cameron County, Texas

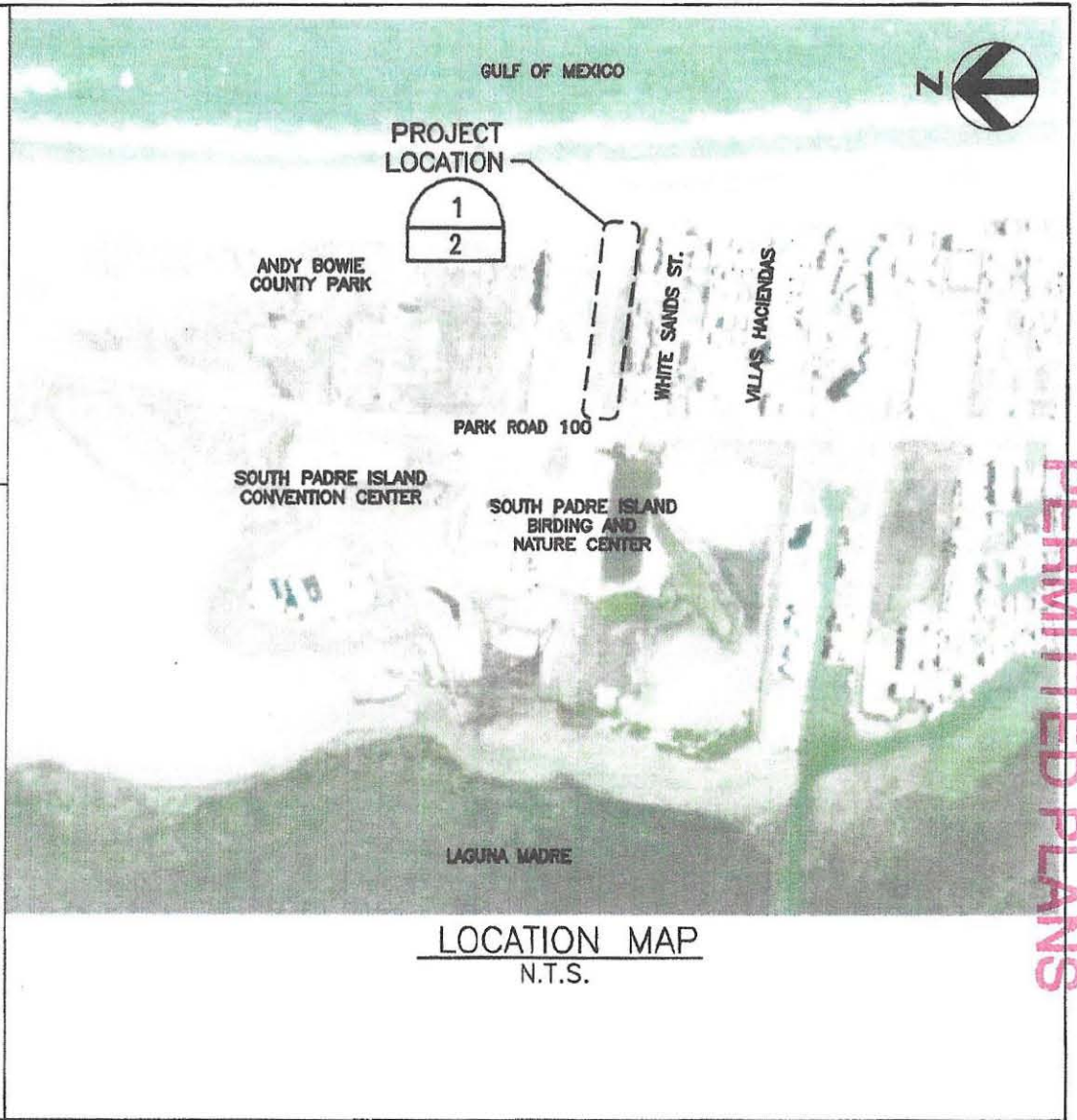
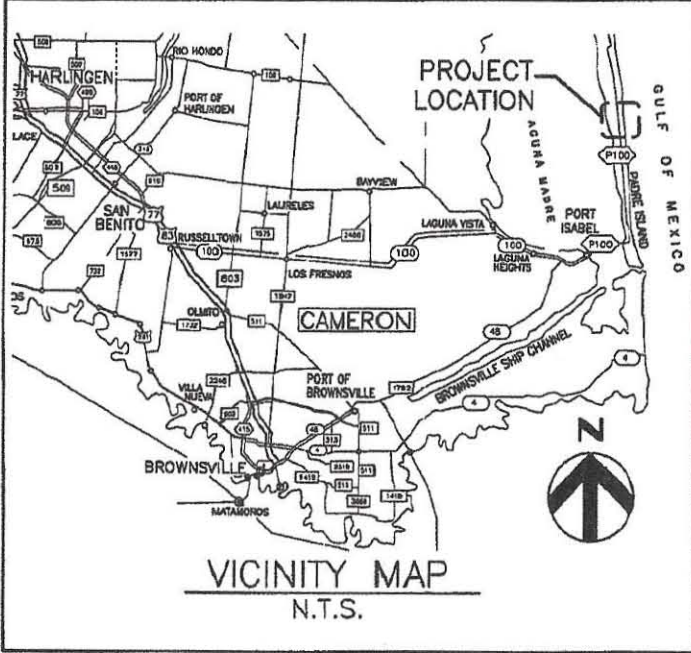
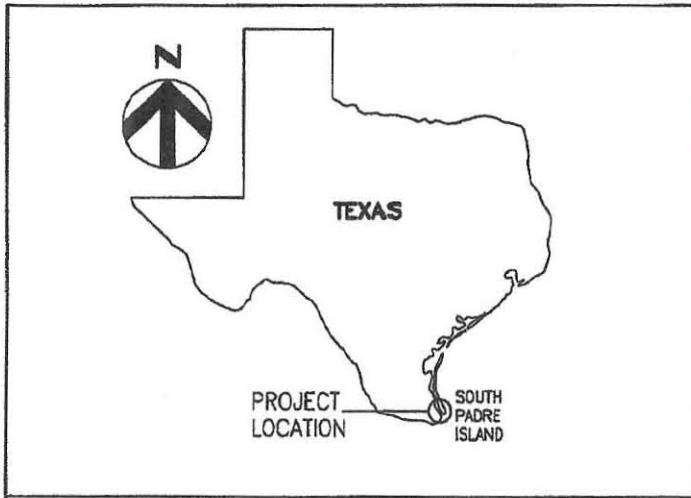
has been issued to Clayton Brashear on 9 Feb. 20 16

Address of Permittee 6800 Padre Blvd., South Padre Island, TX 78597

Permit Number

SWG-2012-00963

District Commander
Matthew Kimmel
for COL. RICHARD P. PANNELL



PERMITTED PLANS

SWG-2012-00963

Sheet 1/4
SWG-2012-00963



PROJECT TITLE **CLAYTON'S BEACH BAR AND GRILL**
SHEET TITLE **CONSTRUCT WOODEN ELEVATED PIER**

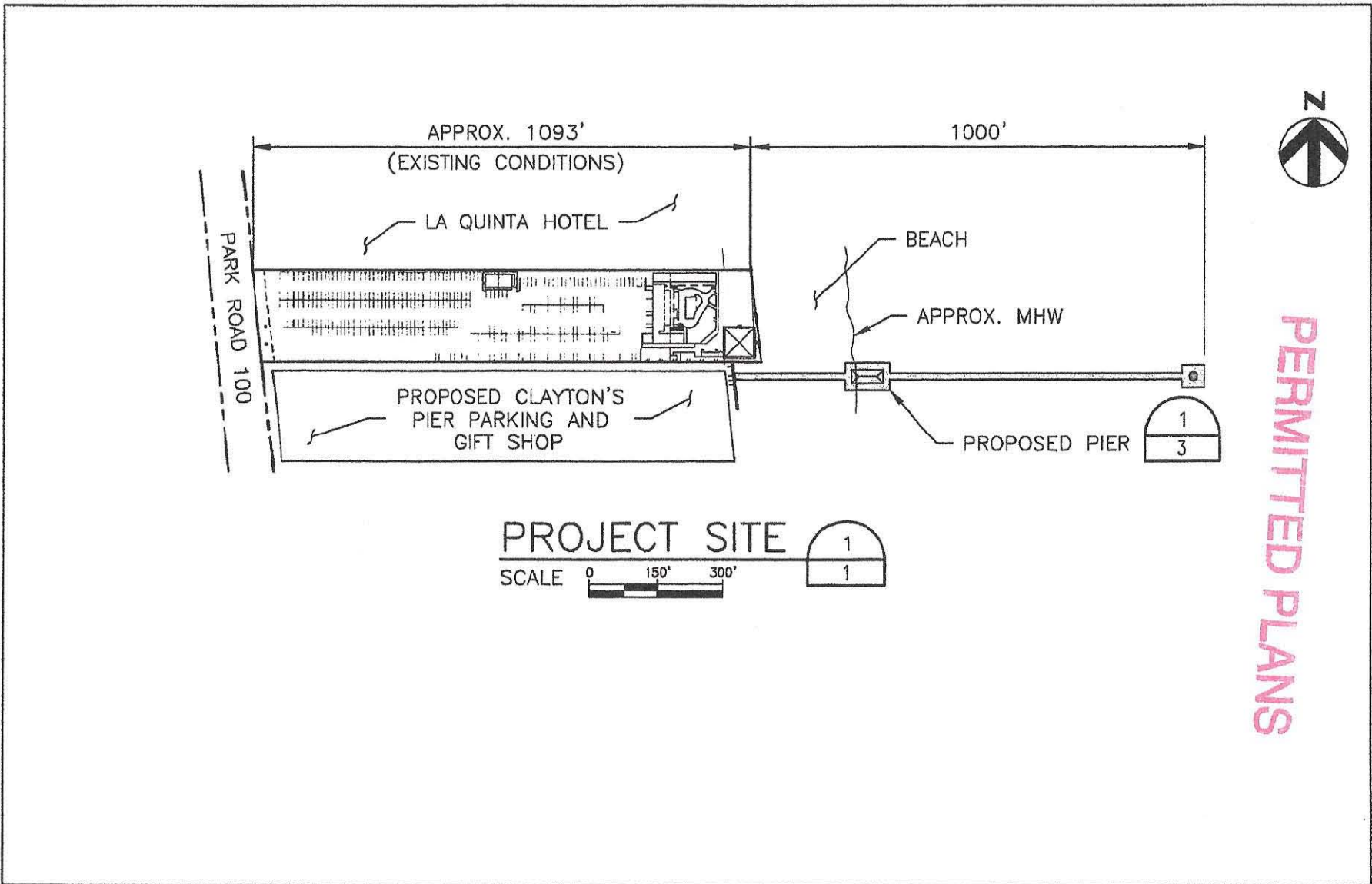
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PROJECT MANAGER

DATE
05/13/15

REFERENCE SHEET

REFERENCE DOCUMENT

SHEET NUMBER
1 of 4



SWG-2012-00963

PERMITTED PLANS

SWG-2012-00963
Sheet 2/4

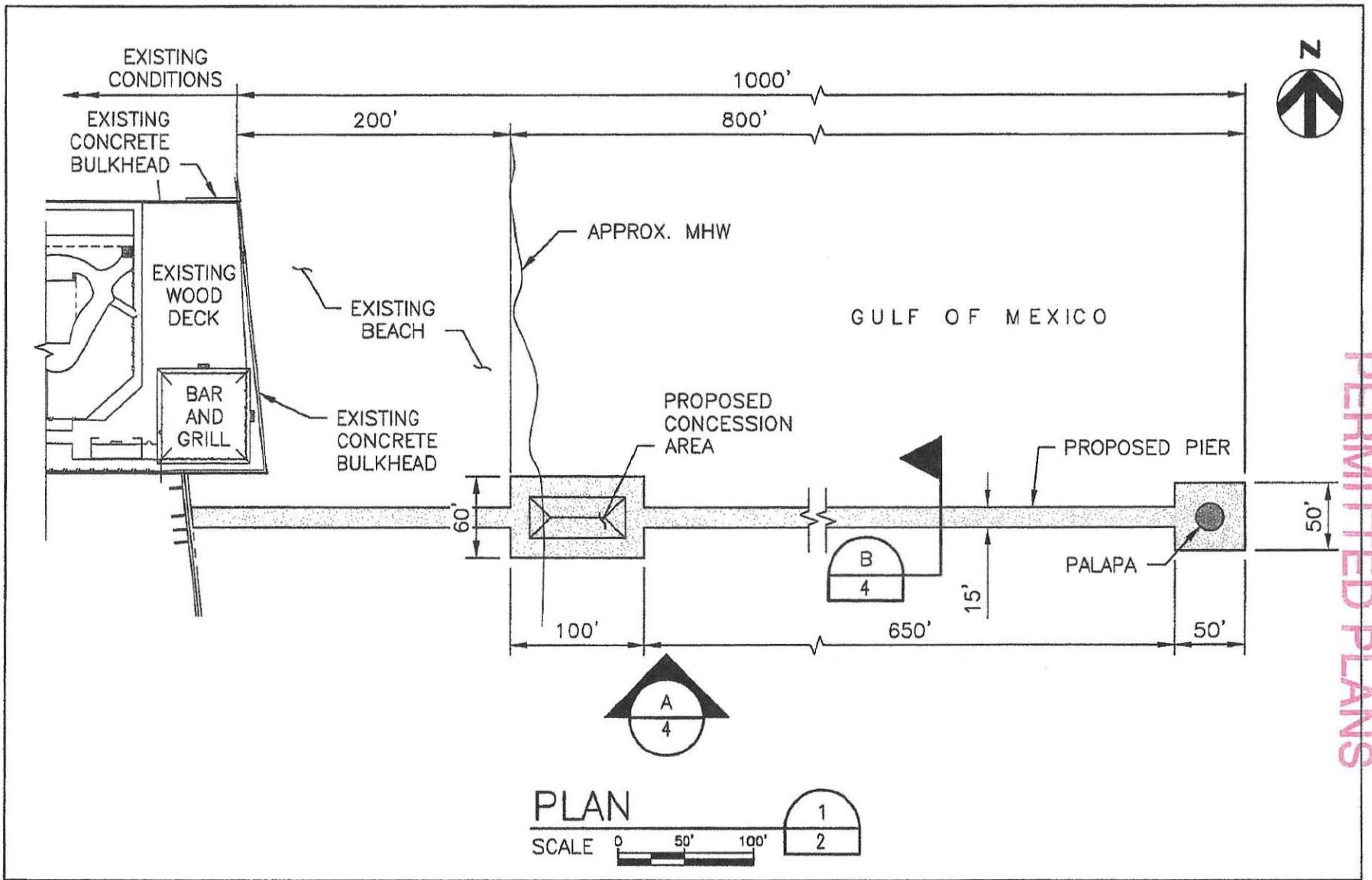


PROJECT TITLE **CLAYTON'S BEACH BAR AND GRILL**

SHEET TITLE
CONSTRUCT WOODEN ELEVATED PIER

PROJECT NUMBER
194870
PROJECT MANAGER
DATE
05/13/15

REFERENCE SHEET
REFERENCE DOCUMENT
SHEET NUMBER
2 of 4



PERMITTED PLANS

SWG-2012-00963

Sheet 3/4

SWG-2012-00963

HR
Texas P.E. Firm
Registration No. F-754

PROJECT TITLE **CLAYTON'S BEACH BAR AND GRILL**

SHEET TITLE
CONSTRUCT WOODEN ELEVATED PIER

PROJECT NUMBER
194870

PROJECT MANAGER

DATE
05/13/15

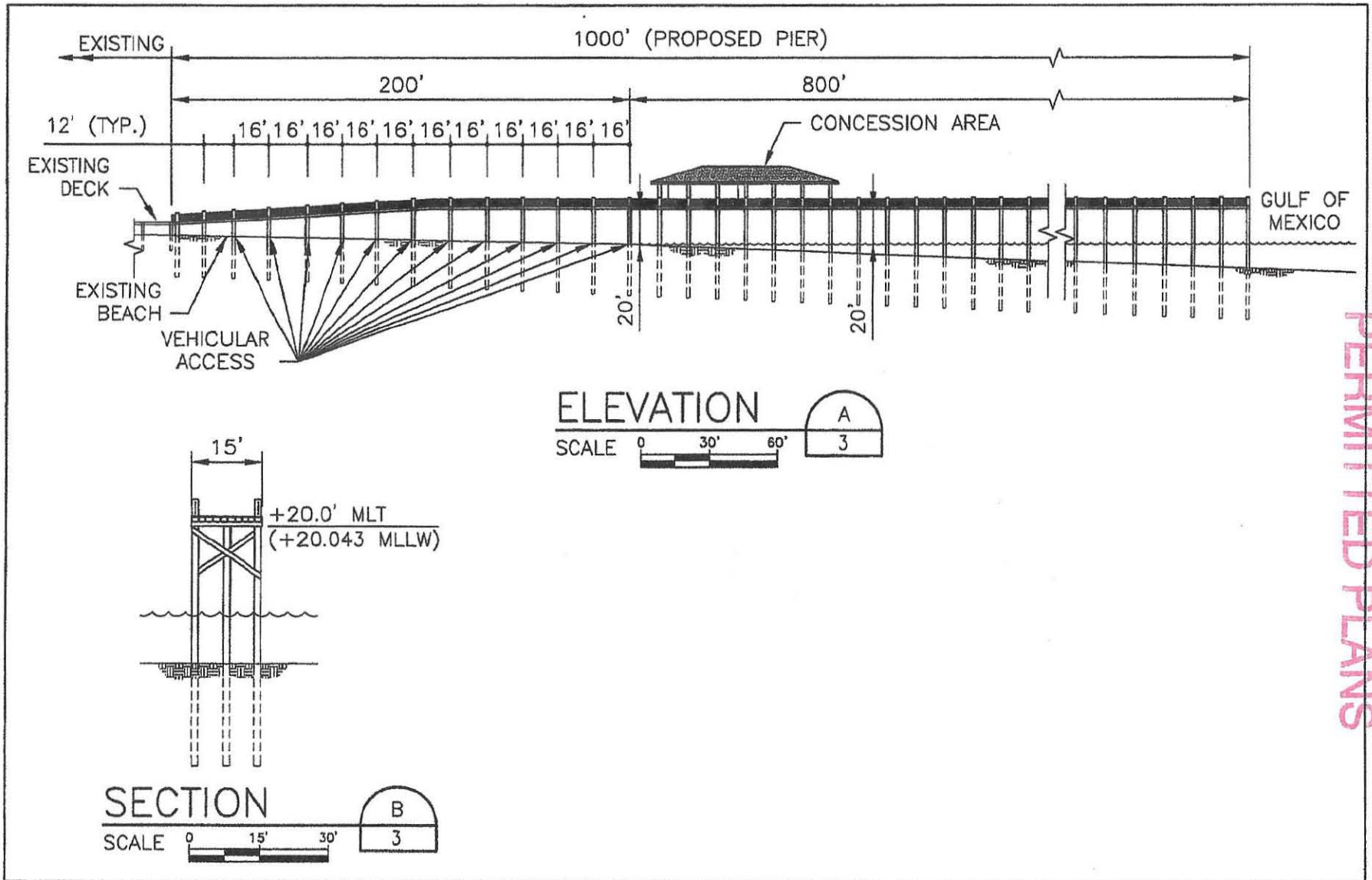
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SHEET NUMBER
3 of 4

PERMITTED PLANS

SWG-2012-00963



SWG-2012-00963
Sheet 4/4



PROJECT TITLE CLAYTON'S BEACH BAR AND GRILL

SHEET TITLE
CONSTRUCT WOODEN ELEVATED PIER

PROJECT NUMBER

194870

PROJECT MANAGER

DATE

05/13/15

REFERENCE SHEET

REFERENCE DOCUMENT

SHEET NUMBER

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